

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



July 21, 2014

Joe Kelly, P.E.
JC Engineering, P.C.
10035 N. 177th E. Ave.
Owasso, OK 74055-7841

Richard J. Berry, Mayor

**RE: Sunset Subdivision, Reconfigured Lot 30-P1
Drainage Calculation And Grading Plan for Reconfigured Lot 30-P1
Engineer's Stamp Date 7-1-2014 (File: K12D025)**

Dear Mr. Kelly,

Based upon the information provided in your submittal received 7-14-2014, the above referenced Grading and Drainage Plan is approved for Building Permit. Please note that the approval is only for Lot 30-P1. All other lots will have to apply individually for building permits.

Please attach a copy of this approved plan to the Building Permit construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, an Engineer's Certification of Grading on this site, will be required per the DPM checklist.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf: via Email: Recipient, Tim Sims, Monica Ortiz

MEMORANDUM

By: Joe P. Kelley, P.E.

DATE: July 1, 2014
TO: Rita T. Harmon, P.E.
PROJECT: Sunset Subdivision
TOPIC: Response to Comments dated June 13, 2014

Dear Ms. Harmon:

Your comments dated June 13, 2014 are addressed as follows:

1. Please find attached a Grading Plan for Lot 3-P1 with existing elevations indicated per the as-built plan, and proposed spot elevations indicated at the lot corners, the Finished Floor, and the new pond. Please note the proposed spot elevations for the lot corners and the Finished Floor are identical with the original design.
2. We have designed the new pond to be more distinct, as requested.
3. The lot size is 65' x 100'. The allowable impervious area (per the original design) is 45% of the lot area. Thus the allowable impervious area, without providing additional ponding, is 45% x 6500 sf = 2925 sf. However, the proposed impervious area (house and driveway) is 3479 sf. Therefore additional ponding volume will be provided for the additional 554 sf (=0.0127 ac).

This area used to be Treatment Type B as originally computed, but will now be Treatment Type D. Following the same calculation procedure as in the original report, the additional volume required will be:

$$\begin{aligned} V_{\text{REQUIRED}} &= A * (E_D - E_B) \\ &= 0.0127 \text{ ac} * (1.97'' - 0.67'') * 3630 \text{ ft}^3/\text{ac-inch} \\ &= 60 \text{ cu. ft.} \end{aligned}$$

$$V_{\text{PROVIDED}} = 11' * 11' * 0.5' = 60.5 \text{ cu. ft.}$$

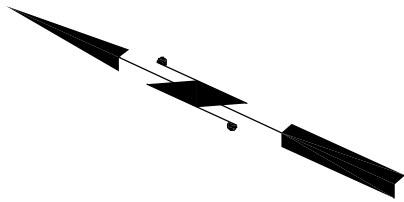
The computed volume is the additional volume provided beneath the original pond bottom elevation 48.10. The computed volume does not include the additional volume provided in the pond side slopes, and is therefore conservative.

Thank you for your review of this submittal. Please advise us should you have further comments.

Thank you!

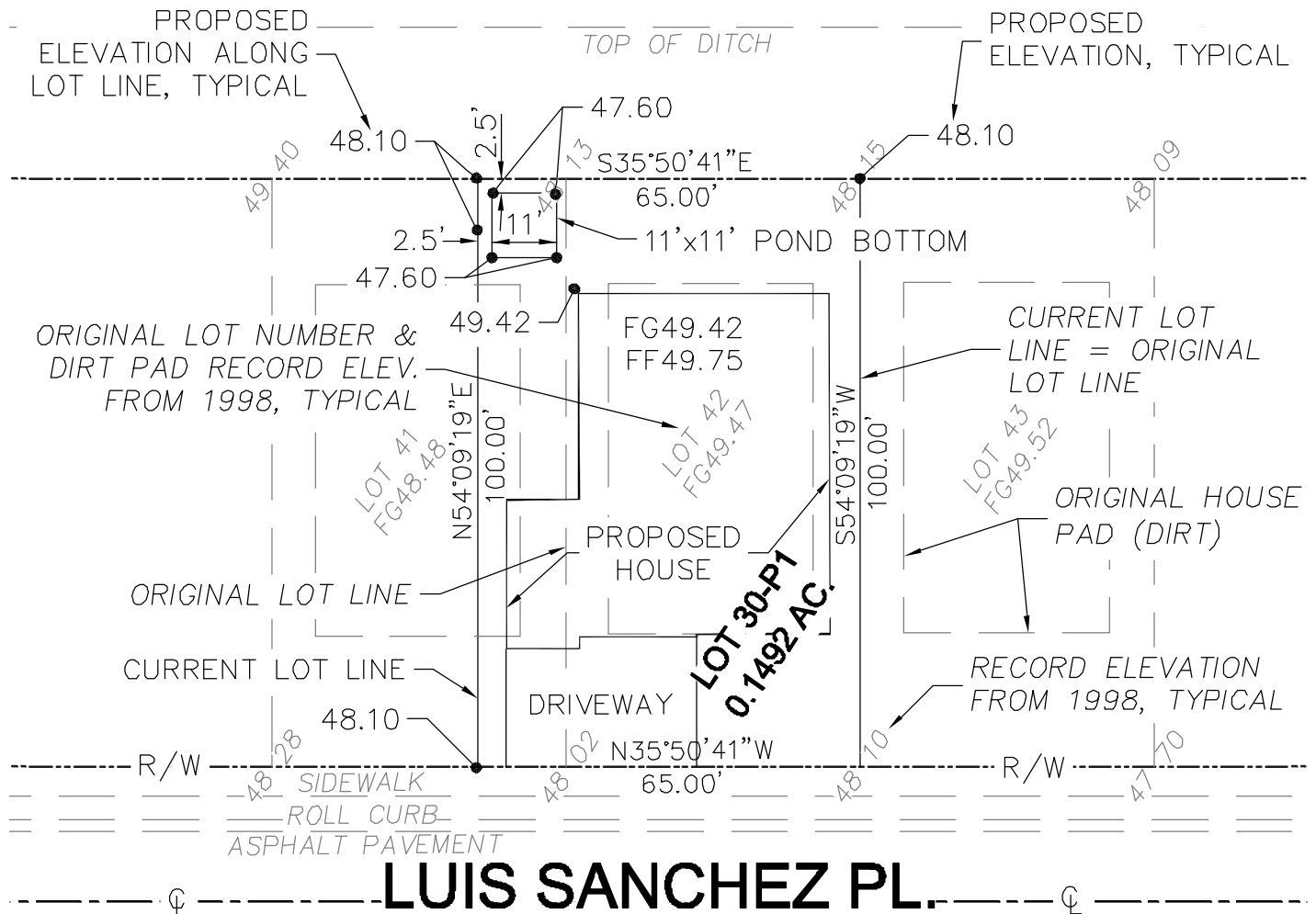


Joe P. Kelley, P.E.



0 30 60
Scale 1" = 30'

RIVERSIDE ATRISCO DRAIN



JC-Engineering, PC

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(918)798-5979 • www.j-c-engineering.com
Oklahoma CA No. 5686 Expires June 30, 2015

CLIENT
Landco II, LLC

PROJECT
**Sunset Sub-
division Unit 2**

PAGE TITLE
Lot 30-P1 Grading Plan

PAGE NO.
C100