

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

August 25, 2017

Ron Rieger  
Area Construction Manager- New Mexico  
LGI Homes  
Albuquerque, NM

**RE: Sunset Farms / Puesta Del Sol  
308 Luis Sanchez Place SW  
Engineer's Certification Dated 8/23/17  
Hydrology File: K12D025**

Dear Mr. Rieger:

PO Box 1293

Based upon the information provided in your Certification received 8/23/17, the above referenced Certification is acceptable for Building Pad Certification for Lot 28A-P1.

Albuquerque

As a reminder once this lot is ready for Hydrology approval for Certificate of Occupancy, please submit the Drainage Info Sheet along with the Engineering Certification from Mark Goodwin & Associates, P.A. for the as-built grading.

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

*Reneé C. Brissette*

Reneé C. Brissette, P.E.  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Sunset Farm Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: lot 28-A-P1

City Address: 308 Luis Sanchez Pl SW Albuquerque, NM 87105

Engineering Firm: Mark Goodwin & Associates Contact: Hiram L. Crook

Address: P.O. Box

Phone#: 505-828-2200 Fax#: 505-797-9539 E-mail: hiram@goodwinengineers.com

Owner: LGI Homes Contact: mark.kaberlein@lgihomes.com

Address: 900 Pinetree SE Ste 44955 Rio Rancho NM 87124

Phone#: 505-221-8081 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 08/24/17 By: Mark Kaberlein

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

# PLOT PLAN

LOT 28-A-P1  
SUNSET FARM/ PUESTA DEL SOL  
SUBDIVISION  
308 LUIS SANCHEZ PLACE SW  
AREA=5000 SF

## NOTE:

1. THERE SHALL BE A DISTANCE OF NOT LESS THAN TEN (10) FEET BETWEEN RESIDENTIAL BUILDINGS.
2. PROVIDE 18' WIDE DRIVEWAY.
3. 4' SIDEWALK TO BE CONSTRUCTED WITH THIS PERMIT.
4. NO PART OF THIS STRUCTURE WILL BE CLOSER THAN 20' FROM FRONT OF PROPERTY LINE.
5. POND AS REQUIRED BY THE CITY OF ALBUQUERQUE
6. NO CURBS OR CURB CUTS IN SUBDIVISION

SCALE: 1" = 20'

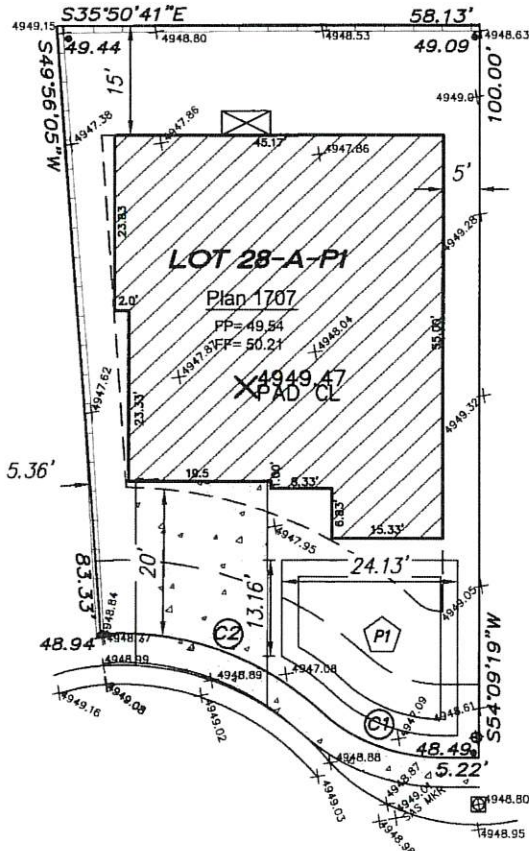
I, MARK GOODWIN, NMPE 8948, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG NMPS 9750 OF THE FIRM SURV-TEK.

I FURTHER CERTIFY THAT I OR OTHERS UNDER MY DIRECT SUPERVISION HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/19/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION FOR BUILDING PERMIT RELEASE. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THIS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MARK GOODWIN NMPE 8948

DATE

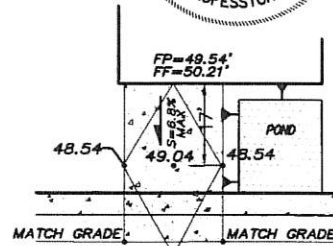
8/23/17



LUIS SANCHEZ PLACE SW

Ⓒ1 Δ=42°23'49"  
L=18.50  
R=25.00  
Tan=9.70

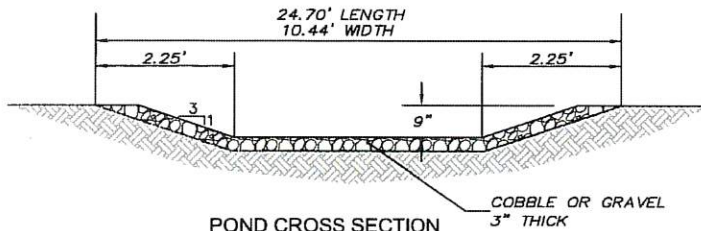
Ⓒ2 Δ=46°37'48"  
L=32.55  
R=40.00  
Tan=17.24



DRIVEPAD ELEVATIONS

## LEGEND

- CABLE TV
- TELEPHONE
- TRANSFORMER
- RETAINING WALL
- BUILDING SETBACK
- 48.78 NEW SPOT ELEVATIONS
- 49.48.76 EXISTING ELEVATIONS



POND CROSS SECTION

Ⓐ1 VOLUME REQUIRED= 399 cf  
DEPTH = 9" SIDE SLOPES 3:1  
POND BOTTOM: AREA = 312 SF @ ELEVATION=47.74'  
POND TOP: AREA = 493 SF @ ELEVATION=48.49'  
VOLUME PROVIDED = 400 CF

LGI HOMES

9150 E. DEL CAMINO DRIVE, SUITE 118  
SCOTTSDALE, AZ 85258



MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539





308 Luis Sanchez