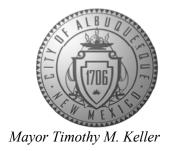
CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



December 31, 2020

Jackie McDowell McDowell Engineering, Inc. 7820 Beverly Hills Ave. NE Albuquerque, NM 87122

RE: Sunset Farms / Puesta Del Sol Subdivision 231 Anna Maria Pl. SW Grading and Drainage Plan Engineer's Stamp Date: 12/16/20

Hydrology File: K12D025

Dear Ms. McDowell:

PO Box 1293 Based upon the information provided in your submittal received 12/16/2020, the Grading and

Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the

house and the retention pond work).

Albuquerque Once the grading is complete, a pad certification (meaning that the earthwork is complete) will

be required prior to release from Hydrology during the Building Permit process. Also, at the

time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage

NM 87103 Plan for Building Permit.

www.cabq.gov

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer

Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



City of Albuquerque

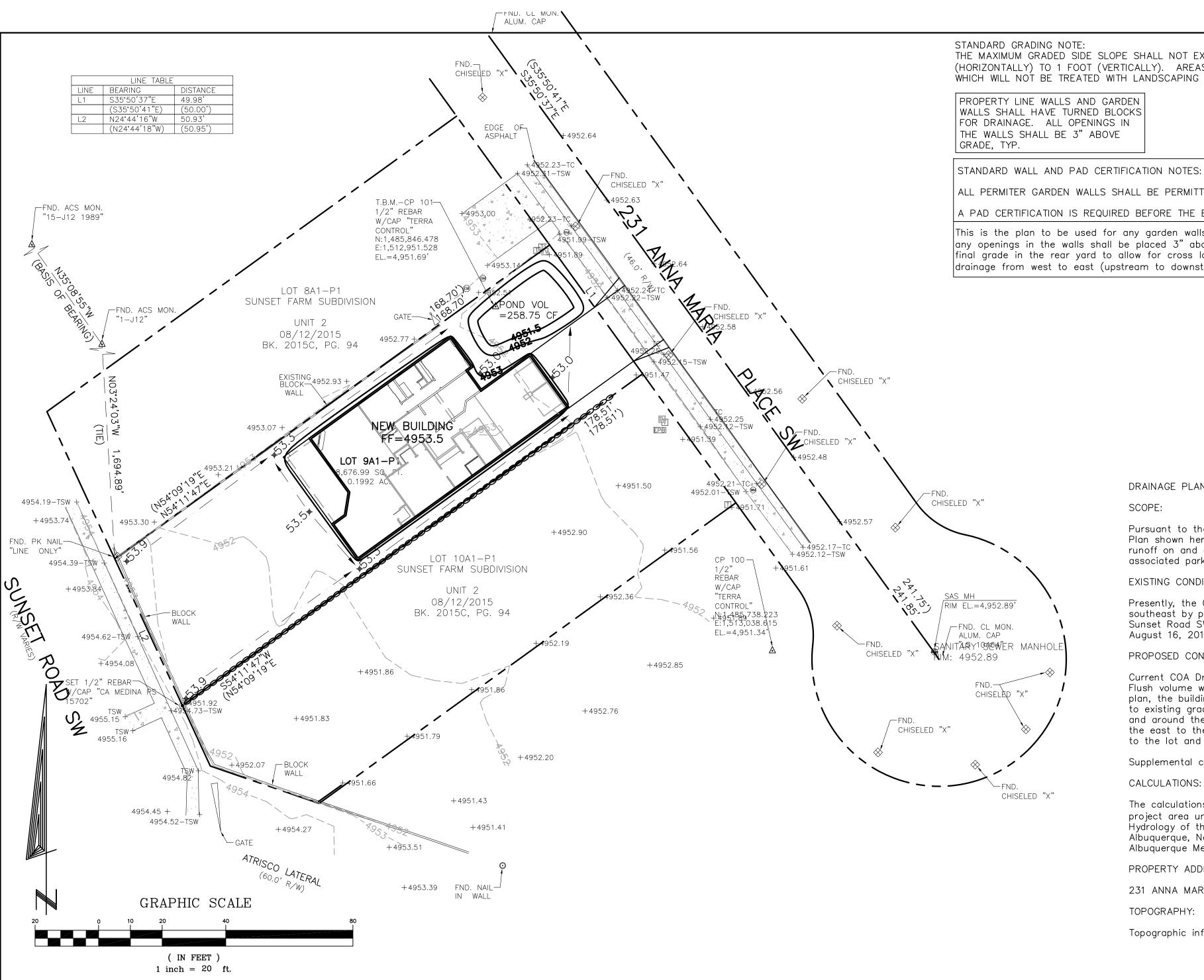
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

roject Title: Building Pe		ermit #:	Hydrology File #:			
DRB#:						
Legal Description:						
City Address:						
Applicant:			Contact:			
Address:						
Phone#:	Fax#:		E-mail:			
Other Contact:			Contact:			
Address:						
Phone#:						
TYPE OF DEVELOPMENT:	PLAT (# of lots)	RESIDENCE	DRB SITE ADMIN SI			
IS THIS A RESUBMITTAL?	Yes No					
DEPARTMENT TRANSPO	RTATIONHY	DROLOGY/DRAINAC	GE			
Check all that Apply: TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTON CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMEN ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAT TRAFFIC IMPACT STUDY (INCOMPACT STUDY) OTHER (SPECIFY) PRE-DESIGN MEETING?	IT PERMIT APPLIC YOUT (TCL) TIS)	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)				

FEE PAID:_____



GENERAL DRAINAGE PLAN NOTES:

1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on—site soils prior to foundation/structural

2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.

3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.

4. This plan establishes on—site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.

5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.

6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.

7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.

8. All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.

9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.

10. Contactor shall ensure that no site soils/sediment or silt enters the righ-of-ways during construction.

11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

SURVEY NOTES: PROJECT LOCATION

LEGAL DESCRIPTION

LOT 9A1-P1 OF SUNSET FARM SUBDIVISION, UNIT 2

SURVEY INFORMATION

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS,

PROJECT BENCHMARK

PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE 1 3/4 INCH METALLIC DISK EPOXIED TO THE TOP OF A CONCRETE HEADWALL LOCATED 70.0' EAST OF THE PROJECTED EAST BLOCK WALL (NORTH OF THE ATRISCO LATERAL)OF PUESTA DEL SOL SUBDIVISION. BENCHMÀRK IS CENTERED ON HEADWALL ÁND STAMPED, "ACS BM 30_K12". TO REACH THE BENCHMARK FROM THE INTERSECTION OF CENTRAL AVE. AND SUNSET RD. SW, TRAVEL SOUTH ON SUNSET RD. 0.50 MI. TO THE ATRISCO LATERAL DRAIN ON THE LEFT, THEN TRAVEL EAST ALONG THE DRAIN TO THE INTERSECTION OF THE ATRISCO LATERAL AND THE RIVERSIDE DRAIN. ELEVATION = 4956.47 FEET (NAVD 88

101 BEING A SET 1/2 INCH REBAR WITH CAP STAMPED "TERRA CONTROL". ELEVATION = 4,951.69 FEET (NAVD 88 VERTICAL DATUM)

<u>NOTES</u>

2. TOPOGRAPHIC SURVEY WAS COMPILED UTILIZING GROUND COORDINATES REFERENCED TO NAD 1983 NEW MEXICO CENTRAL ZONE. PRIMARY HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED UTILIZING GPS RTK METHODS. COMBINED GROUND TO GRID FACTOR IS 0.999685271 SCALED AROUND 0,0.

3. ELEVATIONS SHOWN FOR PIPES ARE INVERT ELEVATIONS UNLESS OTHERWISE 4. CONTOURS SHOWN HEREON ARE AT A ONE FOOT INTERVAL REFERENCED TO

5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT

6. PIPE SIZES AND MATERIAL TYPES FOR MANHOLES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEYS AND VISUAL INSPECTIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE PIPE SIZES AND MATERIAL TYPES ARE EXACT BUT DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE

231 ANNA MARIA PLACE SW, ALBUQUERQUE, NEW MEXICO

LLC. CORRALES, NEW MEXICO JUNE 2020.

VERTICAL DATUM).

TEMPORARY BENCHMARK

TEMPORARY BENCHMARK IS A TERRA LAND SURVEYS CONTROL MONUMENT CP

1. FIELD SURVEY PERFORMED IN JUNE 2020.

THE NAVD 88 VERTICAL DATUM.

LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS

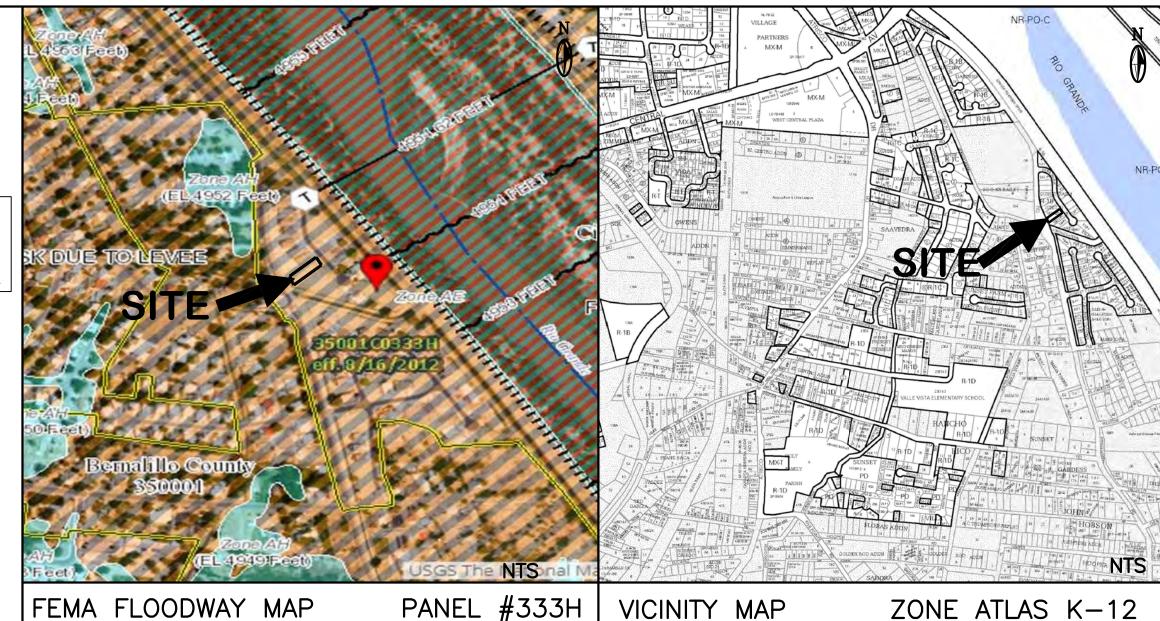
City of Albuquerque Planning Department Development Review Services HYDROLOGY SECTION **APPROVED** 12/31/20 #____K12D025

THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEEDED.

ALL PERMITER GARDEN WALLS SHALL BE PERMITTED SEPARATELY.

A PAD CERTIFICATION IS REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED

This is the plan to be used for any garden walls and any openings in the walls shall be placed 3" above final grade in the rear yard to allow for cross lot drainage from west to east (upstream to downstream).



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 0.20 acre site is undeveloped. The site is bounded on the northwest and southeast by private property, on the northeast by Anna Maria Place, on the southwest by Sunset Road SW. The site is relatively level. As shown on FEMA Panel #333H, dated August 16, 2012, the site is not located in a 100 year flood plain.

PROPOSED CONDITIONS:

Current COA Drainage Ordinance requires that ponds must be provided to handle the First Flush volume which has been calculated and is included on this plan. As shown by the plan, the building is located in the center of the lot. No off-site flows enter the site due to existing grades on adjacent lots which transport offsite runoff to public streets and on and around the sites. On site flows will drain around the structure via swales, and flow to the east to the first flush retention pond. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths and pond.

Supplemental calculations are shown as part of this Grading and Drainage plan.

CALCULATIONS:

The calculations shown hereon define the 100 year—6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

231 ANNA MARIA PLACE SW, ALBUQUERQUE, NM 87105

TOPOGRAPHY:

Topographic information provided by Christopher Medina dated June, 2020.

ZONE 1

20112			
Areas: (acres)			POND VOLUME PROVIDED:
	Existing	Proposed	ELEV. AREA VOL. (CF)
Treatment A	0.20	0.00	4952 651
Treatment B	0.00	0.09	258.75
Treatment C	0.00	0.03	4951.5 384
Treatment D	0.00	0.08	TOTAL 258.75
Total (acres) =	0.20	0.20	

Volume		100 year	100 year	10 year	10 year	2 year	2 year
		Existing	Proposed	Existing	Proposed	Existing	Proposed
	Volume (acre-feet) =	0.007	0.021	0.001	0.011	0.000	0.005
	Volume (cubic feet) =	319	899	58	480	0	225

REQUIRED VOLUME = 0.20 X 0.34/12*43560 = 247 CF

				The second Property of the second sec	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.26	0.00	0.05	0.00	0.00	0.00
Treatment B	0.00	0.18	0.00	0.07	0.00	0.00
Treatment C	0.00	0.09	0.00	0.04	0.00	0.01
Treatment D	0.00	0.35	0.00	0.23	0.00	0.14
Total Q (cfs) =	0.26	0.62	0.05	0.34	0.00	0.15

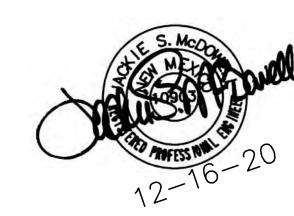
LEGEND PROPOSED **EXISTING** — 6045 — **CONTOUR** ______ SPOT ELEVATION +4951.46

SURVEY LEGEND

△ CONTROL MONUMENT (AS NOTED) FND. REBAR (AS NOTED) FND. CHISELED "X" (AS NOTED) FND. NAIL (AS NOTED) TELEPHONE RISER SAS MANHOLE WATER METER CABLE TV ×49XX.XX SPOT ELEVATION TOP OF CONCRETE TC= TOP OF SIDEWALK TSW=

 GATE CONCRETE HATCH

EASEMENT NOTES: 10.0' P.U.E. 10/05/2001 BK. 2001C, PG. 276



ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on December 9, 2020 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

231 ANNA MARIA PLACE SW, ALBUQUERQUE, NM 87105 CITY OF ALBUQUERQUE, BERNALILLO COUNTY

> LOT 9A-P1, UNIT 2 SUNSET FARM SUBDIVISION

MICHAEL SANCHEZ LOT 9A - GRADING & DRAINAGE PLAN

NEW MEXICO

TELE: 505-828-2430 • FAX: 505-821-4857 Checked JSM Drawn STAFF

SAN0120L DECEMBER,2020

12-10-1 = 20SAN0120L

CHISELED "X"

EL.=4,954.93'

N:1,485,755.240

E:1,512,784.758