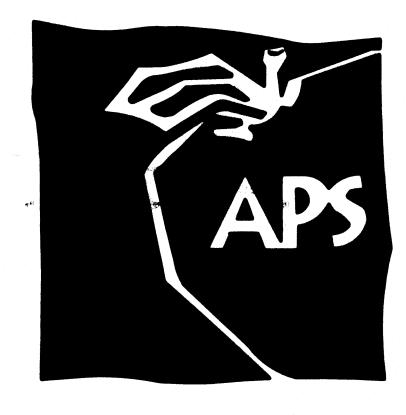


CONSTRUCTION PLANS for

BUS LANE IMPROVEMENTS VALLE VISTA ELEMENTARY SCHOOL

ALBUQUERQUE, NEW MEXICO SEPTEMBER, 2014



NOEK OF DRAWNOS

SHEET.	DESCRIPTION
1	COVER SHEET, VICINITY MAP, GENERAL NOTES, LEGEND AND INDEX OF DRAWINGS
2	DEMOLITION PLAN
3	SITE PLAN
4	PAVING SECTIONS AND DETAILS
5	GRADING PLAN
6	DRAINAGE PLAN AND CALCULATIONS



GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1987, PUBLISHED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION. (REVISED 12/06)
- 2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBL
- 3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- 4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
- 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND
- REGULATIONS CONCERNING SAFETY AND HEALTH.

 7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL FRODES FROM THE SITE INTO PUBLIC RIGHT—OF—WAY OR ONTO PRIVATE PROPERTY.
- 8. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED
- 9. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- 10. ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.

 11. IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. CURB AND GUTTER AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR
- SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

 12. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL
- BE MADE.

 13. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION,
- THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.

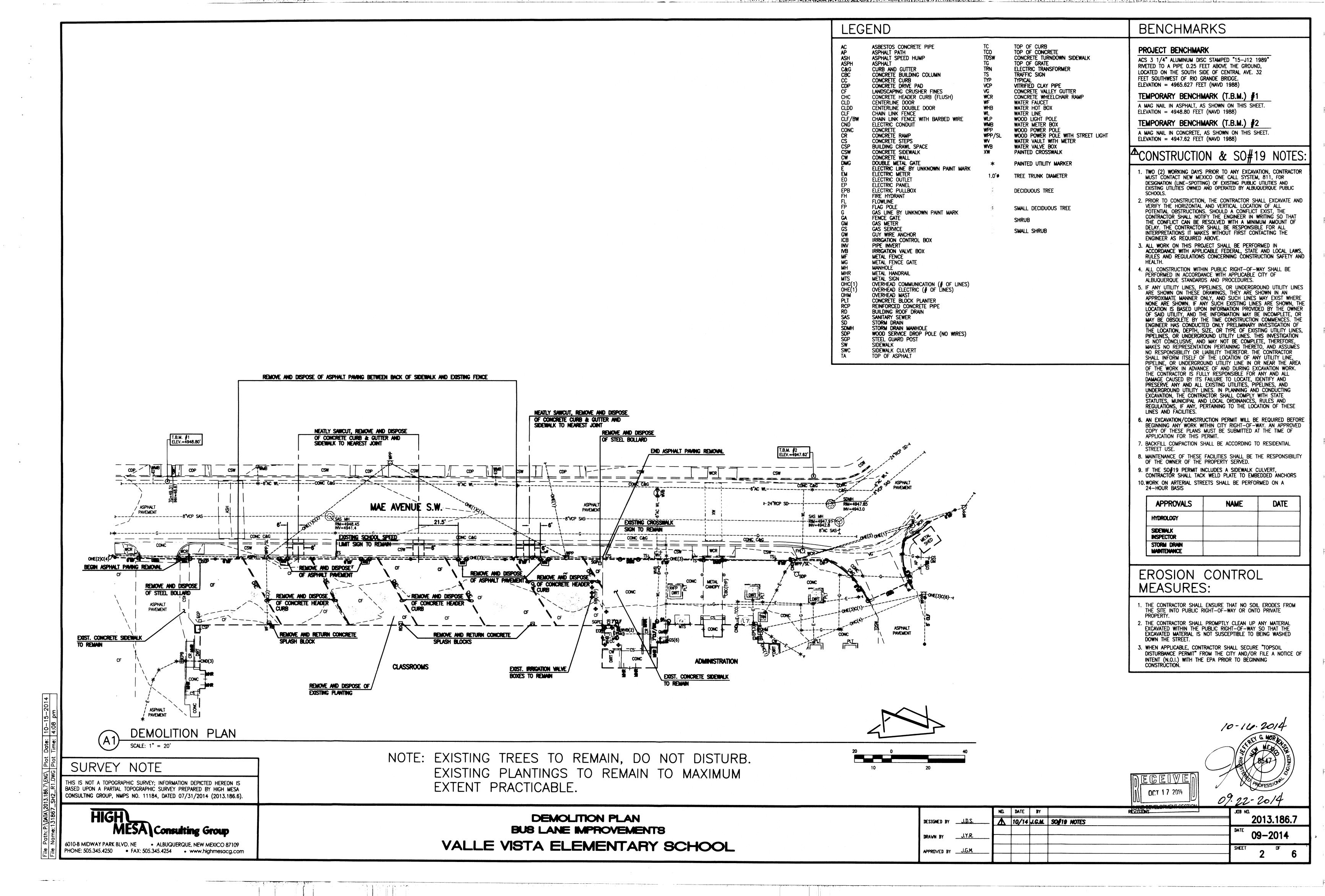
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE
- 15. THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS
- AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.

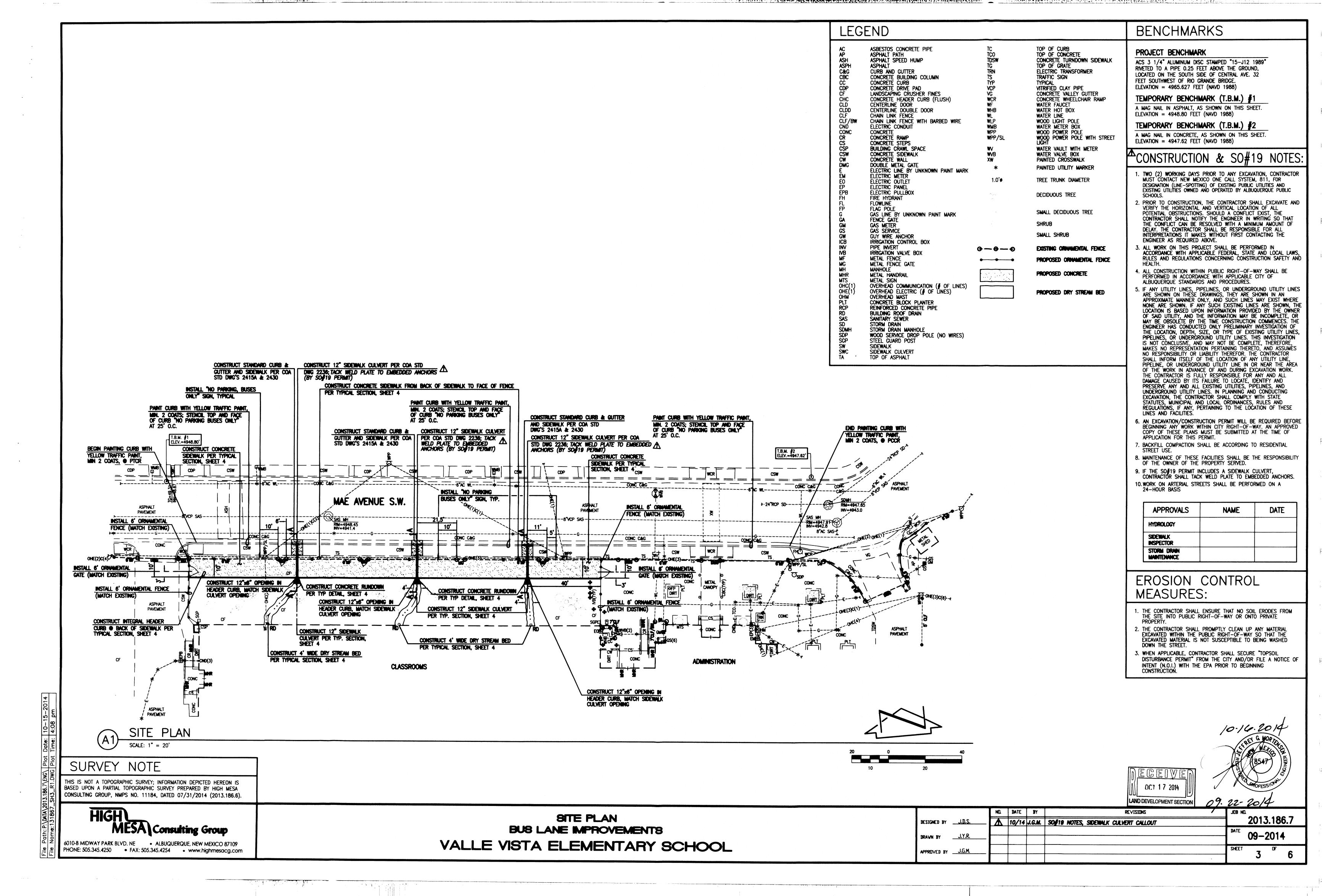
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT—OF—WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- 18. ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- 19. THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
- 20. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- 21. WHEN APPLICABLE, CONTRACTOR SHALL SECURE, ON BEHALF OF THE OWNER AND OPERATORS, "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
- 22. ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.
- 23. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
- 24. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

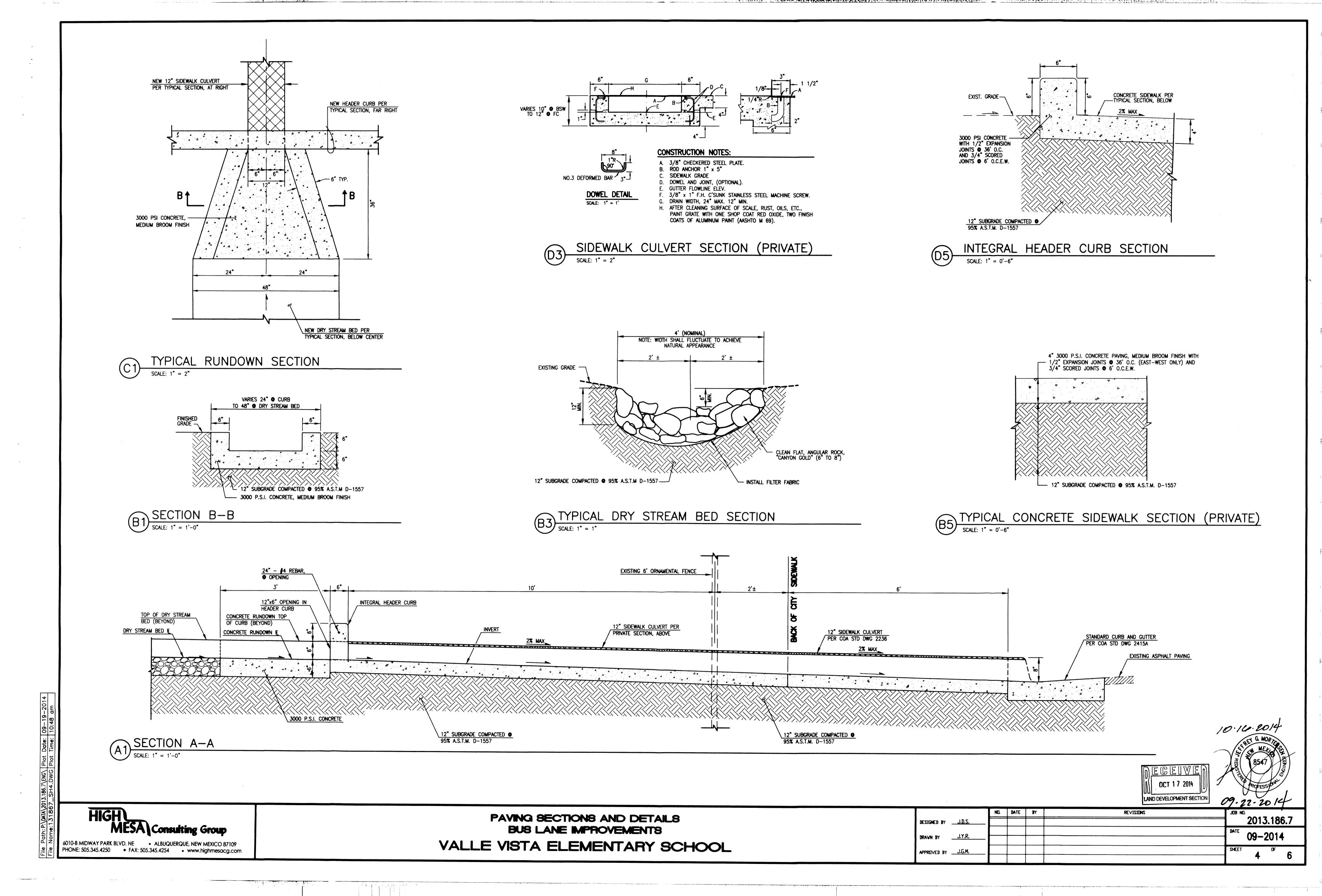
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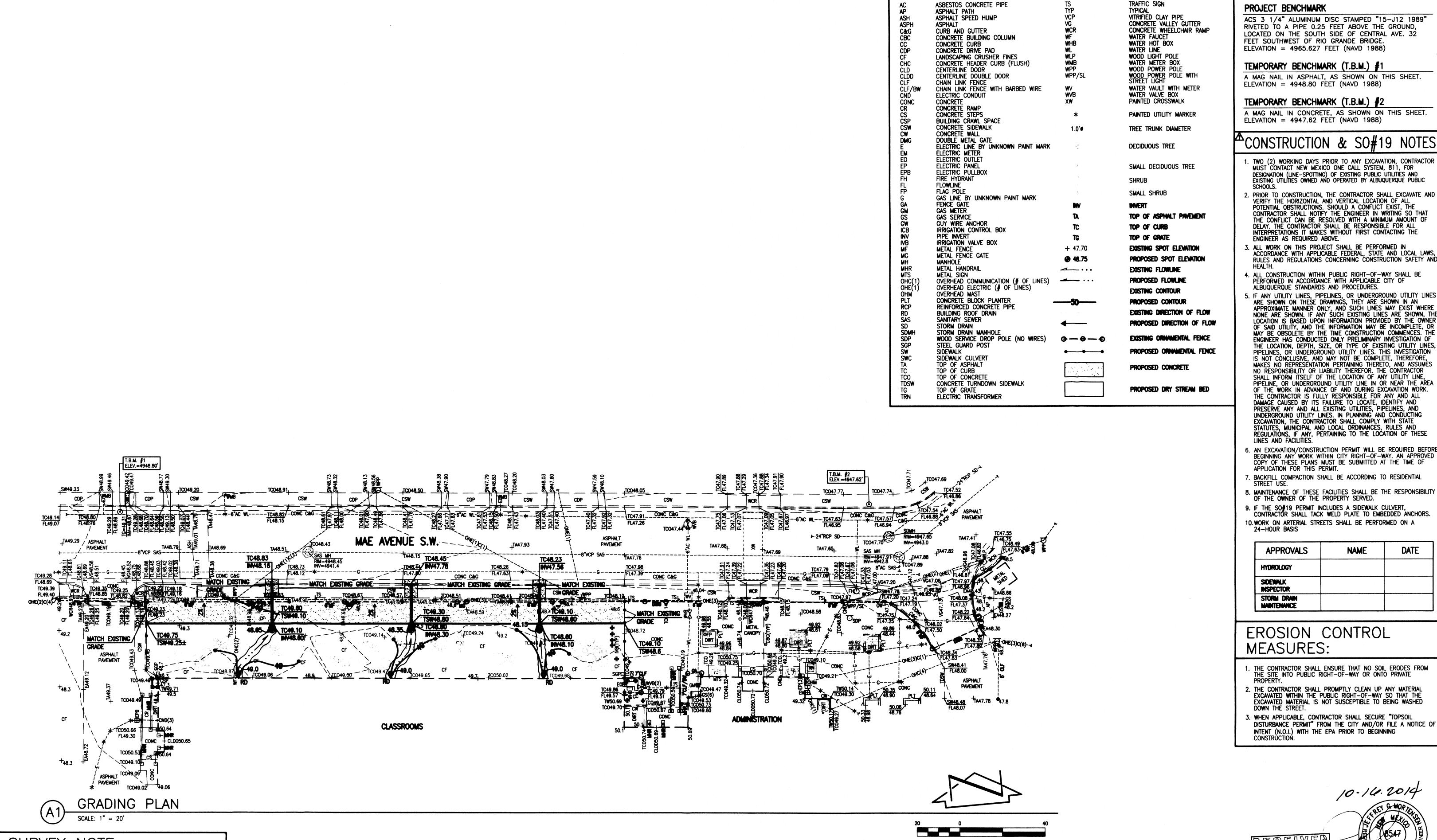
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10-16.2014 ST. G. MORTENSE	HIGH MESA Consulting Group 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109	APPROVED FOR CONSTRUCTION
(8547)) H	PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com	C.E.
29.22:201A	DECEIVED OCT 17 2014	SHEET 1 OF 6









BENCHMARKS

LEGEND

ACS 3 1/4" ALUMINUM DISC STAMPED "15-J12 1989" RIVETED TO A PIPE 0.25 FEET ABOVE THE GROUND, LOCATED ON THE SOUTH SIDE OF CENTRAL AVE. 32 FEET SOUTHWEST OF RIO GRANDE BRIDGE. ELEVATION = 4965.627 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #1

TEMPORARY BENCHMARK (T.B.M.) #2

A MAG NAIL IN CONCRETE, AS SHOWN ON THIS SHEET.

$^{\Delta}$ CONSTRUCTION & SO#19 NOTES:

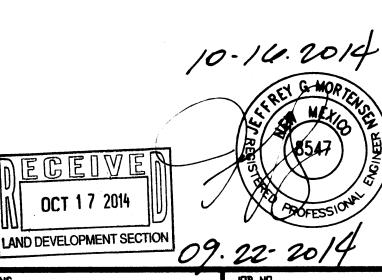
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- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE
- 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND
- 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF
- ALBUQUERQUE STANDARDS AND PROCEDURES. 5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, DIDENING OF LINES OR LINES OF LI
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- 7. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL

- 9. IF THE SO#19 PERMIT INCLUDES A SIDEWALK CULVERT, CONTRACTOR SHALL TACK WELD PLATE TO EMBEDDED ANCHORS.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN		

EROSION CONTROL

- 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOI DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING



SURVEY NOTE

THIS IS NOT A TOPOGRAPHIC SURVEY; INFORMATION DEPICTED HEREON IS BASED UPON A PARTIAL TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 07/31/2014 (2013.186.6).



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GRADING PLAN BUS LANE IMPROVEMENTS VALLE VISTA ELEMENTARY SCHOOL

10/14 J.G.M. SO/19 NOTES DRAWN BY J.Y.R.

2013.186.7 09-2014

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE UPPER SOUTH VALLEY OF THE ALBUQUERQUE METROPOLITAN AREA. REPRESENTS A MODIFICATION TO AN EXISTING APS SCHOOL SITE WITHIN AN INFILL AREA. THE PROPOSED BUS LANE IMPROVEMENTS ARE COMPRISED OF A NEW CONCRETE SIDEWALK AS AN IMPROVED STUDENT STAGING AREA, WITH ASSOCIATED SIDEWALK CULVERTS AND DRY STREAM BEDS FOR IMPROVED SITE DRAINAGE. THE DRAINAGE CONCEPT FOR THIS PROJECT WILL BE THE FREE DISCHARGE OF RUNOFF FROM THE PROJECT SITE TO MAE AVENUE SW, VIA BOTH SURFACE SHEET FLOW AND CONCENTRATED DISCHARGE VIA NEW SIDEWALK CULVERTS.

THIS SUBMITTAL IS MADE IN SUPPORT OF SO #19 PERMIT AND FLOODPLAIN DEVELOPMENT PERMIT WITHIN THE JURISDICTION OF THE CITY OF ALBUQÜERQUE.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SCHOOL SITE IS LOCATED ON THE SOUTH AND EAST SIDES OF MAE STREET SW, WEST OF ATRISCO DRIVE SW AND SOUTH OF GONZALES SW. CURRENT LEGAL DESCRIPTION IS A PORTION OF TRACT 23E1AC, MRGCD NO. 39. AS SHOWN BY PANEL 333 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, AUGUST 16, 1012, THIS SITE LIES WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE AH), WITH A BASE FLOOD ELEVATION (BFE) OF 4848. AS SUCH, A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED FOR THIS PROJECT.

III. BACKGROUND DOCUMENTS AND RESEARCH

THE PREPARATION OF THIS PLAN RELIED UPON THE FOLLOWING DOCUMENT:

• TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP (NMPS 11184) DATED 7/31/2014. THIS REFERENCED SURVEY PROVIDES THE BASIS FOR THE EXISTING CONDITIONS OF THE PROJECT SITE.

IV. EXISTING CONDITIONS

THE OVERALL SITE IS DEVELOPED AS AN APS ELEMENTARY SCHOOL. THE PROJECT AREA CONSISTS OF A PORTION OF THE SITE IMMEDIATELY ADJACENT TO MAE AVENUE SW THAT SERVES AS A STUDENT STAGING AREA FOR BUS PICK-UP / DROP-OFF ALONG MAE AVENUE SW. ACCESS TO THE BUSES I RESTRICTED BY ORNAMENTAL FENCING, WITH FOUR (4) ORNAMENTAL GATES THAT ACT AS QUEUE POINTS FOR THE STUDENTS. THIS AREA IS CURRENTLY LANDSCAPED, WITH NO PAVED ACCESS WITHIN THE SCHOOL PROPERTY SOUTH OF THE FENCE. THIS AREA GENERALLY DRAINS SOUTH TO NORTH WITH RUNOFF SHEETFLOWING ACROSS THE PUBLIC SIDEWALK AND INTO MAE AVE SW. THREE (3) ROOF DRAINS DISCHARGE ONTO THE EXISTING LANDSCAPING, RESULTING IN EROSION WITHIN THE LANDSCAPED AREA AND STANDING WATER IN THE STUDENT STAGING AREAS.

THERE ARE NO OFFSITE FLOWS IMPACTING THIS PROJECT SITE; PERMANENT SCHOOL IMPROVEMENTS LIE TO THE THE WEST, SOUTH, AND EAST OF THE PROJECT SITE, AND MAE AVENUE TO THE NORTH IS TOPOGRAPHICALLY LOWER THAN THE PROJECT SITE.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF PAVED SIDEWALK PEDESTRIAN IMPROVEMENTS ACCOMMODATE MORE EFFICIENT AND SAFER STAGING AND MOVEMENT OF STUDENTS, AS WELL AS THE ADDITION OF DRY STREAM BEDS AND SIDEWALK CULVERTS TO CONVEY ROOF RUNOFF NORTH TO MAE AVENUE SW, MITIGATING THE EROSION AND STANDING WATER WITHIN THIS AREA. A NEW HEADER CURB AT THE BACK OF THE PROPOSED SIDEWALKS WILL CONTAIN EXISTING GRAVEL LANDSCAPING. MITIGATING THE POTENTIAL MIGRATION OF GRAVEL ONTO THE NEW PAVED STUDENT STAGING AREA.

RUNOFF FROM THE PAVED IMPROVEMENTS WILL CONTINUE TO SHEETFLOW FROM SOUTH TO NORTH INTO MAE AVENUE SW. CONCENTRATED RUNOFF FROM THE THREE (3) ROOF DRAINS WILL BE CONVEYED VIA NEW DRY STREAM BED NORTH TO NEW SIDEWALK CULVERTS. FROM THIS POINT, THE NEW CULVERTS EXTENDING THROUGH BOTH THE EXISTING AND PROPOSED SIDEWALKS WILL DISCHARGE RUNOFF DIRECTLY TO MAE AVENUE SW. THE NEW SIDEWALK CULVERTS WILL BE CONSTRUCTED BY SO#19 PERMIT WITHIN THE PUBLIC RIGHT-OF-WAY.

THE PROPOSED IMPROVEMENTS WILL NOT ALTER OFFSITE FLOW CONDITIONS.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS 2.) THE LIMIT AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS, AND 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED GRADING WILL MAINTAIN THE CURRENT DRAINAGE PATTERN OF RUNOFF FLOW FROM SOUTH TO NORTH WITH DISCHARGE TO MAE STREET SW.

VII. EROSION AND SEDIMENT CONTROL PLAN

THIS PROJECT DISTURBS LESS THAN ONE-ACRE OF LAND, THEREFORE A SEPARATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS NOT BEEN PREPARED. THE SMALL SIZE OF THIS PROJECT DOES NOT WARRANT THE PREPARATION OF A SITE SPECIFIC EROSION AND SEDIMENT CONTROL PLAN. SHOULD SEDIMENT BECOME MOBILIZED AND EXIT THE PROJECT SITE, THE CONTRACTOR SHALL BE REQUIRED TO CLEAN-UP AND REMOVE THE SEDIMENT THAT MIGRATES ONTO THE EXISTING PUBLIC SIDEWALK TO ENSURE NO SEDIMENT IS DEPOSITED INTO MAE AVENUE SW.

VIII. CALCULATIONS

THE CALCULATIONS CONTAINED HEREON ANALYZE THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS DEMONSTRATED BY THESE CALCULATIONS, THE PROPOSED IMPROVEMENTS WILL RESULT IN A NEGLIGIBLE INCREASE (0.1 CFS) IN THE DEVELOPED RUNOFF GENERATED BY THIS PORTION OF THE SITE.

IX. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS CONTAINED

- 1. THE PROPOSED IMPROVEMENTS REPRESENT A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL
- 2. THE PROPOSED IMPROVEMENTS WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS OF THIS PORTION OF THE EXISTING ELEMENTARY SCHOOL SITE.
- 3. THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN THE IMPERVIOUSNESS OF THIS PORTION OF THE SITE, HOWEVER IT WILL ENHANCE DISCONNECTED IMPERVIOUSNESS THROUGH
- THE USE OF DRYSTREAM BEDS TO MANAGE EXISTING ROOF RUNOFF. 4. THE PROPOSED IMPROVEMENTS WILL RESULT IN A NEGLIGIBLE (0.1 CFS) INCREASE IN PEAK DISCHARGE GENERATED BY THIS PORTION OF THE SITE.
- 5. THE PROPOSED IMPROVEMENTS WILL ACCEPT AND CONVEY ROOF DRAIN RUNOFF TO MAE AVENUE SW, MITIGATING EXISTING EROSION AND STANDING WATER WITHIN THE STUDENT STAGING AREA. 6. NEW SIDEWALK CULVERTS PROPOSED WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE CONSTRUCTED BY SO #19 PERMIT.
- 7. AS THIS PROJECT LIES WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE AH), A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED.
- 8. THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES OR

DOWNSTREAM DRAINAGE CONDITIONS. 9. THIS PROJECT IS NOT SUBJECT TO AN EPA NPDES PERMIT

CALCULATIONS

SITE CHARACTERISTICS A. PRECIPITATION ZONE =

B. P_{100. 6 HR} = P₃₆₀ = 2.20

C. TOTAL PROJECT AREA (A_T) = 8,530 SF 0.20 AC

D. LAND TREATMENTS

1. EXISTING LAND TREATMENT

AREA (SF/AC) TREATMENT 8,070 / 0.19 460 / 0.01

2. DEVELOPED LAND TREATMENT

AREA (SF/AC) % 6,160 / 0.14 2,370 / 0.06

II. HYDROLOGY

A. EXISTING CONDITION

 $E_{W} = (E_{A}A_{A} + E_{B}A_{B} + E_{C}A_{C} + E_{D}A_{D})/A_{T}$ $(0.44^{\circ}0.00) + (0.67^{\circ}0.00) + (0.99^{\circ}0.19) + (1.97^{\circ}0.01)/0.20 =$ 1.04 IN 740 CF $V_{100,6 HR} = (E_W/12)A_T =$ (1.04/12)0.20 =

2. PEAK DISCHARGE

 $Q_P = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

 $Q_P = Q_{100} = (1.29 * 0.00) + (2.03 * 0.00) + (2.87 * 0.19) + (4.37 * 0.01) =$ 0.6 CFS

B. <u>DEVELOPED CONDITION</u>

1. VOLUME

 $E_W = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) A_T$

 $(0.44^{\circ}0.00) + (0.67^{\circ}0.00) + (0.99^{\circ}0.14) + (1.97^{\circ}0.06)/0.20 =$ 1.28 IN 940 CF $V_{100.8 HR} = (E_W/12)A_T = (1.28/12)0.20 =$

2. PEAK DISCHARGE

 $Q_P = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$

 $Q_P = Q_{100} = (1.29^{\circ}0.00) + (2.03^{\circ}0.00) + (2.87^{\circ}0.14) + (4.37^{\circ}0.06) =$

C. COMPARISON

1. VOLUME

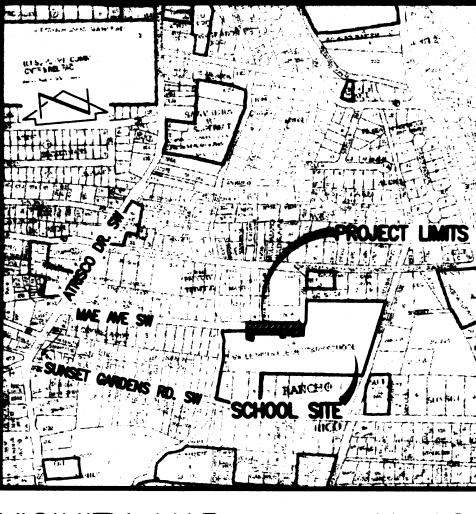
 $\Delta V_{100, 6 HR} = 940 - 740 =$

2. PEAK DISCHARGE

0.7 - 0.6 =

(INCREASE) 0.1 CFS (INCREASE)

0.7 CFS



K-12

FEDERAL EMERGENCY

MANAGEMENT AGENC



PANEL 333 OF

825

DATE 08-16-2012

BENCHMARKS

PROJECT BENCHMARK

ACS 3 1/4" ALUMINUM DISC STAMPED "15-J12 1989" RIVETED TO A PIPE 0.25 FEET ABOVE THE GROUND. LOCATED ON THE SOUTH SIDE OF CENTRAL AVE. 32 FEET SOUTHWEST OF RIO GRANDE BRIDGE. ELEVATION = 4965.627 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #1 A MAG NAIL IN ASPHALT, AS SHOWN ON SHEET 2.

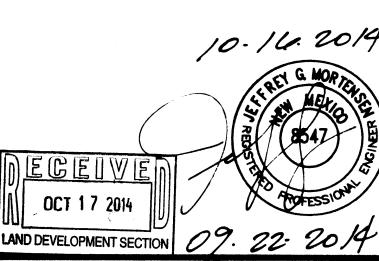
ELEVATION = 4948.80 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #2

A MAG NAIL IN CONCRETE, AS SHOWN ON SHEET 2. ELEVATION = 4947.62 FEET (NAVD 1988)

LEGAL DESCRIPTION

A PORTION OF TRACT 23E1A3. MRGCD NO. 39, ALSO KNOWN AS VALLE VISTA ELEMENTARY SCHOOL



MESA\Consulting Group

DRAINAGE PLAN AND CALCULATIONS **BUS LANE IMPROVEMENTS** VALLE VISTA ELEMENTARY SCHOOL

2013.186.7 10/14 J.G.M. ADDED FLOODPLAIN DEVELOPMENT PERMIT REQUIREMENT 09-2014 DRAVN BY APPROVED BY J.G.M.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- 5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

EROSION CONTROL MEASURES:

- 1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
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TRAFFIC CIRCULATION AND LAYOUT PLAN

INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE UPPER SOUTH VALLEY OF THE ALBUQUERQUE METROPOLITAN AREA, REPRESENTS A MODIFICATION TO AN EXISTING APS SCHOOL SITE WITHIN AN INFILL AREA. THE PROPOSED MINI-CAMPUS DEVELOPMENT IS COMPRISED OF PORTABLE CLASSROOMS, PAVED Parking and Pedestrian access, and Minimal Landscaping to serve a pre-k educational PROGRAM. THE PROPOSED FACILITIES WILL BE LOCATED AT THE NORTHEAST CORNER OF THE EXISTING SCHOOL SITE WITHIN AND ADJACENT TO THE EXISTING PLAYGROUND AND PORTABLE PARK. ACCESS TO THE PROJECT SITE WILL BE OBTAINED FROM MAE STREET SW VIA TWO NEW DRIVEPADS.

THIS SUBMITTAL IS MADE IN SUPPORT OF FOUNDATION AND DRIVEWAY PERMIT APPROVALS WITHIN THE JURISDICTION OF THE CITY OF ALBUQUERQUE.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SCHOOL SITE IS LOCATED ON THE SOUTH AND EAST SIDES OF MAE STREET SW, WEST OF ATRISCO DRIVE SW AND SOUTH OF GONZALES SW. CURRENT LEGAL DESCRIPTION IS A PORTION OF TRACT 23E1A3, MRGCD MAP NO 39.

III. EXISTING CONDITIONS

THE SITE PRESENTLY CONSISTS OF A PORTION OF THE SITE ONCE OCCUPIED BY PORTABLE CLASSROOMS NOW CONSISTING OF A MIX OF PORTABLE CLASSROOMS AND PLAYGROUND IMPROVEMENTS. THIS PORTION OF THE SCHOOL SITE IS RELATIVELY FLAT, BUT GENERALLY SLOPES FROM EAST TO WEST ULTIMATELY DRAINING TO MAE STREET SW. AT THIS POINT, MAE STREET SW IS IN A SUMP CONDITION, DRAINED BY PUBLIC STORM DRAIN IMPROVEMENTS. MAE STREET IS A FULLY IMPROVED CITY STREET.

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<u>ENGINEER'S TCL CERTIFICATION FOR PERMANENT C.O.</u>

JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THE PARKING LOT LAYOUT AND TRAFFIC CIRCULATION IMPROVEMENTS CONSTRUCTED AS PART OF THIS PROJECT HAVE BEEN ACCOMPLISHED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 07-07-2010. THE RECORD INFORMATION EDITED ONTO A COPY OF THE APPROVED PLAN HAS BEEN OBTAINED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL SITE DATA ON 08-18-2010, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT I VISITED THE SUBJECT PROJECT SITE ON 10-19-2010 TO CONDUCT A VISUAL INSPECTION AND VERIFICATION OF THE COMPLETED WORK AS OF THAT DATE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE PARKING LOT LAYOUT AND TRAFFIC CIRCULATION ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE WHICH IS BEYOND THE SCOPE OF A TCL CERTIFICATION. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DATE







VICINITY MAP SCALE: 1" = 750' (APPROX.)

DESCRIPTION

A PORTION OF VALLE VISTA ELEMENTARY SCHOOL, ALBUQUERQUE,

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1 OF 1	SUPPLEMENTAL SITE AND TRANSPORTATION (TCL) INFORMATION
2 OF 16	OVERALL PLAN
4 OF 16	SITE PLAN
5 OF 16	PAVING SECTIONS AND DETAILS

B

RECORD DRAWING

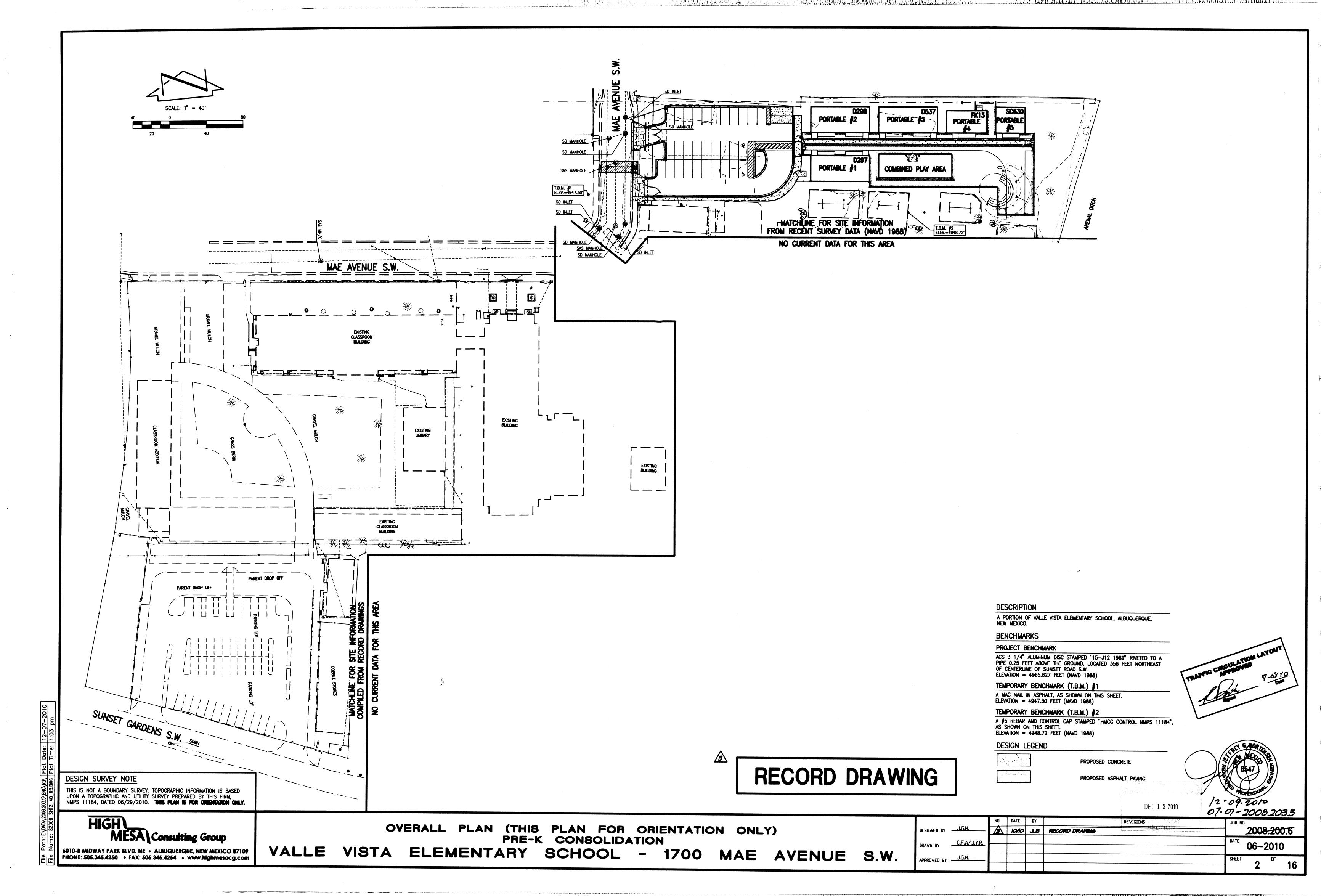


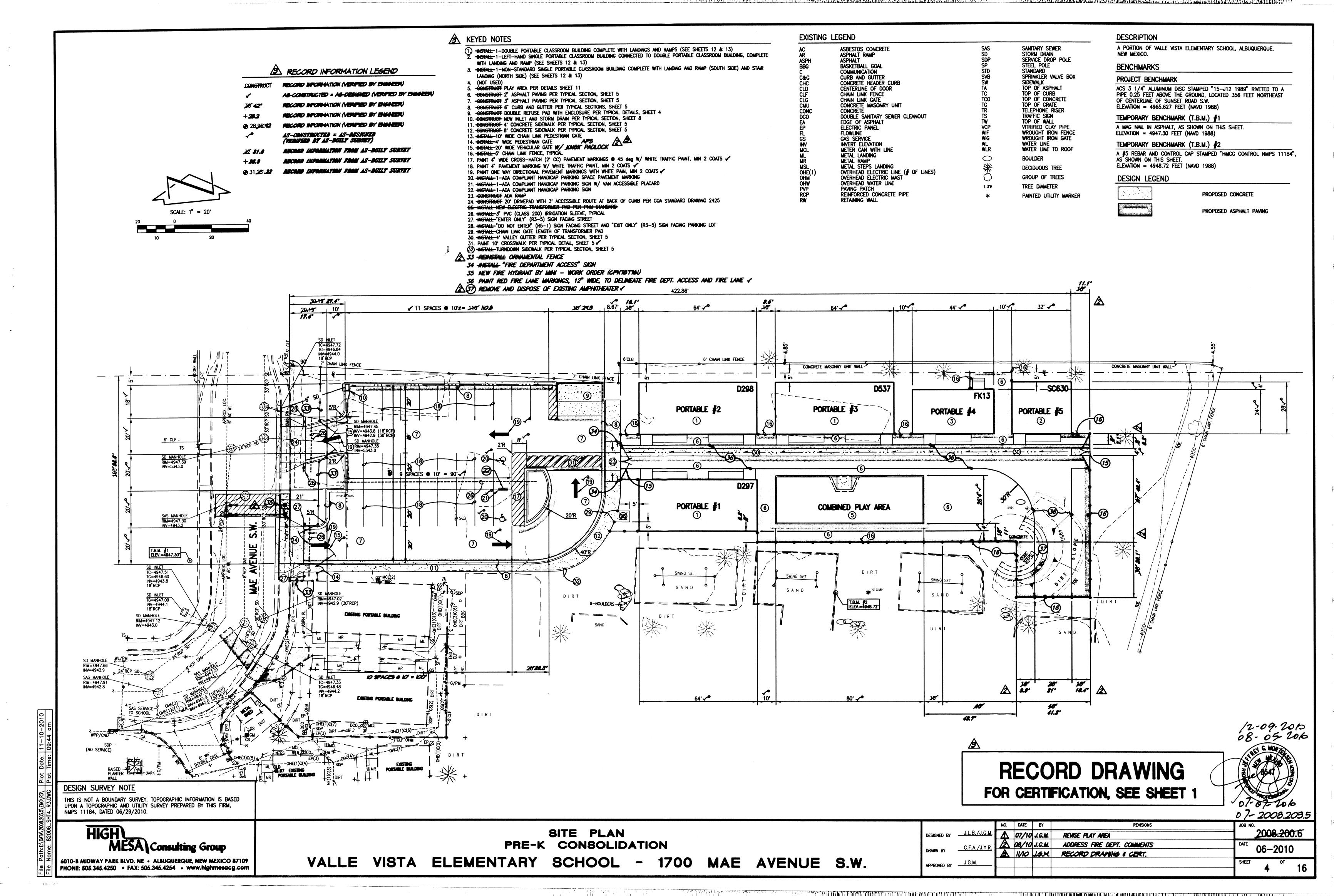
MESA Consulting Group

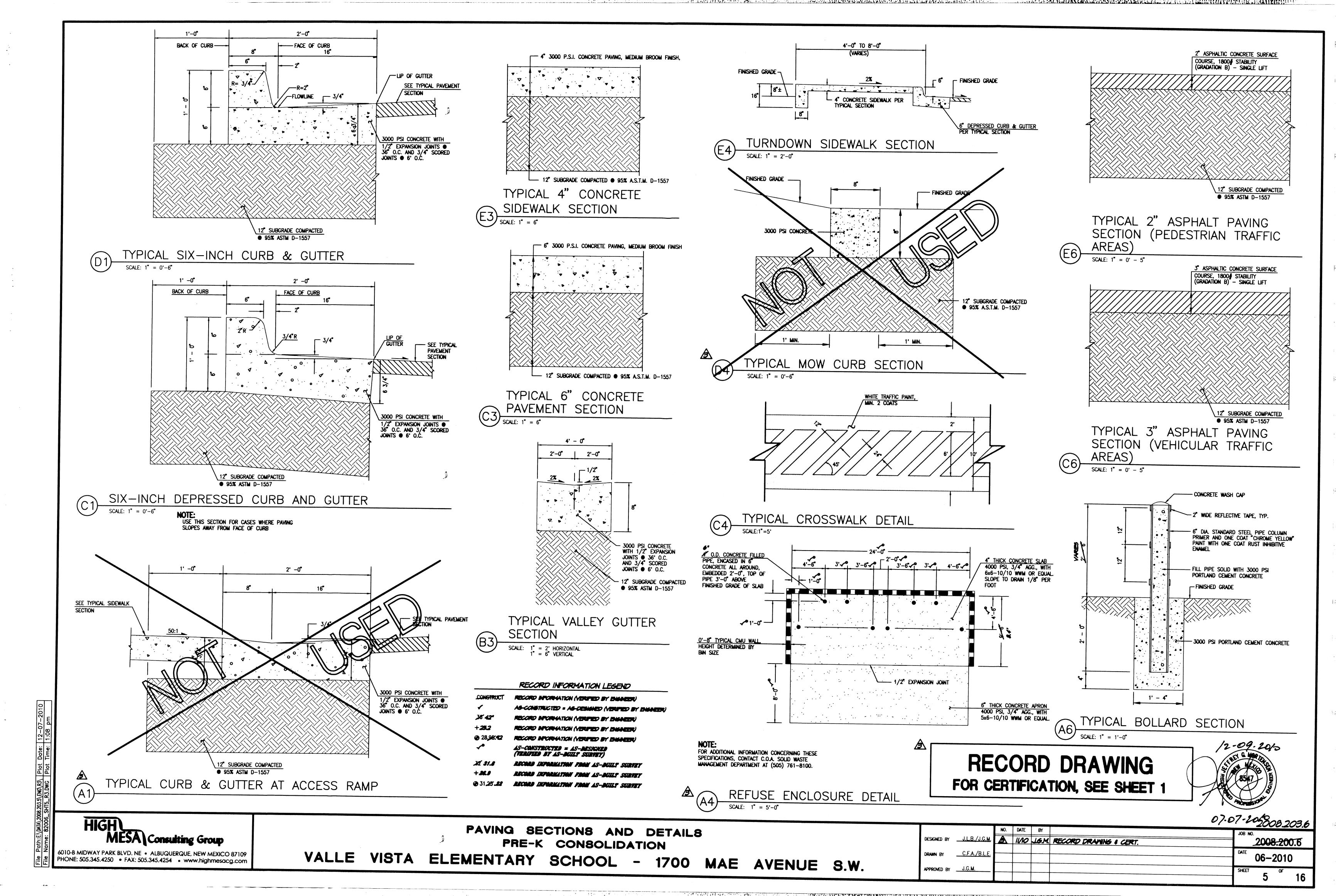
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesaca.com

SUPPLEMENTAL SITE AND TRANSPORTATION (TCL) INFORMATION PRE-K CONSOLIDATION VALLE VISTA ELEMENTARY SCHOOL 1700 MAE AVENUE 8.W

11 B /1CM	NC).	DATE	BY	REVISIONS	JOB NO.	2006	2000	<u> </u>
J.L.B./ J.G.M.		1010	4	MECORD DRAMING & CERTIFICATION			5.200 .	<u>U</u>
T.N.T./C.F.A					DATE	07-2	2010	
J.G.M.					SHEET			
*******						1	<u> </u>	
	J.L.B./J.G.M. T.N.T./C.F.A J.G.M.	J.L.B./J.G.M. T.N.T./C.F.A	J.L.B./J.G.M. T.N.T./C.F.A	J.L.B./J.G.M. J.N.T./C.F.A	J.L.B./J.G.M. S. 1010 J.B RECORD DRAMING & CERTIFICATION T.N.T./C.F.A	J.L.B./J.G.M. J.N.T./C.F.A DATE	J.L.B./J.G.M. J. IANO J.B RECORD DRAWING & CERTIFICATION DATE 07-2	J.L.B./J.G.M. J. 100 J.B RECORD DRAWING & CERTIFICATION DATE 07-2010







- 1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
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VICINITY MAP SCALE: 1" = 750' (APPROX.)

K-12

DESCRIPTION

HYDROLOGY

A PORTION OF VALLE VISTA ELEMENTARY SCHOOL, ALBUQUERQUE, NEW MEXICO.

INDEX OF DRAWINGS

HADEN OF	DIGWINGS
SHEET NO.	DESCRIPTION
1 OF 1	SUPPLEMENTAL SITE AND TRANSPORTATION (TCL) SHEET
2 OF 16	OVERALL PLAN
4 OF 16	SITE PLAN
5 OF 16	PAVING SECTIONS AND DETAILS



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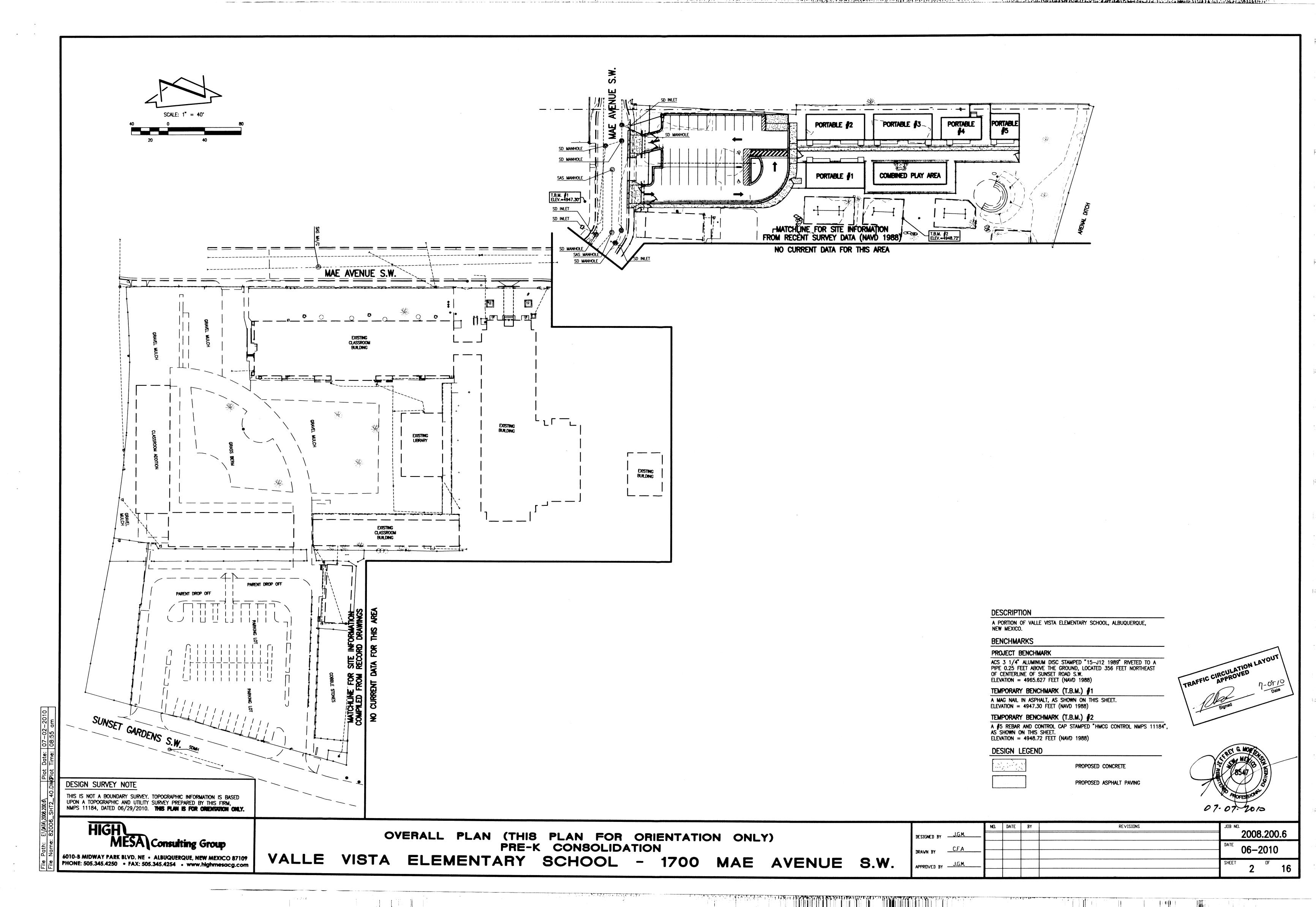
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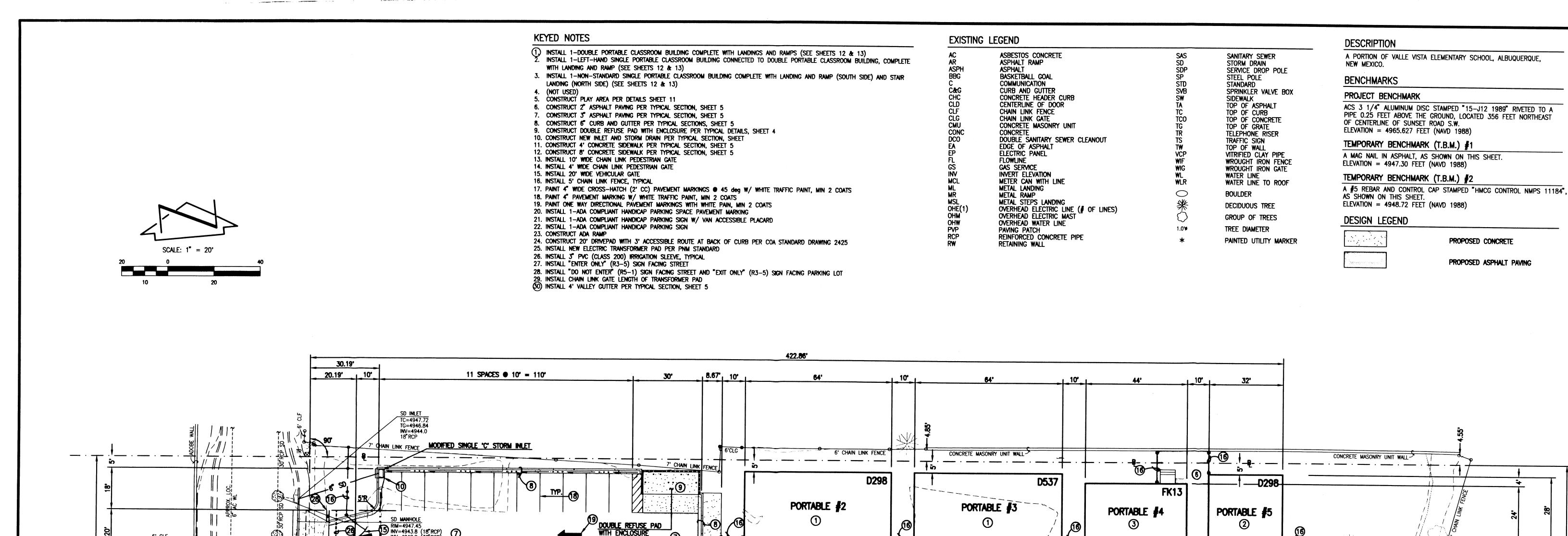
SUPPLEMENTAL SITE AND TRANSPORTATION (TCL) INFORMATION PRE-K CONSOLIDATION

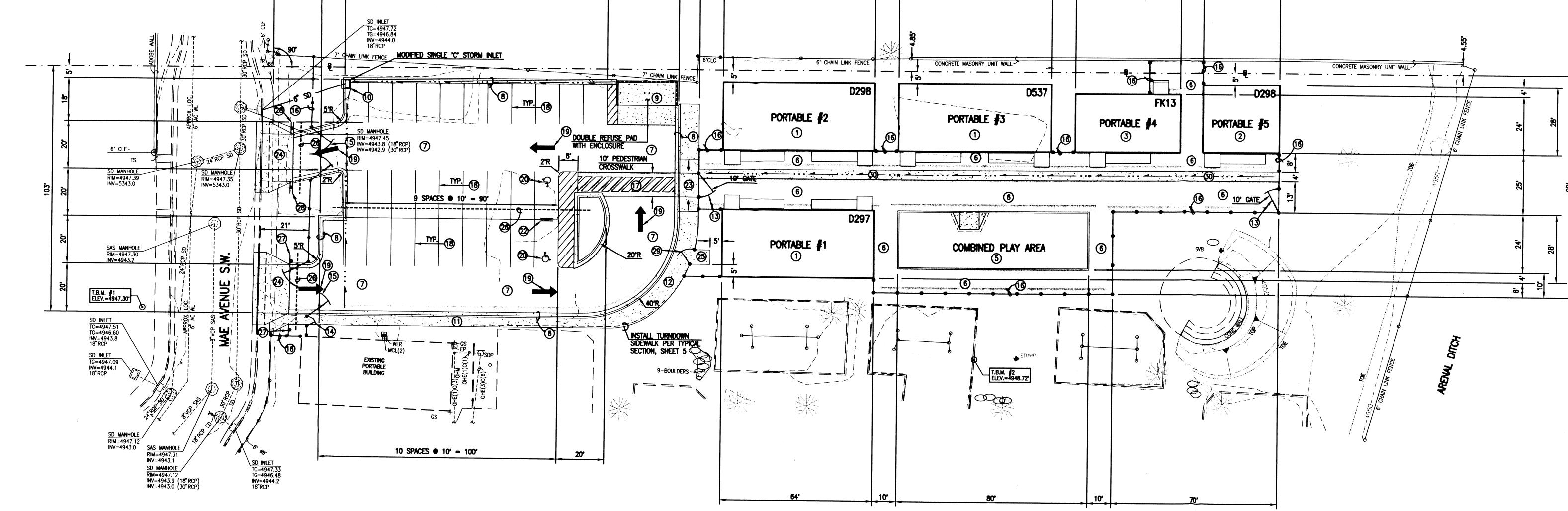
MESA Consulting Group 4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

HIGH

NO. DATE REVISIONS DESIGNED BY J.L.B./J.G.M. VALLE VISTA ELEMENTARY SCHOOL 1700 MAE AVENUE S.W. APPROVED BY J.G.M.







DESIGN SURVEY NOTE

THIS IS NOT A BOUNDARY SURVEY. TOPOGRAPHIC INFORMATION IS BASED UPON A TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 06/29/2010.

HIGH MESA Consulting Group

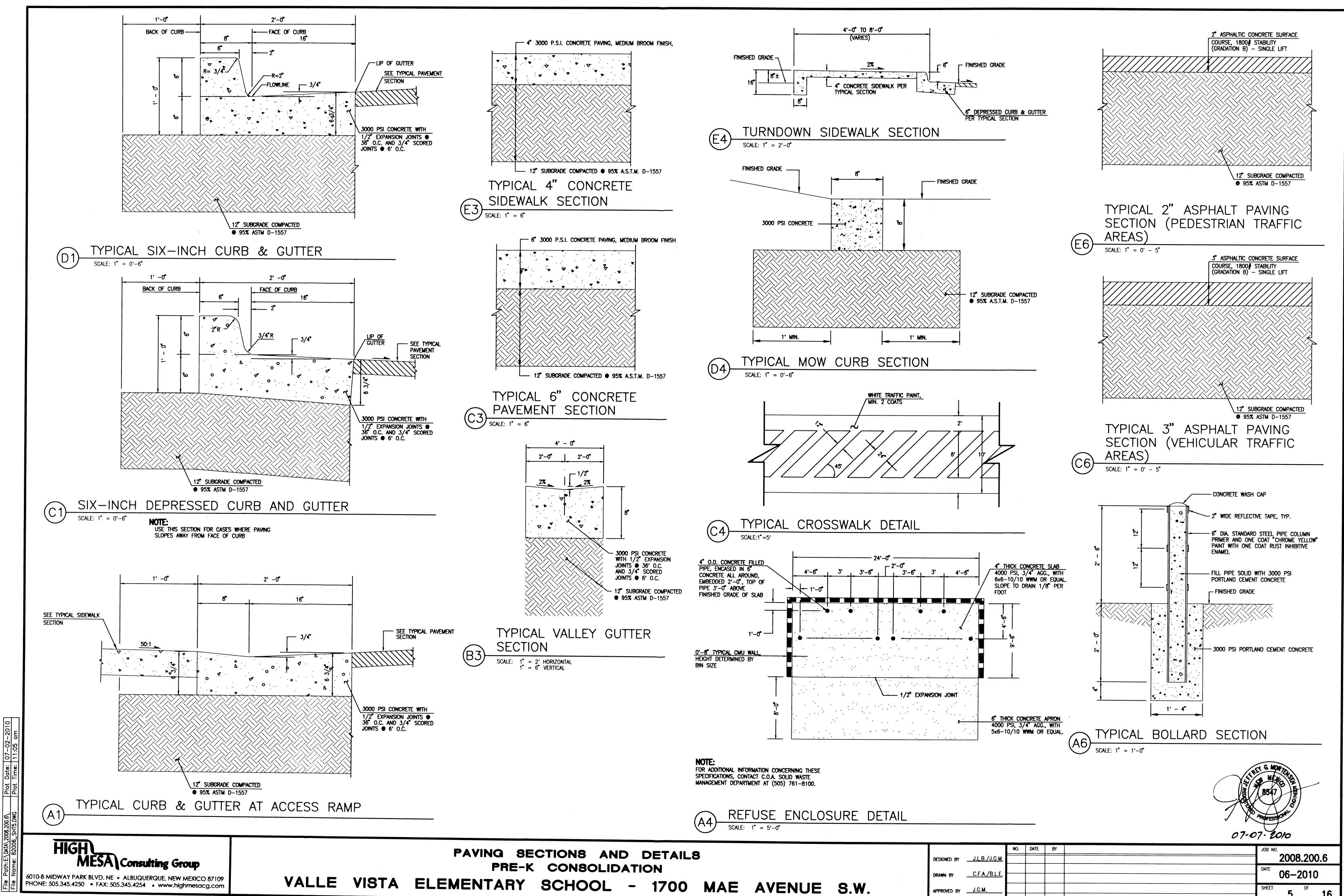
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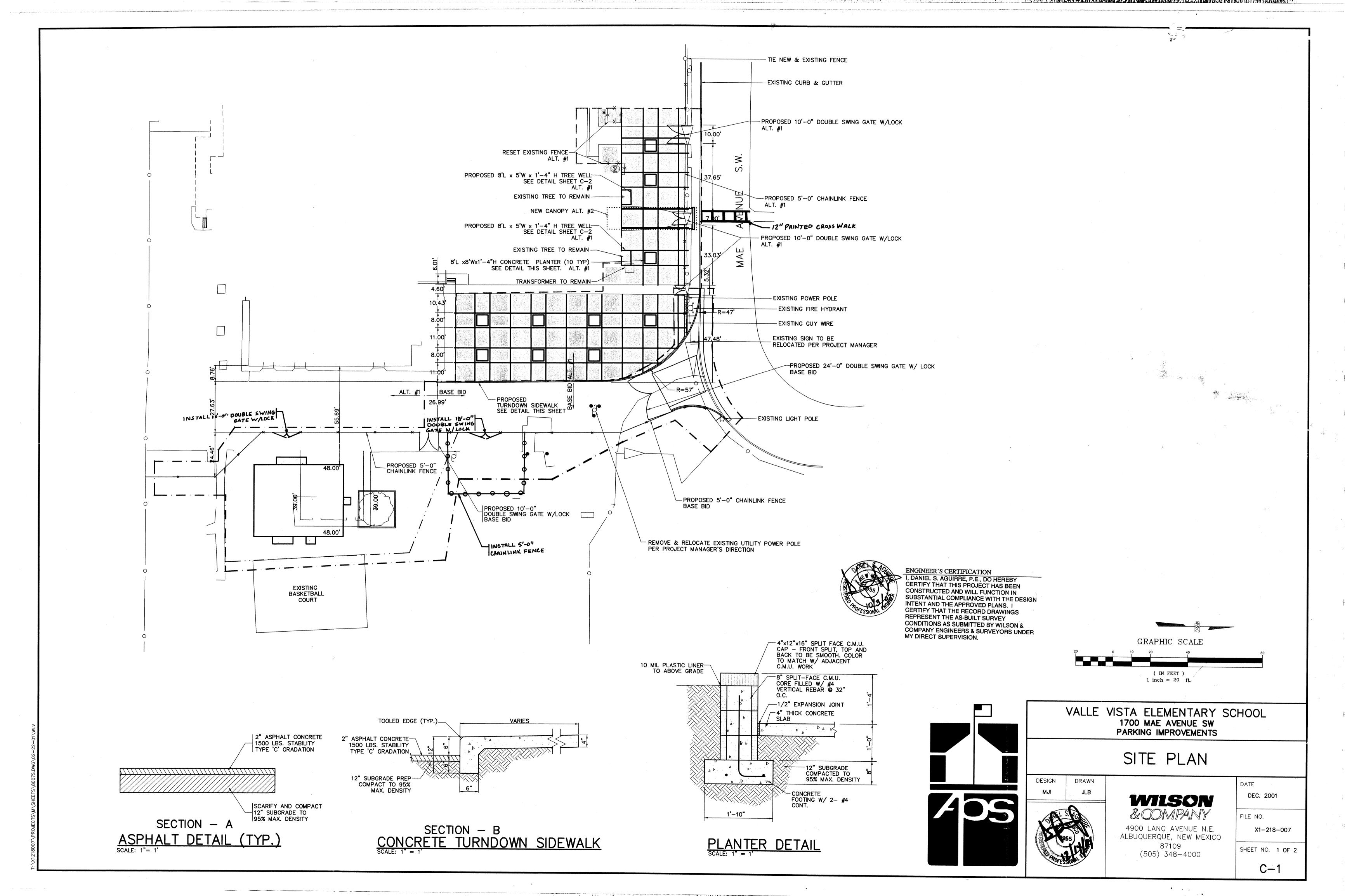
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

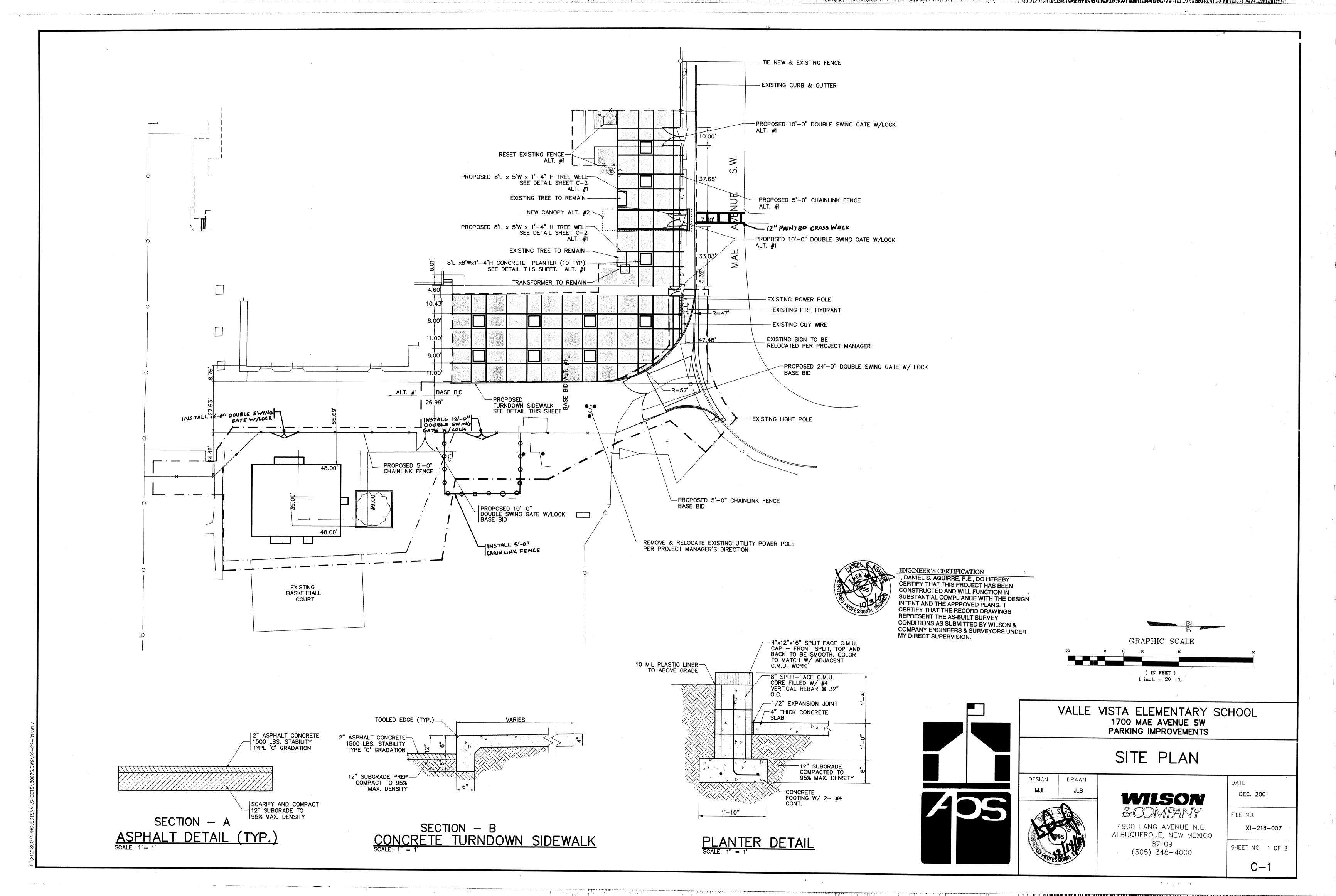
SITE PLAN
PRE-K CONSOLIDATION
VALLE VISTA ELEMENTARY SCHOOL - 1700 MAE AVENUE S.W.

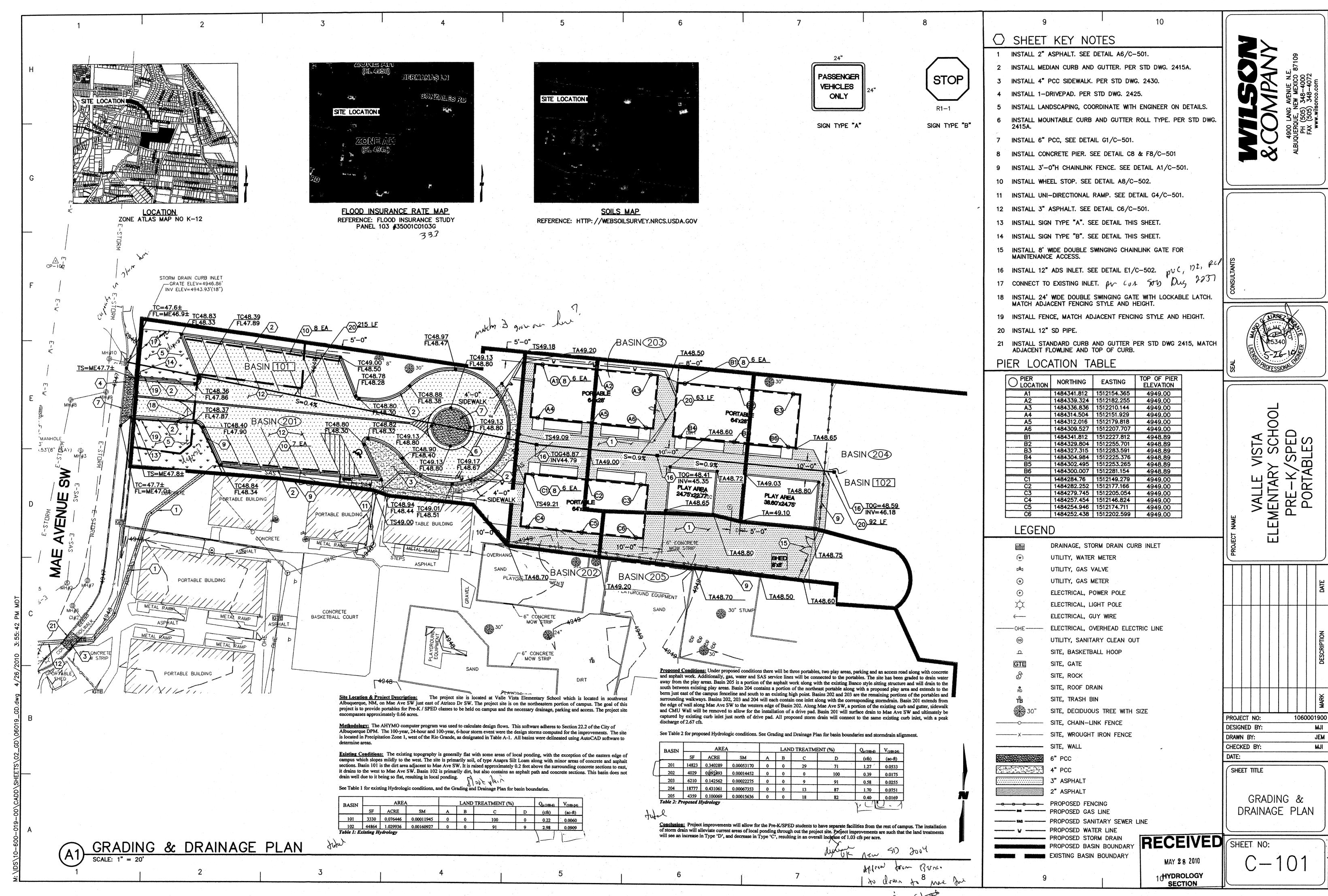
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6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

7. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

8. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL

9. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

10. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS

	STORM DRAIN MAINTENANCE	APPROVED VIA E-MAIL BY DAVID SILVA	040410
	SIDEWALK INSPECTOR		
	HYDROLOGY		
7	APPROVALS	NAME	DATE

EROSION CONTROL MEASURES:

96/24/2018 99:87 9243864

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE

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DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: K-12/D 027

SUBDIVISION NAME: TRACT 23E1A3, MRGCD MAP NO 39

SITE DEVELOPMENT PLAN FOR SUBDIVISION

X OTHER - FOUNDATION PERMIT & SO #19 PERMIT

SIDEWALK CULVERT CONNECTION TO MAE AVENUE SW

4" PVC PIPE PENETRATION TRIBOUGH THE CURB OF MAE AVENUE SW

SUBJECT: VALLE VISTA ELEMENTARY SCHOOL PRE-K CONSOLIDATION

CROSS REFERENCE NUMBERS: EPC

TYPE OF APPROVAL
PRELIMINARY& FINAL PLAT

BUILDING PERMIT

ATTINDEL

MEFF MORTENSEN BRAD BINGHAM

B. SO #19 REQUIRED FOR THE FOLLOWING:

HMOG PROJECT NO. 2004, 200 6

X GRADING PERMIT (& PAVING)

STREET ADDRESS: 1700 MAE AVENUE SW

CITY OF ALBUQUERQUE

DEVELOPMENT & BUILDING SERVICES CENTER

PLANNING DEPARTMENT/HYDROLOGY SECTION

HYDROLOGY & TRANSPORTATION PREDESIGN CONFERENCE RECAP

ORGANIZATION:

A. AN APPROVED DRAINAGE PLAN/REPORT PER THE DPM WILL BE REQUIRED TO SUPPORT

GRADING AND PAVING PRIMITS, POUNDATION PERMIT & SPECIAL CRIDER \$19 APPROVALS

C. CONTROLLED DISCHARGE REQUIRED FOR THE DISCHARGE OF DEVELOPED RUNOFF TO MAE

D. DEAINAGE SUBMITTAL MUST ADDRESS OFFSITE FLOWS AND BAPACTS ON ADIACENT

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND

ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE PROPRIES ARE

NOTE: PLEASE PROVIDE A COPY OF THIS RECAP WITH EACH DRAINAGE & TRANSPORTATION

TITLE CONSTITUTE DE-16-2010

NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

CONNECTIONS TO PUBLIC STORM DRAIN OR PUBLIC STORM INLET LOCATED IN MAR AVE

DESCRIPTION

A PORTION OF VALLE VISTA ELEMENTARY SCHOOL, ALBUQUERQUE. NEW MEXICO.

BENCHMARKS

PROJECT BENCHMARK

PAGE 81/81

ACS 3 1/4" ALUMINUM DISC STAMPED "15-J12 1989" RIVETED TO A PIPE 0.25 FEET ABOVE THE GROUND, LOCATED 356 FEET NORTHEAST OF CENTERLINE OF SUNSET ROAD S.W. ELEVATION = 4965.627 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #1

A MAG NAIL IN ASPHALT, AS SHOWN ON SHEETS 2 AND 6. ELEVATION = 4947.30 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #2

A #5 REBAR AND CONTROL CAP STAMPED "HMCG CONTROL NMPS 11184". AS SHOWN ON SHEETS 2 AND 6. ELEVATION = 4948.72 FEET (NAVD 1988)

ENGINEER'S CERTIFICATION

JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED, DRAINED AND CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ORIGINAL APPROVED PLAN DATED 07-07-2010 AND 07-14-2010. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL SITE DATA COMBINED WITH RECORD INFORMATION OBTAINED FROM THE AS-BUILT SURVEY DATED 10-18-2010 AND 10-19-2010 PERFORMED UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA. JR.. (NMPS 11184) OF THE FIRM HIGH MESA CONSULTING GROUP AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED TO DOCUMENT COMPLETION OF THOSE IMPROVEMENTS IDENTIFIED ON THE APPROVED PLAN FOR THE OWNER AND CITY OF ALBUQUERQUE, TO SATISFY CONDITIONS OF GRADING PLAN APPROVAL. AND TO SUPPORT ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY.

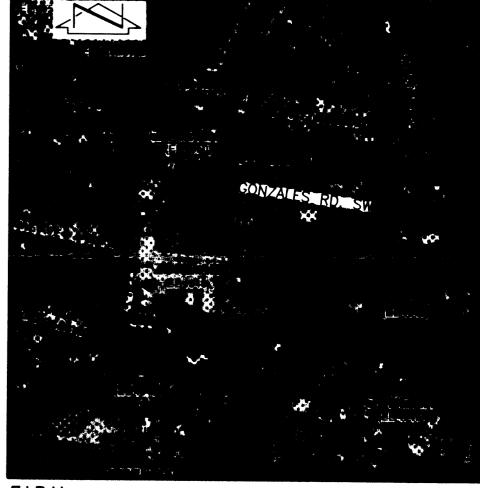
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE AND SPECIFIC LIMITED ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE WHICH IS BEYOND THE SCOPE OF GRADING AND DRAINAGE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

8547 JEYFREY G. MORTENSEN APOFESSION



SCALE: 1" = 750' (APPROX.)

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F.I.R.M. SCALE: $1^{\circ} = 500^{\circ}$ (APPROX.) PANEL 333 OF 825

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GRADING PLAN

DRAINAGE PLAN AND CALCULATIONS

STORM INLET AND MANHOLE DETAILS

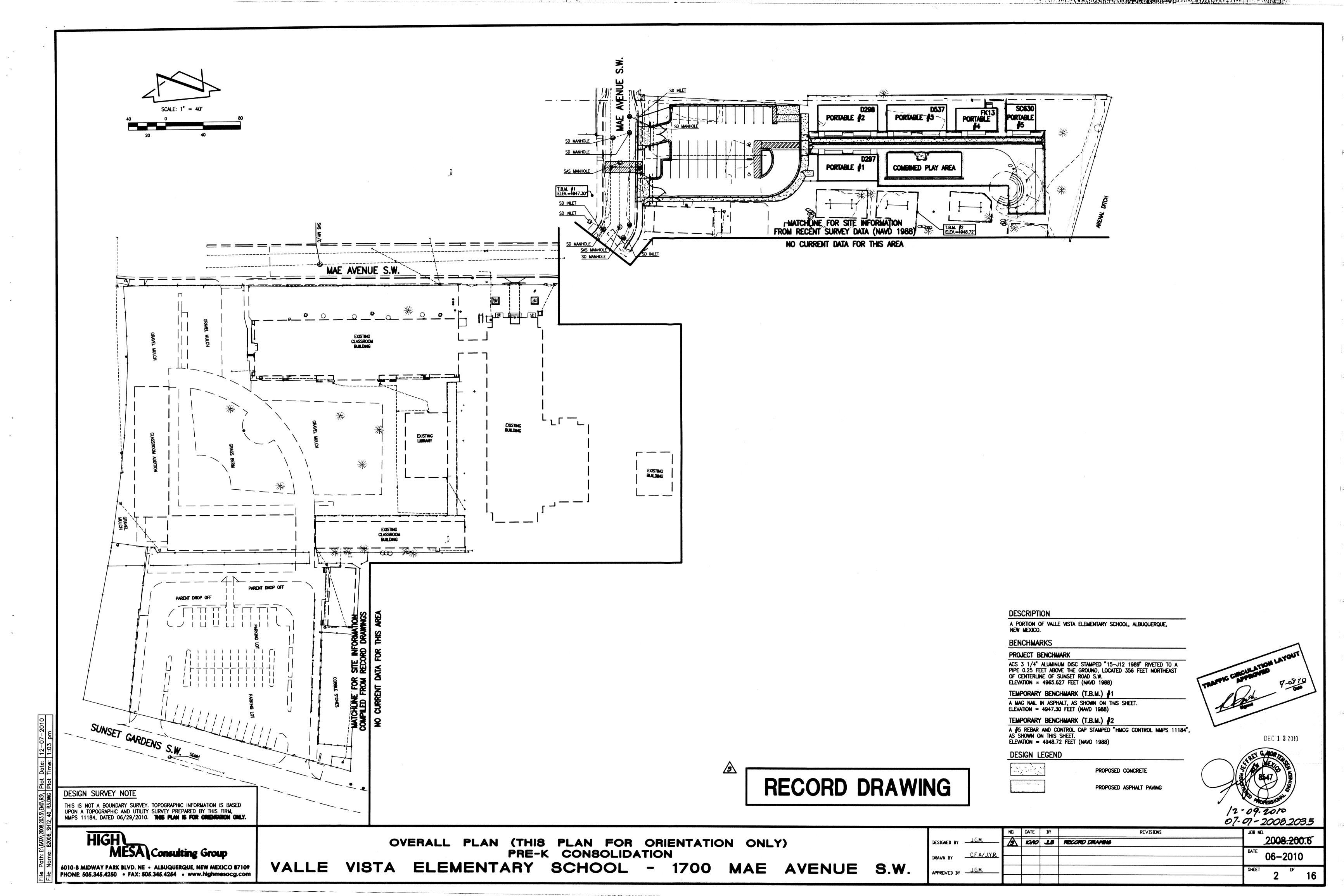
RECORD DRAWING

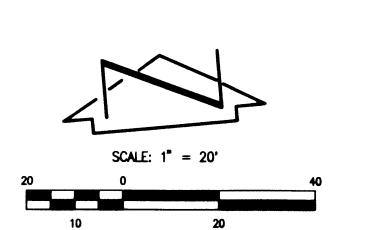
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HIGH\ MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesaca.com SUPPLEMENTAL SITE AND DRAINAGE INFORMATION PRE-K CONSOLIDATION VALLE VISTA ELEMENTARY SCHOOL 1700 MAE AVENUE S.W.

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PPROVED BY	J.G.M.					SHEET	DF 4
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EXISTING LEGEND ASBESTOS CONCRETE SANITARY SEWER ASPHALT RAMP STORM DRAIN **ASPHALT** SERVICE DROP POLE BASKETBALL GOAL STEEL POLE COMMUNICATION STANDARD SPRINKLER VALVE BOX CURB AND GUTTER CONCRETE HEADER CURB SIDEWALK TOP OF ASPHALT CENTERLINE OF DOOR CHAIN LINK FENCE CHAIN LINK GATE CONCRETE MASONRY UNIT TOP OF CURB TOP OF CONCRETE TOP OF GRATE TELEPHONE RISER CONCRETE DOUBLE SANITARY SEWER CLEANOUT EDGE OF ASPHALT ELECTRIC PANEL TRAFFIC SIGN TOP OF WALL VITRIFIED CLAY PIPE FLOWLINE WROUGHT IRON FENCE WROUGHT IRON GATE GAS SERVICE INVERT ELEVATION WATER LINE WATER LINE TO ROOF METER CAN WITH LINE METAL LANDING
METAL RAMP
METAL STEPS LANDING
OVERHEAD ELECTRIC LINE (# OF LINES)
OVERHEAD ELECTRIC MAST
OVERHEAD WATER LINE BOULDER **DECIDUOUS TREE GROUP OF TREES** TREE DIAMETER PAVING PATCH REINFORCED CONCRETE PIPE PAINTED UTILITY MARKER RETAINING WALL

DESCRIPTION

A PORTION OF VALLE VISTA ELEMENTARY SCHOOL, ALBUQUERQUE, NEW MEXICO.

BENCHMARKS

PROJECT BENCHMARK

ACS 3 1/4" ALUMINUM DISC STAMPED "15-J12 1989" RIVETED TO A PIPE 0.25 FEET ABOVE THE GROUND, LOCATED 356 FEET NORTHEAST OF CENTERLINE OF SUNSET ROAD S.W. ELEVATION = 4965.627 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #1

A MAG NAIL IN ASPHALT, AS SHOWN ON THIS SHEET. ELEVATION = 4947.30 FEET (NAVD 1988)

TEMPORARY BENCHMARK (T.B.M.) #2

A #5 REBAR AND CONTROL CAP STAMPED "HMCG CONTROL NMPS 11184", AS SHOWN ON THIS SHEET.

as shown on this sheet. Elevation = 4948.72 feet (navd 1988)

RECORD INFORMATION LEGEND

ONGTRUCT RECORD INFORMATION (VERIFIED BY ENGINEER)

AG-CONSTRUCTED = AG-DESIGNED (VERIFIED BY ENGINEER)

RECORD INFORMATION (VERIFIED BY ENGINEER)

RECORD INFORMATION (VERLINED BY ENGINEER

RECORD INFORMATION (VERIFIED BY ENGINEER

SD INLET TC=4947.72 TG=4946.84 (TO REMAIN) _____ PREMOVE AND DISPOSE OF EXISTING 4' CHAIN LINK FENCE +47.8 DIRT ✓ NEATLY SAWCUT EXISTING
CURB AND GUTTER AND
SIDEWALK ● SOUTH END FOUND 3/4" IRON PIPE-SD MANHOLE RIM=4947.45 INV=4943.8 (18"RCP) INV=4942.9 (30"RCP) DIRT INLET TRANSITION OF CONCRETE HEADER 201.0° 48.5 CURB < ✓ REMOVE AND DISPOSE OF EXISTING RETAINING WALL ✓ NEATLY SAWCUT EXISTING CURB AND GUTTER AND REMOVE AND DISPOSE OF EXISTING ASPHALT SIDEWALK WOOD SDP (NO LINES) ✓ <u>NEATLY SAWCUT EXISTING</u>
CURB AND GUTTER AND
SIDEWALK DIRT DIRT ✓ REMOVE AND SALVAGE

6' WROUGHT IRON FENCE T.B.M. #1 ELEV.=4947.30* ✓ NEATLY SAWCUT EXISTING CURB AND GUTTER AND ✓ BEGIN REMOVAL OF
6' WROUGHT IRON FENCE EXISTING
PORTABLE
BUILDING
REMOVE AND DISPOSE
OF CONCRETE HEADER
CURB SD INLET TC=4947.33 TG=4946.48 INV=4944.2 18"RCP

DESIGN SURVEY NOTE

THIS IS NOT A BOUNDARY SURVEY. TOPOGRAPHIC INFORMATION IS BASED UPON A TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 06/29/2010.

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DEMOLITION PLAN PRE-K CONSOLIDATION

PRE-K CONSOLIDATION

NTARY SCHOOL - 1700 MAE AVENUE S.W.

RECORD DRAWING
FOR CERTIFICATION, SEE SHEET 1

A IVIO LIGH. RECORD DRAWING & CERT.

REVISIONS

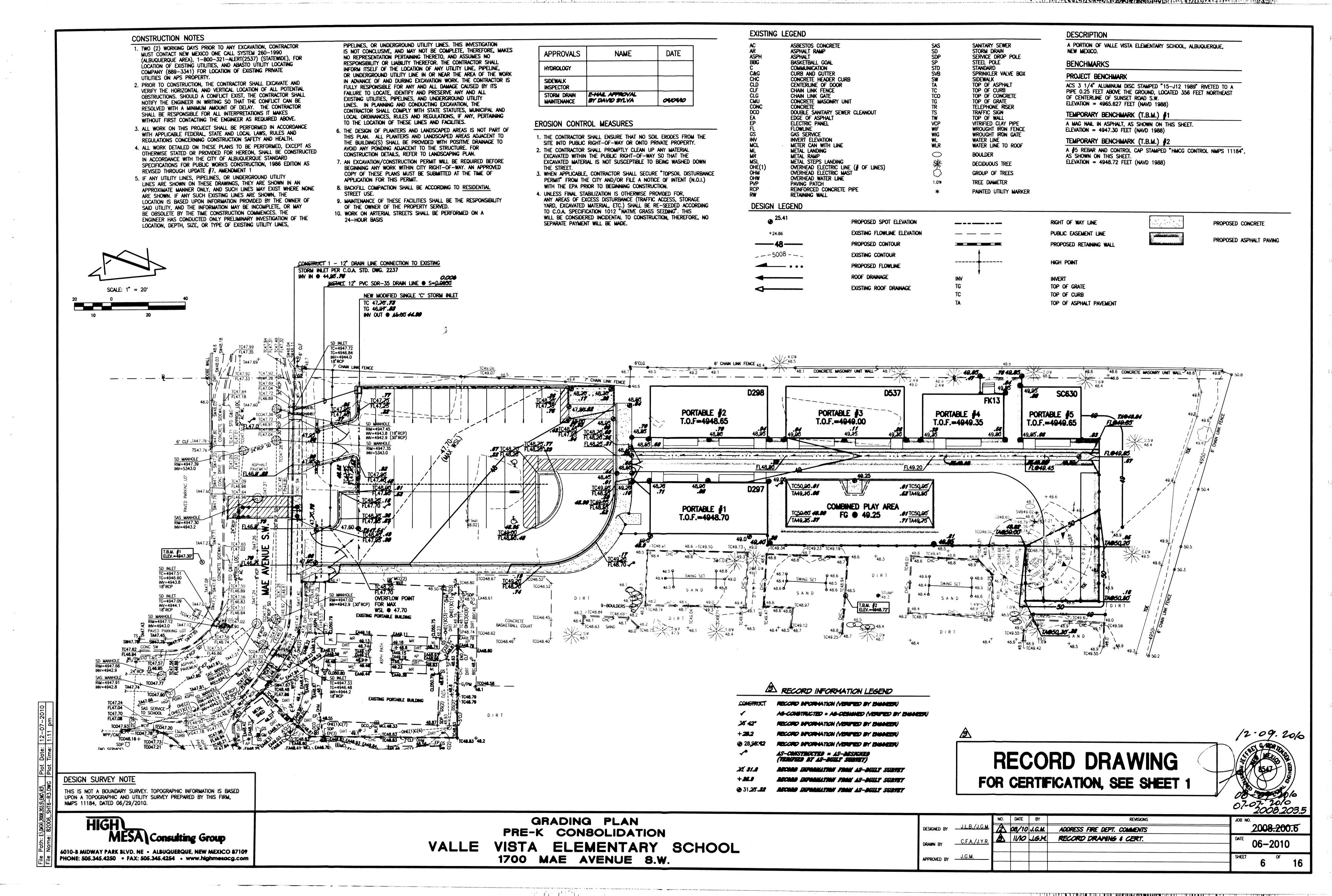


2008.203.5

2008.200.6

DATE 06-2010

VALLE VISTA ELEMENTARY SCHOOL - 1700 MAE AVENUE S.W.



1. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE UPPER SOUTH VALLEY OF THE ALBUQUERQUE METROPOLITAN AREA, REPRESENTS A MODIFICATION TO AN EXISTING APS SCHOOL SITE WITHIN AN INFILL AREA. THE PROPOSED MINI-CAMPUS DEVELOPMENT IS COMPRISED OF PORTABLE CLASSROOMS, PAVED PARKING AND PEDESTRIAN ACCESS, AND MINIMAL LANDSCAPING TO SERVE A PRE-K EDUCATIONAL PROGRAM. THE PROPOSED FACILITIES WILL BE LOCATED AT THE NORTHWEST CORNER OF THE EXISTING SCHOOL SITE WITHIN AND ADJACENT TO THE EXISTING PLAYGROUND AND PORTABLE PARK. THE DRAINAGE CONCEPT FOR THIS PROJECT WILL BE THE CONTROLLED DISCHARGE OF DEVELOPED RUNOFF TO EXISTING PUBLIC RIGHT-OF-WAY DUE TO LIMITED DOWNSTREAM CAPACITY.

THIS SUBMITTAL IS MADE IN SUPPORT OF FOUNDATION, GRADING AND PAVING, AND SO #19 PERMITS WITHIN THE JURISDICTION OF THE CITY OF ALBUQUERQUE.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SCHOOL SITE IS LOCATED ON THE SOUTH AND EAST SIDES OF MAE STREET SW, WEST OF ATRISCO DRIVE SW AND SOUTH OF GONZALES SW. CURRENT LEGAL DESCRIPTION IS A PORTION OF TRACT 23E1A3, MRGCD MAP NO 39. AS SHOWN BY PANEL 333 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 26, 2008, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. FURTHERMORE, THE SITE DOES NOT APPEAR TO DISCHARGE TO A DOWNSTREAM DESIGNATED FLOOD HAZARD AREA, HOWEVER LIMITED DOWNSTREAM CAPACITY HAS BEEN DETERMINED THROUGH PREDESIGN ACTIVITIES WITH THE CITY ENGINEER'S OFFICE.

III. BACKGROUND DOCUMENTS

THE PREPARATION OF THIS PLAN RELIED UPON THE FOLLOWING DOCUMENT:

• TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP (NMPS 11184) DATED 06-29-2010. THIS REFERENCED SURVEY PROVIDES THE BASIS FOR THE EXISTING CONDITIONS OF THE PROJECT SITE.

IV. EXISTING CONDITIONS

THE SITE PRESENTLY CONSISTS OF A PORTION OF THE SITE ONCE OCCUPIED BY PORTABLE CLASSROOMS NOW CONSISTING OF A MIX OF PORTABLE CLASSROOMS AND PLAYGROUND IMPROVEMENTS. THIS PORTION OF THE SCHOOL SITE IS RELATIVELY FLAT, BUT GENERALLY SLOPES FROM EAST TO WEST ULTIMATELY DRAINING TO MAE STREET SW. AT THIS POINT, MAE STREET SW IS IN A SUMP CONDITION, DRAINED BY PUBLIC STORM DRAIN IMPROVEMENTS. MAE STREET IS A FULLY IMPROVED CITY STREET.

THERE ARE NO APPARENT OFFSITE FLOWS IMPACTING THIS SITE; EXISTING SINGLE FAMILY RESIDENTIAL LOTS LIE TO THE NORTH PRIMARILY SEPARATED FROM THE PROJECT SITE BY A SOLID CMU WALL. THE TOPOGRAPHICALLY LOWER ATRISCO DITCH LIES TO THE EAST. MAE STREET SW, ALSO TOPOGRAPHICALLY LOWER, LIES TO THE WEST WITH EXISTING SCHOOL SITE LOCATED TO THE SOUTH.

V. DEVELOPED CONDITIONS

THE PROPOSED CONSTRUCTION CONSISTS OF A PORTABLE CLASSROOM MINI-CAMPUS TO SERVE PRE-K STUDENTS. PAVED PARKING AND PEDESTRIAN ACCESS WITH MINIMAL LANDSCAPING WILL ALSO BE PROVIDED. THE SITE WILL DRAIN FROM EAST TO WEST WITH DEVELOPED FLOWS COLLECTING WITHIN THE NEW PARKING LOT WHERE FLOWS WILL BE DETAINED AND RELEASED AT A CONTROLLED RATE TO THE EXISTING PUBLIC STORM DRAIN SYSTEM WITHIN MAE STREET SW. THE RELEASE RATE FROM THE PARKING LOT DETENTION POND IS DESIGNED TO BE LESS THAN THE EXISTING PEAK DISCHARGE RATE WHILE MAXIMIZING THE PONDING CAPACITY AVAILABLE. THE PARKING LOT DETENTION POND WILL OVERFLOW VIA THE SOUTHERLY DRIVEPAD TO MAE STREET SW. A PORTION OF THE ROOF RUNOFF WILL BE CONTAINED ONSITE BY IMPLEMENTATION OF A FLAT GRADING SCHEME CONSISTENT WITH EXISTING CONDITIONS AND VALLEY SITES. CREDIT IS NOT TAKEN, HOWEVER, FOR THE "RETENTION" OF ROOF RUNOFF WITHIN IMPERVIOUS AREAS. OFFSITE FLOW CONDITIONS WILL REMAIN UNCHANGED.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) THE LIMIT AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS, AND 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED GRADING WILL MAINTAIN THE CURRENT DRAINAGE PATTERN OF FLOW FROM EAST TO WEST WITH DISCHARGE TO MAE STREET SW. AN EXCEPTION TO THIS IS THE LIMITED AREAS OF ROOF RUNOFF DISCHARGING TO FLAT AREAS AT THE REARS OF THE PORTABLE CLASSROOMS. MAE STREET SW IS THE OUTFALL FOR THIS SITE VIA DETENTION PONDING WITHIN THE NEW

VII. CALCULATIONS

THE CALCULATIONS CONTAINED HEREON ANALYZE THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS DEMONSTRATED BY THESE CALCULATIONS, THE PROPOSED MINI-CAMPUS WILL RESULT IN A MINOR INCREASE IN RUNOFF VOLUME. DUE TO DETENTION PONDING, HOWEVER, THE PEAK DISCHARGE OF RUNOFF WILL EXPERIENCE A SLIGHT DECREASE. THE RELEASE RATE FROM THE DETENTION POND HAS BEEN EVALUATED BY THE ORIFICE EQUATION AND MANNING EQUATION; THE MANNING EQUATION FOR GRAVITY FLOW IN PIPES GOVERNS THEREBY REGULATING THE DISCHARGE RATE FROM THE SITE. POND VOLUME HAS BEEN CALCULATED USING THE AVERAGE END-AREA METHOD. AVAILABLE POND CAPACITY AND DISCHARGE RATE HAVE BEEN EVALUATED BY HYDROGRAPH ANALYSES WITH VOLUME AND DISCHARGE RATE BEING BALANCED TO MAXIMIZE PONDING AND MINIMIZE DISCHARGE RATE.

VIII. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS CONTAINED HEREIN:

- 1. THE PROPOSED IMPROVEMENTS REPRESENT A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA 2. THE PROPOSED IMPROVEMENTS WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS OF THIS PORTION OF THE
- EXISTING ELEMENTARY SCHOOL SITE 3. THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN RUNOFF VOLUME AND A MINOR DECREASE
- IN THE PEAK DISCHARGE OF DEVELOPED RUNOFF RELEASED FROM THE SITE 4. LIMITED CONTAINMENT OF ROOF RUNOFF VIA FLAT GRADING SCHEME IS PROPOSED TO ADDRESS A PORTION OF
- THE ROOF RUNOFF GENERATED BY THE PROJECT
- 5. THE SITE REQUIRES CONTROLLED DISCHARGE TO PUBLIC RIGHT-OF-WAY (MAE STREET SW)
- 6. THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES OR DOWNSTREAM DRAINAGE CONDITIONS DUE TO THE IMPLEMENTATION OF ONSITE DETENTION PONDING

CALCULATIONS

1. PRECIPITATION ZONE = 1

SITE CHARACTERISTICS

2. P6,100 = P360 = 2.20 INCHES 3. TOTAL AREA (AT) = 37260 SF = 0.86 AC

4. EXISTING LAND TREATMENTS

TREATMENT	AREA (SF/AC)	
A	0 \ 0	
В	0 \ 0	
C	29700 \ 0.68	
D	7560 \ 0.17	

5. PROPOSED LAND TREATMENTS

TREATMENT	AREA (SF/AC)	%
A	0 \ 0	0
В	1920 \ 0.04	5
C	3390 \ 0.08	9
D	31950 \ 0.73	86

HYDROLOGY

1. EXISTING CONDITIONS

A. VOLUME

 $EW = (E_AA_A + E_BA_B + E_CA_C + E_DA_D)/A_T$ EW = 0.44(0) + 0.67(0) + 0.99(0.8) + 1.97(0.2)EW = 0.793 + 0.396 = 1.90V100 = (EW/12)ATV100 = 3690 CF = 0.0848 AC-FT

B. PEAK DISCHARGE

 $Q_P = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$ $Q_P = Q_{100} = 1.29(0) + 2.03(0) + 2.87(0.68) + 4.37(0.17)$ $Q_{100} = 2.7 \text{ CFS}$

2. DEVELOPED CONDITIONS

A. VOLUME

 $E_{W} = (E_{A}A_{A} + E_{B}A_{B} + E_{C}A_{C} + E_{D}A_{D})/A_{T}$ $E_W = 0.44(0) + 0.67(0.05) + 0.99(0.09) + 1.97(0.86)$ $E_W = 0.033 + 0.089 + 1.69 = 1.82$ $V_{100} = (EW/12)AT$

 $V_{100} = 5620 \text{ CF} = 0.129 \text{ AC-FT}$

B. PEAK DISCHARGE

 $Q_P = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D$ $Q_P = Q_{100} = 1.29(0) + 2.03(0.04) + 2.87(0.08) + 4.37(0.73)$ $Q_{100} = 0.081 + 0.23 + 3.19 = 3.5 \text{ CFS}$

C. POND RELEASE RATE

1. ORIFICE EQUATION

 $Q_{(DISCHARGE)} = CA\sqrt{2gh}$

WHERE: C = 0.6A = 0.7854 SF (12" DIAMETER) $g = 32.2 \text{ FT/SEC}^2$ h = 47.60 - 45.00 - 0.50 $= 2.1 \, FT$

$Q_{(DISCHARGE)} = 5.5 CFS$

2. MANNING EQUATION

USING FEILD'S HYDRAULICS CALCULATOR FOR GRAVITY FLOW IN PIPES n = 0.012D = 12"S = 0.0050

THEN $q = 2.6 \text{ CFS} < Q_{100, \text{ EXISTING}} = 2.7 \text{ CFS}$ PIPE FLOW GOVERNS

E. HYDROGRAPH

LET: $A_T = 0.86 AC$ $A_{\rm D} = 0.73 \; {\rm AC}$ $t_C = 0.2 HR$

E = [(0.67 * 0.04) + (0.99 * 0.08) + (1.97 * 0.73)]/(0.04 + 0.08 + 0.73)

E = 1.82 IN

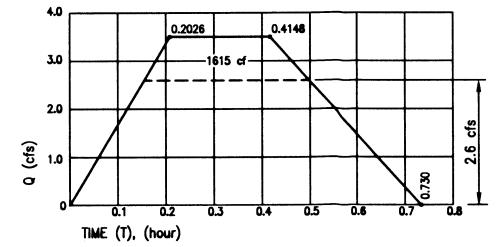
 $Q_P = 3.5 \text{ CFS}$

 $t_B = (2.107 * E * A_T/Q_P) - (0.25 * A_D/A_T)$ $t_B = (2.107 * 1.82 * 0.86/3.5) - (0.25 * 0.73/0.86)$

 $t_{\rm B} = 0.730 \, {\rm HR}$

 $t_P = (0.7 * t_C) + ((1.6 - (A_D/A_T))/12)$ $t_P = (0.7 * 0.2) + ((1.6 - (0.73/0.86))/12)$

 $t_P = 0.2026 \, HR$



D. POND VOLUME (AVERAGE END AREA METHOD)

 $V_{POND} = \sum VOL = 1615 CF$

ELEVATION 46.97	AREA 6.95	VOLUME	∑VOLUME
10.77	0.70	1615	1615
47.7	4410		

4. COMPARISONS

A. BASIN A

1. VOLUME

 $\Delta V_{100} = V_{100-PROPOSED} - V_{100-EXISTING}$ $\Delta V_{100} = 5620 - 3690 = 1930 \text{ CF (INCREASE)}$

2. PEAK DISCHARGE

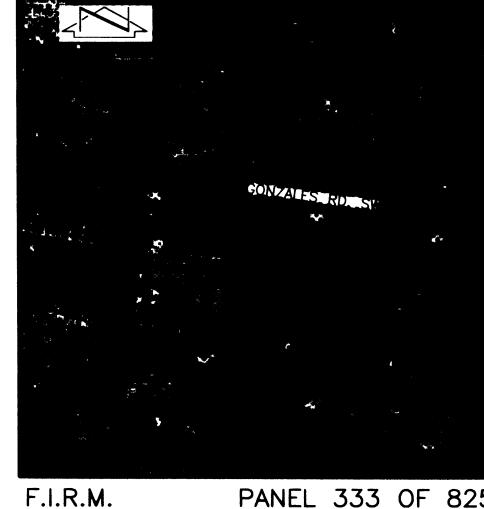
 $\Delta Q_{100} = Q_{100-PROPOSED} - Q_{100-EXISTING}$ $\Delta Q_{100} = 2.6 - 2.7 = 0.1 \text{ CFS (DECREASE)}$

APPROVED BY J.G.M.



VICINITY MAP

SCALE: 1'' = 750'



F.I.R.M.

SCALE: 1'' = 500'

DATED 09/26/2008

DESCRIPTION

A PORTION OF VALLE VISTA ELEMENTARY SCHOOL, ALBUQUERQUE, NEW MEXICO.

BENCHMARKS

REVISIONS

PROJECT BENCHMARK

ACS 3 1/4" ALUMINUM DISC STAMPED "15-J12 1989" RIVETED TO A PIPE 0.25 FEET ABOVE THE GROUND, LOCATED 356 FEET NORTHEAST OF CENTERLINE OF SUNSET ROAD S.W.

ELEVATION = 4965.627 FEET (NAVD 1988) TEMPORARY BENCHMARK (T.B.M.) #1

A MAG NAIL IN ASPHALT, AS SHOWN ON SHEETS 2, 3, 4, 6, 8 AND 14. **ELEVATION = 4947.30 FEET (NAVD 1988)**

TEMPORARY BENCHMARK (T.B.M.) #2

A #5 REBAR AND CONTROL CAP STAMPED "HMCG CONTROL NMPS 11184", AS SHOWN ON SHEETS 2, 3, 4, 6, 8 AND 14. ELEVATION = 4948.72 FEET (NAVD 1988)



RECORD DRAWING

A IVIO JGM. RECORD DRAWING

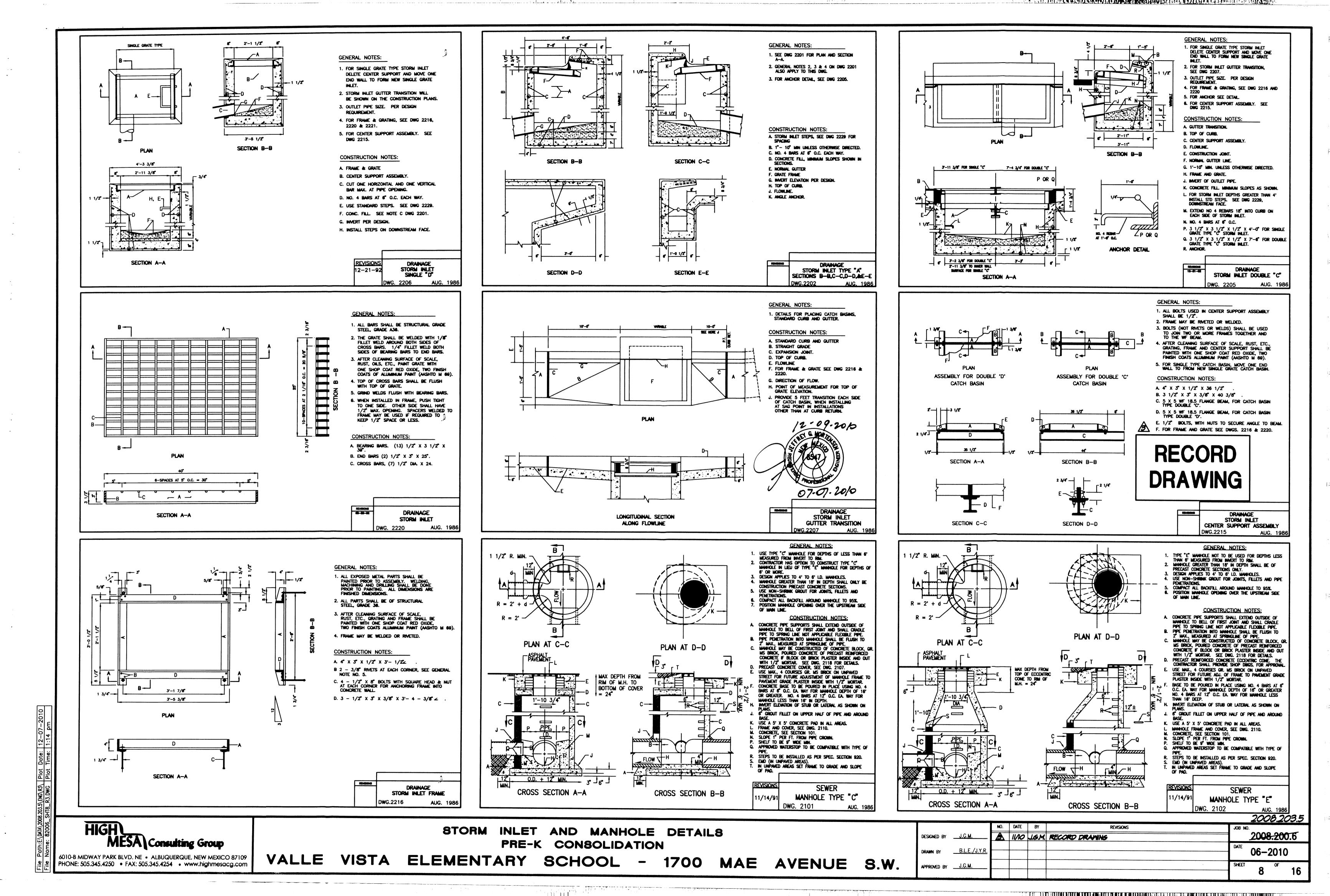
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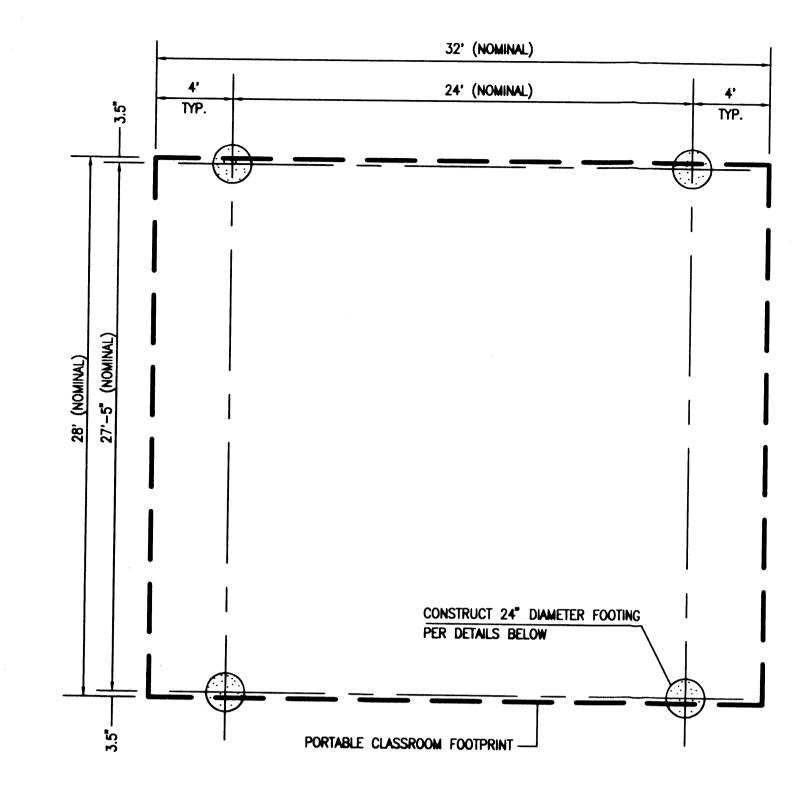
HIGH MESA Consulting Group

DRAINAGE PLAN AND CALCULATIONS PRE-K CONSOLIDATION

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VALLE VISTA ELEMENTARY SCHOOL - 1700 MAE AVENUE S.W.





SINGLE PORTABLE CLASSROOM FOUNDATION PLAN SCALE: 1'' = 5' - 0''

A RECORD DRAWING LEGEND

RECORD INFORMATION (VERIFIED BY ENGINEER) AG-CONSTRUCTED . AG-DESIGNED (VERNITED BY ENGINEER RECORD INFORMATION (VERIFIED BY ENGINEER) RECORD INFORMATION (VERIFIED BY ENGINEER)

@ 28,95.42 RECORD INFORMATION (VERNITED BY ENGINEER) AS-CONSTRUCTED - AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)

RECORD INFORMATION FROM AS-BUILT SURVEY RECORD INFORMATION FROM AS-BUILT SURVEY RECORD INFORMATION PROM AS-BUILT SURVEY

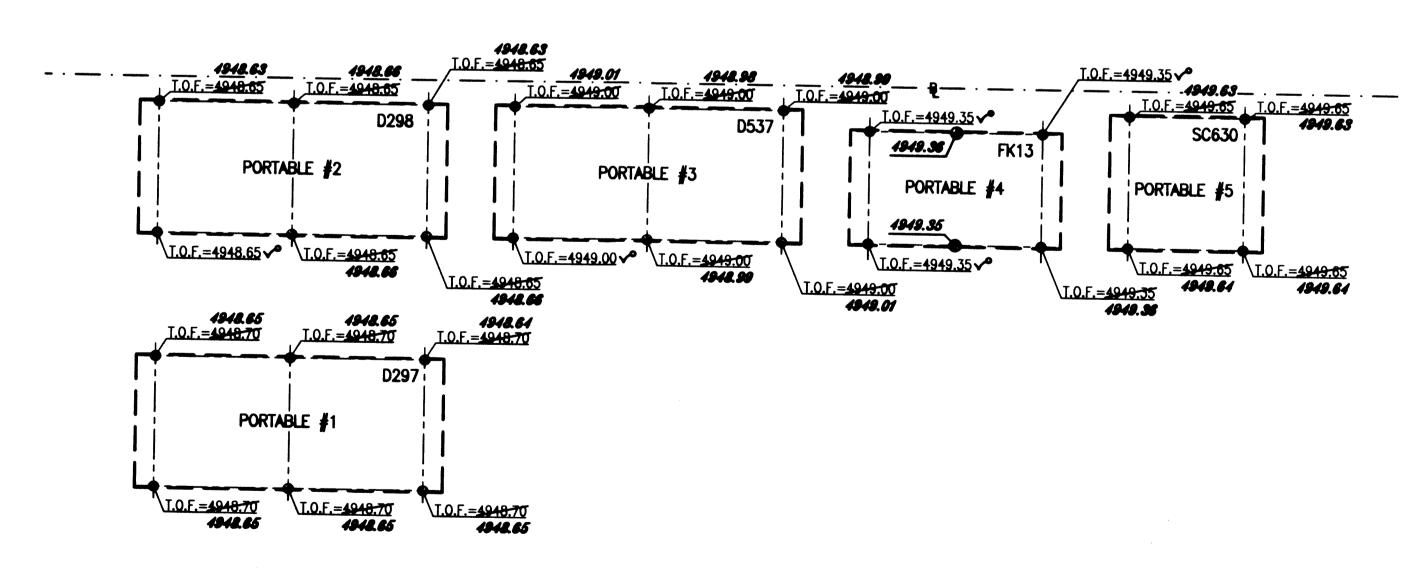
CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THE IMPROVEMENTS DEPICTED HEREON HAVE BEEN INSPECTED BY ME OR PERSONNEL UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS DATED 07-07-2010 AND 7-14-2010. THE RECORD INFORMATION EDITED ONTO THIS ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM AN AS-BUILT SURVEY CONDUCTED BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF CHARLES G. CALA, JR., NMPS 11184, DATED 07-09-2010, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE DESIGN INTENT OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR ACCEPTANCE OF THE PROJECT BY THE CITY OF ALBUQUERQUE AND TO DOCUMENT COMPLETION FOR THE OWNER.

JEFFREY G. MORTENSEN, NMPE 8547

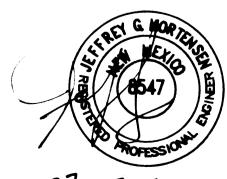
RECORD DRAWING



PORTABLE FOUNDATION PLAN

SCALE: 1" = 20' - 0"

NOTE: REFER TO SITE PLAN FOR PORTABLE LAYOUT DIMENSIONS



TYPICAL APS PORTABLE CLASSROOM FOUNDATION PLAN PRE-K CONSOLIDATION VISTA ELEMENTARY SCHOOL - 1700 MAE AVENUE S.W.

10"x10"x1/2" STEEL PLATE

TOP OF FOOTING ELEVATION

- FINISHED GRADE

- UNDISTURBED SOIL OR 12" SUBGRADE COMPACTED ● 95% ASTM D-1557

C.F.A./B.L.E APPROVED BY J.G.M.

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10"x10"x1/2" /STEEL PLATE VARIES PER ——— GRADING PLAN 3000 PSI CONCRETE

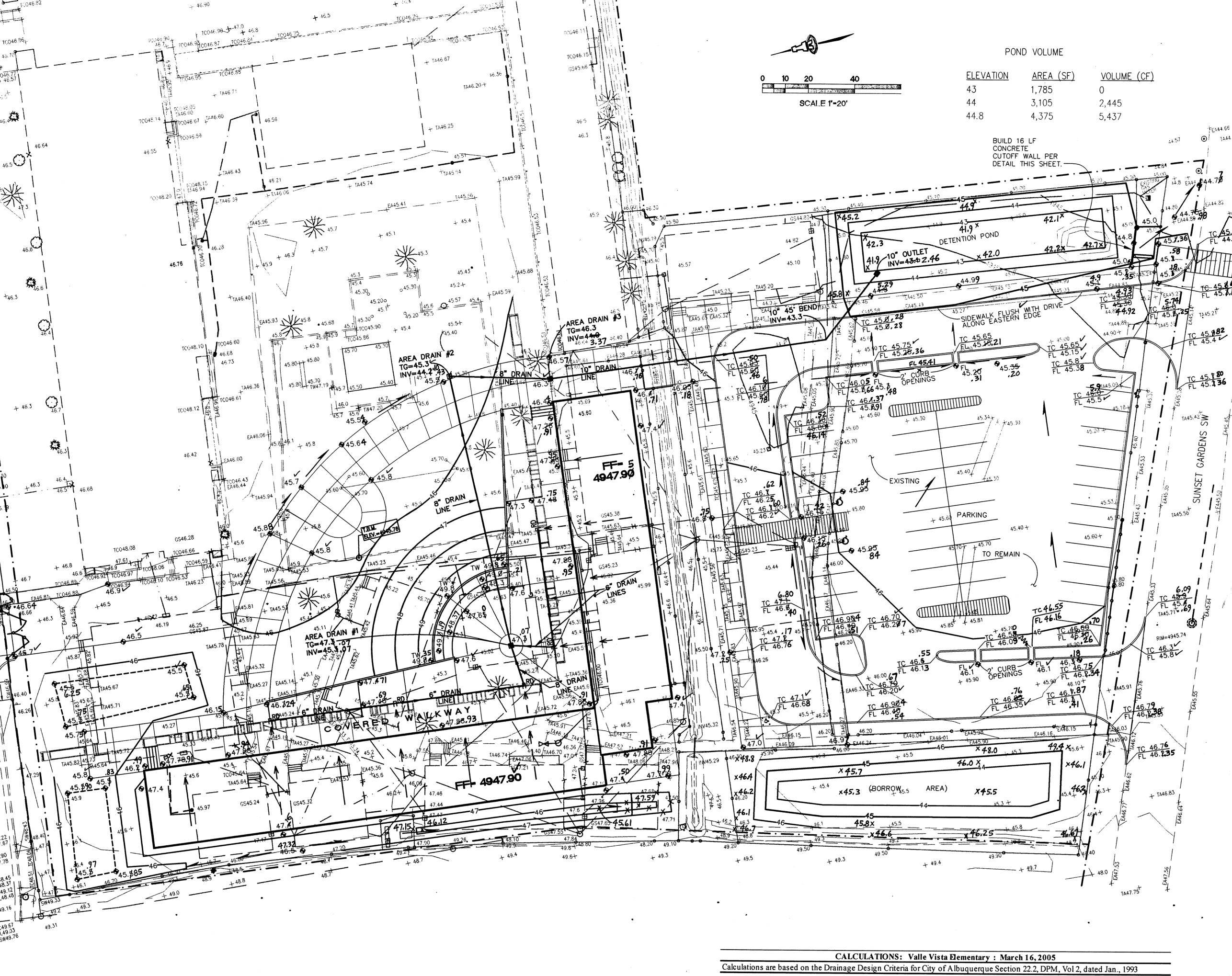
DOUBLE PORTABLE CLASSROOM FOUNDATION PLAN

FOOTING DETAILS

SCALE: 1" = 1'-0"

24" DIAMETER PIER.
FORM WITH 2' DIAMETER
SONOTUBE OR EQUIVALENT

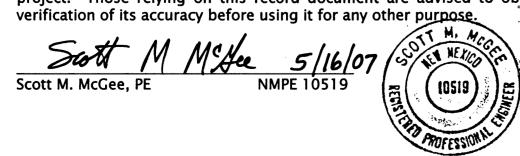
HIGH MESA\Consulting Group 6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

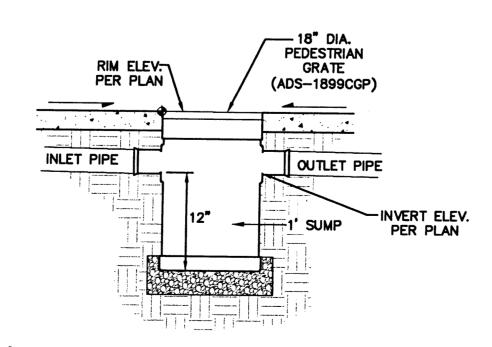


DRAINAGE CERTIFICATION

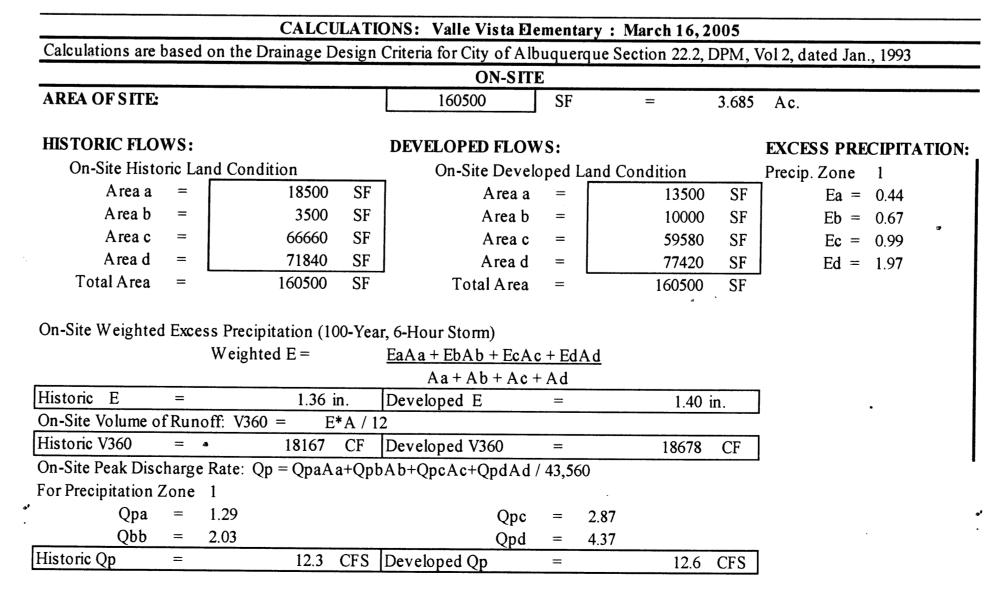
I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated June 27, 2005. The record information edited onto the original design document has been obtained by Chuck Cala, NMPS 11184, of the firm Jeff Mortensen & Associates, Inc. I further certify that I have personally visited the project site on 04/27/07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

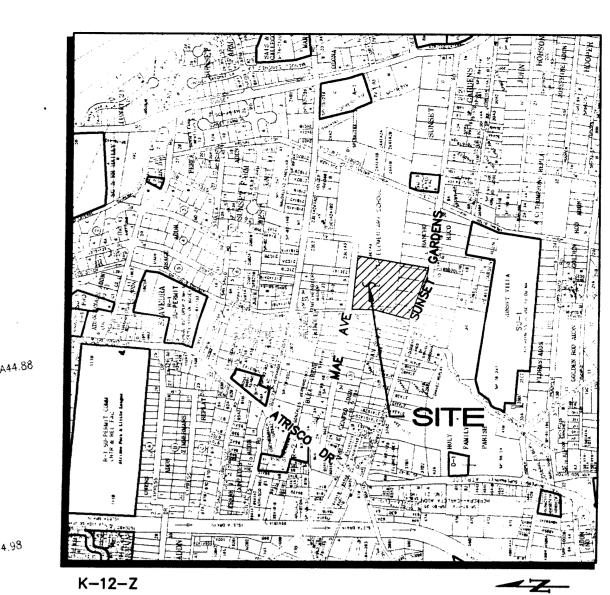
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent





18" DRAIN BASIN





VICINITY MAP

PROJECT BENCHMARK

BM NO. 12-K12, AN "X" CHISELED ON THE EAST END OF THE NE CURB RETURN LOCATED AT THE INTERSECTION OF ATRISCO AND SUNSET GARDENS ROAD S.W. ELEVATION = 4945.525 (MSLD 1929)

1"=750'±

514 CENTRAL SW

ALBUQUERQUE

NEW MEXICO

8 7 1 0 2

505/766-6968

FAX/243-4508

 $\mathbf{x}^{\mathbf{z}}$

A "+" CHISELED ON THE CONCRETE CURB ON THE WEST SIDE OF THE PLAYGROUND LOCATED WEST OF THE LIBRARY AS SHOWN ON THE DRAWING. ELEVATION = 4945.76 FEET

LEGAL DESCRIPTION

A PORTION OF VALLE VISTA ELEMENTARY SCHOOL

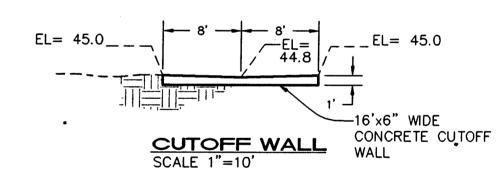
FEMA PANEL 0333 INDICATES A PORTION OF THIS SITE IS WITHIN ZONE AH

WITHIN AN IDENTIFIED FLOODPLAIN ELEVATION OF 4946. THE FINISH FLOOR ELEVATION HAS BEEN ELEVATED 1.9 FEET ABOVE ELEVATION 4946.

THE SITE IS BORDERED TO THE NORTH BY MAE AVENUE SW AND BY THE ATRISCO DITCH TO THE WEST. NO OFFSITE FLOWS ENTER THE SITE.

THE EXISTING WESTERN PORTION OF THIS SITE IS DEVELOPED ASPHALT WALKS. THE SITE IS RELATIVELY FLAT, DROPPING ONLY 2 FT FROM THE NW CORNER TO THE SE CORNER (580 FT). THE EXISTING PARKING LOT ALONG SUNSET GARDENS HÁS A SURFACE OF COMPACTED ASPHALT MILLINGS. RUNOFF GENERALLY FLOWS FROM WEST TO EAST/SOUTHEAST.

THE PROPOSED 11,700 SF BUILDING REPLACES THE EXISTING PORTABLE BUILDINGS. ALL ROOF RUNOFF WILL BE PIPED TO A PROPOSED DETENTION POND SHOWN AT THE SE CORNER. THE PARKING AREA IS PROPOSED FOR AN ASPHALT OVERLAY AND RESTRIPING. THE DETENTION POND AND BORROW AREA PROVIDE COMPENSATORY VOLUME (BELOW THE ELEVATION OF 4946), FOR FLOOD VOLUME DISPLACED BY THE PROPOSED



LEGEND

x 46.34

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
YV45.5	EXISTING SPOT ELEVATION
4 78.3	PROPOSED SPOT ELEVAT
	FLOW ARROW
FF = 4947.90	FINISH FLOOR ELEVATION
	SIDEWALK CULVERT
TC 81.9 FL 81.4	TOP OF CURB ELEVATION
固	AREA DRAIN
INV=72.5	INVERT ELEVATION
10" DRAIN LINE	DRAIN LINE WITH SIZE

ROOF DRAIN

TEMPORARY BENCHMARK

AS-BUILT ELEVATION

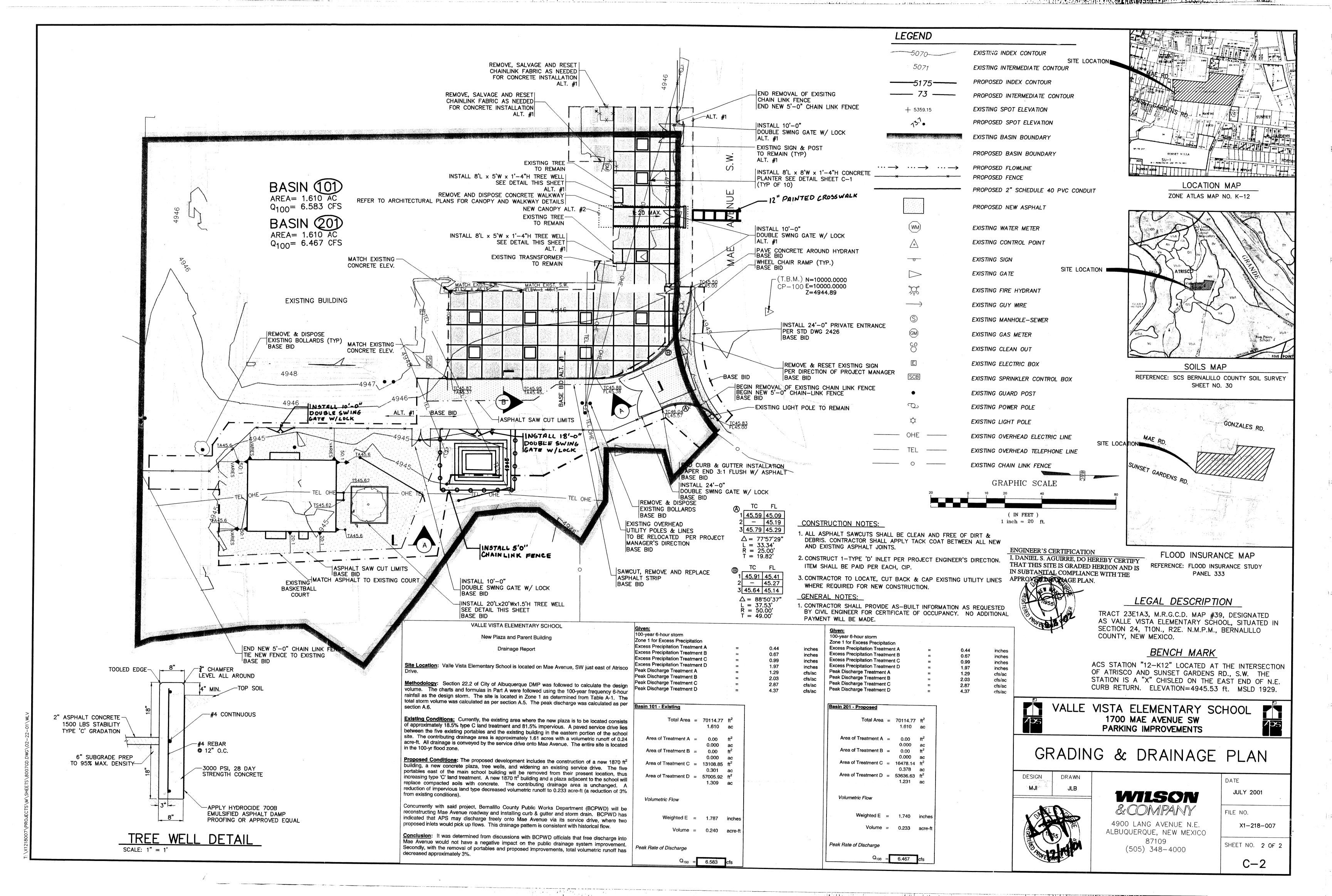
06.27.05

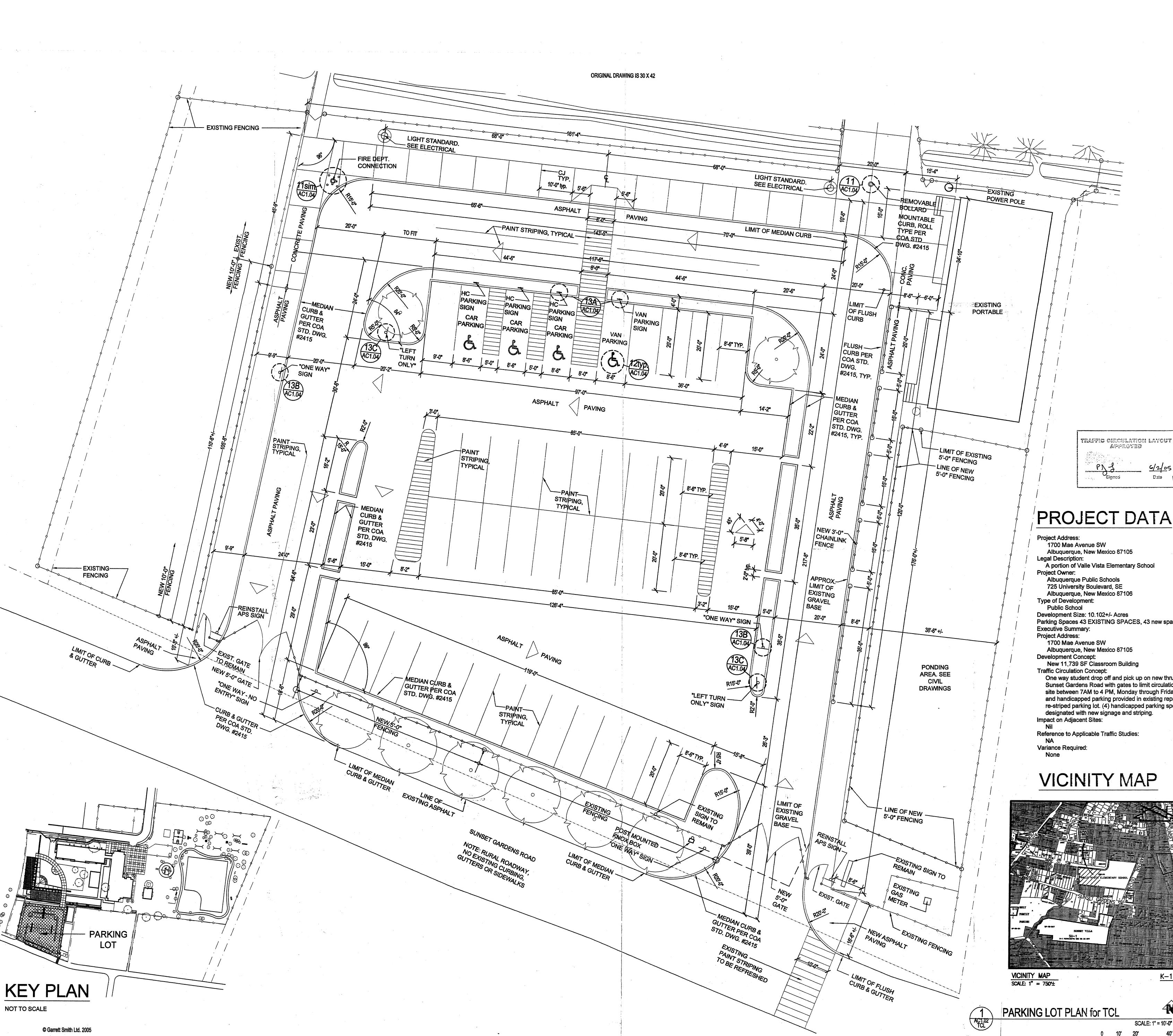
ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 Fax. 505-268-2632 1430GRD.DWGrfh

VA 1700

DRWN. BY: thor DATE: 03/17/05 SHEET

(





514 CENTRAL SW ALBUQUERQUE NEW MEXICO 8 7 1 0 2 505/766-6968 FAX/243-4508

- ADDITION EXICO

Date

PROJECT DATA

1700 Mae Avenue SW Albuquerque, New Mexico 87105 A portion of Valle Vista Elementary School Albuquerque Public Schools 725 University Boulevard, SE Albuquerque, New Mexico 87106 Type of Development: Public School

Development Size: 10.102+/- Acres Parking Spaces 43 EXISTING SPACES, 43 new spaces provided **Executive Summary:**

1700 Mae Avenue SW Albuquerque, New Mexico 87105 Development Concept: New 11,739 SF Classroom Building Traffic Circulation Concept:

One way student drop off and pick up on new thru loop from Sunset Gardens Road with gates to limit circulation through site between 7AM to 4 PM, Monday through Friday. Visitor and handicapped parking provided in existing repaved and re-striped parking lot. (4) handicapped parking spots designated with new signage and striping. Impact on Adjacent Sites:

Reference to Applicable Traffic Studies:

VICINITY MAP







DRWN. BY: LM

JUN 0 1 2005 TOTAL TOTAL ACTION ACT 102

K-12

PARKING LOT PLAN for TCL

