

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 31, 2020

Jackie McDowell
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

RE: Sunset Farms / Puesta Del Sol Subdivision
231 Anna Maria Pl. SW
Grading and Drainage Plan
Engineer's Stamp Date: 12/16/20
Hydrology File: K12D025

Dear Ms. McDowell:

PO Box 1293

Based upon the information provided in your submittal received 12/16/2020, the Grading and Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house and the retention pond work).

Albuquerque

Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required prior to release from Hydrology during the Building Permit process. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

NM 87103

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

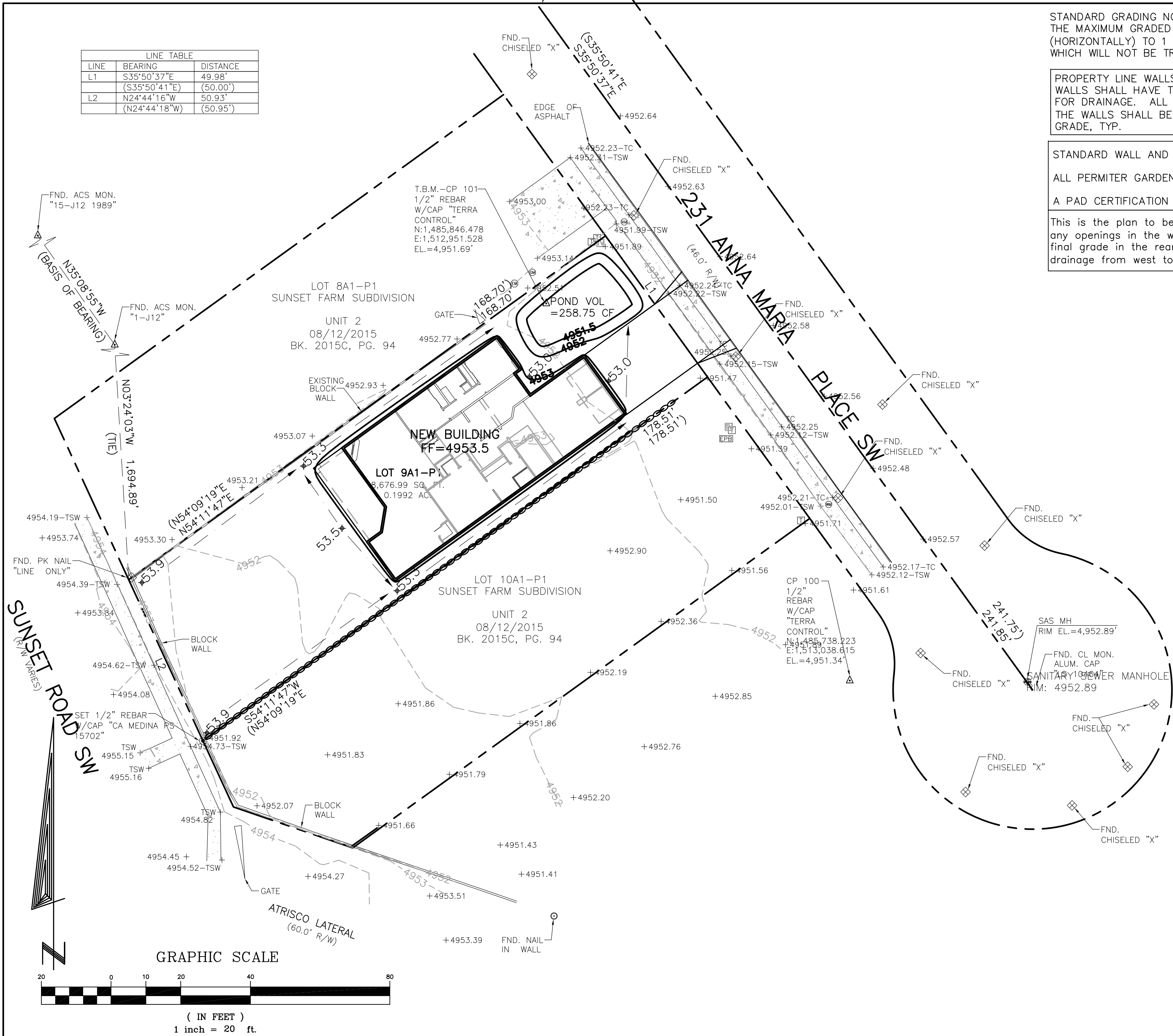
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



GENERAL DRAINAGE PLAN NOTES:

- It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
- This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
- It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
- All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
- All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
- Contractor shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
- Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

SURVEY NOTES:

PROJECT LOCATION

231 ANNA MARIA PLACE SW, ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION

LOT 9A1-P1 OF SUNSET FARM SUBDIVISION, UNIT 2

SURVEY INFORMATION

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO JUNE 2020.

PROJECT BENCHMARK

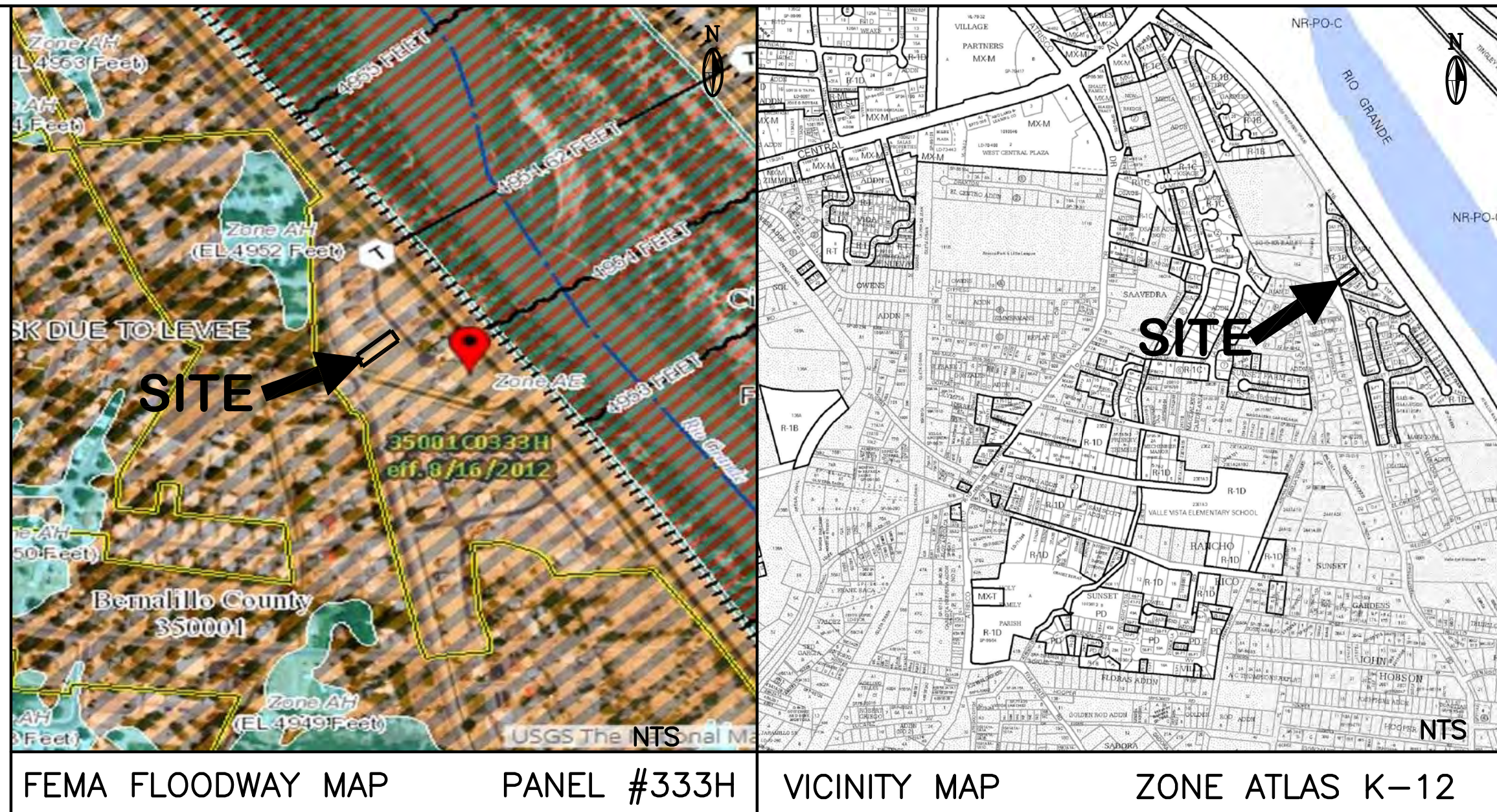
PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE 1 3/4 INCH METALLIC DISK EPOXIED TO THE TOP OF A CONCRETE HEADWALL LOCATED 70.0' EAST OF THE PROJECTED EAST BLOCK WALL (NORTH OF THE ATRISCO LATERAL) OF PUESTA DEL SOL SUBDIVISION. BENCHMARK IS CENTERED ON HEADWALL AND STAMPED, "ACS BM 30_K12". TO REACH THE BENCHMARK FROM THE INTERSECTION OF CENTRAL AVE. AND SUNSET RD. SW, TRAVEL SOUTH ON SUNSET RD. 0.50 MI. TO THE ATRISCO LATERAL DRAIN ON THE LEFT, THEN TRAVEL EAST ALONG THE DRAIN TO THE INTERSECTION OF THE ATRISCO LATERAL AND THE RIVERSIDE DRAIN. ELEVATION = 4956.47 FEET (NAVD 88 VERTICAL DATUM).

TEMPORARY BENCHMARK

TEMPORARY BENCHMARK IS A TERRA LAND SURVEYS CONTROL MONUMENT CP 101 BEING A SET 1/2 INCH REBAR WITH CAP STAMPED "TERRA CONTROL". ELEVATION = 4,951.69 FEET (NAVD 88 VERTICAL DATUM)

NOTES

- FIELD SURVEY PERFORMED IN JUNE 2020.
- TOPOGRAPHIC SURVEY WAS COMPILED UTILIZING GROUND COORDINATES REFERENCED TO NAD 1983 NEW MEXICO CENTRAL ZONE. PRIMARY HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED UTILIZING GPS RTK METHODS. COMBINED GROUND TO GRID FACTOR IS 0.999685271 SCALED AROUND 0.0.
- ELEVATIONS SHOWN FOR PIPES ARE INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- CONTOURS SHOWN HEREON ARE AT A ONE FOOT INTERVAL REFERENCED TO THE NAVD 88 VERTICAL DATUM.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- PIPE SIZES AND MATERIAL TYPES FOR MANHOLES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEYS AND VISUAL INSPECTIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE PIPE SIZES AND MATERIAL TYPES ARE EXACT BUT DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



LEGEND

EXISTING PROPOSED

CONTOUR	6045	6045
PROPERTY LINE		
ROAD		
SETBACK		
WALL		
SPOT ELEVATION	+4951.46	

SURVEY LEGEND

- CONTROL MONUMENT (AS NOTED)
- FND. REBAR (AS NOTED)
- FND. CHISELED "X" (AS NOTED)
- FND. NAIL (AS NOTED)
- TELEPHONE RISER
- CLEANOUT
- SAS MANHOLE
- WATER METER
- CABLE TV
- SPOT ELEVATION
- TOP OF CONCRETE
- TOP OF SIDEWALK
- GATE
- CONCRETE HATCH

EASEMENT NOTES:

10/05/2001
BK. 2001C, PG. 278

Jackie S. McDowell
Professional Engineer
12-16-20

ZONE 1

Areas (acres)	Existing	Proposed
Treatment A	0.20	0.00
Treatment B	0.00	0.09
Treatment C	0.00	0.03
Treatment D	0.00	0.08
Total (acres) =	0.20	0.20

POND VOLUME PROVIDED:	ELEV.	AREA	VOL. (CF)
	4952	651	258.75
	4951.5	384	258.75
		TOTAL	

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.007	0.021	0.001	0.011	0.000	0.005
Volume (cubic feet) =	319	899	58	480	0	225

REQUIRED VOLUME = 0.20 X 0.34/12*43560 = 247 CF

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.26	0.00	0.05	0.00	0.00	0.00
Treatment B	0.00	0.18	0.00	0.07	0.00	0.00
Treatment C	0.00	0.09	0.00	0.04	0.00	0.01
Treatment D	0.00	0.35	0.00	0.23	0.00	0.14
Total Q (cfs) =	0.26	0.62	0.05	0.34	0.00	0.15

ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on December 9, 2020 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

231 ANNA MARIA PLACE SW, ALBUQUERQUE, NM 87105

CITY OF ALBUQUERQUE, BERNALILLO COUNTY

NEW MEXICO

LOT 9A-P1, UNIT 2
SUNSET FARM SUBDIVISION

MICHAEL SANCHEZ LOT 9A - GRADING & DRAINAGE PLAN

McDowell Engineering, Inc.

7820 BEVERLY HILLS AVE. NE ALBUQUERQUE, NM 87122

TELE: 505-828-2430 FAX: 505-821-4857

Designed JSM Drawn STAFF Checked JSM Sheet of

File SAN0120L Date DECEMBER,2020 1 1