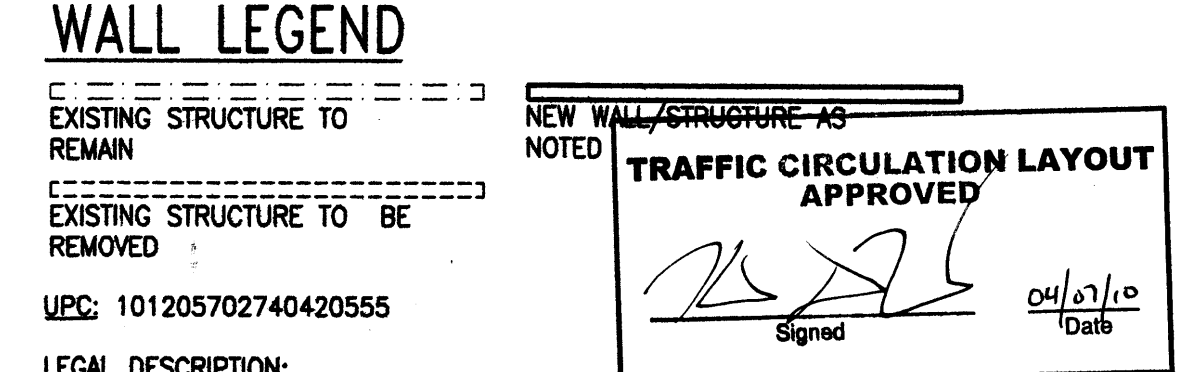


GENERAL NOTES

ALL CURB RADI SHOWN ARE 2'-0" TO OUTSIDE EDGE UNLESS NOTED OTHERWISE. REFER TO CIVIL DRAWINGS FOR BUILDING PAD ELEVATION. SIDEWALKS ARE SUBJECT TO MINOR ADJUSTMENTS BY CONTRACTOR. VERIFY WITH ARCHITECT PRIOR TO MAKING REVISIONS. REFER TO GEOTECHNICAL REPORT FOR PAVEMENT REQUIREMENTS. REFER TO ELECTRICAL SITE PLAN FOR SITE LIGHTING, TRANSFORMER & METER LOCATIONS. REFER TO LANDSCAPE PLAN FOR EXTENT OF LANDSCAPING. REFER TO CIVIL DRAWINGS FOR SEWER AND WATER LINE LOCATIONS (MAINS AND LATERALS), FIRE DEPARTMENT CONNECTIONS, DETECTOR CHECK ASSEMBLIES, AND FIRE HYDRANTS. PROTECT EXISTING LANDSCAPE TO REMAIN. REFER TO CIVIL PLANS FOR GRADING INFORMATION. VERIFY LOCATION OF ALL PROPERTY LINES, UTILITIES, EXISTING ASPHALTIC & CONCRETE PAVING PRIOR TO COMMENCEMENT OF WORK. REFER TO PLUMBING/MECHANICAL PLANS FOR GAS AND WATER LINE CONTINUATION POINTS AT BUILDINGS. 1:20 MAXIMUM SLOPE FOR EXTERIOR WALKS (REFER CIVIL G&D AND LANDSCAPE PLANS). 1:48 MAXIMUM CROSS SLOPE FOR EXTERIOR WALKS (REFER CIVIL G&D AND LANDSCAPE PLANS). PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. PER GEOTECHNICAL REPORT (REFER CIVIL G&D). REFER TO ELECTRICAL PLANS FOR SITE LIGHTING.



- KEYED NOTES**
- CONCRETE SIDEWALK, WIDTH AS NOTED, RE D1/A001.
 - TYP. ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES @ 45' HATCH LINES @ 18" O.C. AND H.C. SYMBOL. PROVIDE SIGNAGE TO INDICATE EACH SPACE. SIGN, RE: C1/A001 TO INDICATE ACCESSIBLE STALLS.
 - 4" WIDE PAINTED PARKING STALL STRIPING, TYP. COLOR: WHITE.
 - CONT. PEDESTRIAN CROSSING FROM CITY SIDEWALK TO NEW ENTRY DOOR, MAX SLOPE 1:20, PAINT WITH 4" WIDE WHITE STRIPES @ 45' HATCH LINES @ 18" O.C.
 - REMOVE EXISTING ASPHALT
 - NEW ASPHALTIC PAVING OVER PREPARED SUBGRADE PER GEOTECHNICAL REPORT.
 - LANDSCAPE AREA, REFER TO LANDSCAPE PLAN.
 - NEW BICYCLE RACK FOR 2 SPACES
 - MOTORCYCLE STALL AND PARKING SIGN - CONSPICUOUSLY POSTED UPRIGHT FREESTANDING SIGN. EACH SIGN SHALL BE NO SMALLER THAN 12 BY 18 INCHES AND SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.
 - CONCRETE WHEEL STOP AT PARKING STALLS.
 - 10' LANDSCAPE SETBACK
 - EXISTING SIDEWALK
 - EXISTING ASPHALT PAVING
 - EDGE OF EXISTING ASPHALT
 - DO NOT ENTER SIGN
 - 15' TALL POLE MOUNTED EXTERIOR PARKING LOT LIGHT FIXTURE REFER D2/A001
 - EXISTING PROPERTY LINE TO BE VACATED WITH CURRENT REPLAT TYP.
 - PAINT 4" WIDE WHITE STRIPES @ 45' HATCH LINES @ 18" O.C. AND BORDER
 - NEW COA SIDEWALK AS NOTED
 - PAINTED DRIVE ARROWS AND 'DO NOT ENTER' ON PAVING
 - ACCESSIBLE RAMP PER A1/A001

LEGAL DESCRIPTION

LOT A-1 BLK 3 ZIMMERMANN ADDN

FLOOR AREA RATIO

BUILDING AREA 8,317 SQUARE FT./LOT AREA: 52928 SQUARE FT. = 15.71%

ZONING DATA

ZONE TYPE: C-2
SECTOR DEVELOPMENT PLAN: WEST ROUTE 66
REQUIRED SETBACKS: REAR YARD (PER 0-1):
(2)b - THERE SHALL BE A SIDE OR REAR YARD SETBACK OF NOT LESS THEN FIVE (5') WHERE THE SITE ABUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE

PARKING DATA

EXISTING - GROUP B (OFFICE)
EXISTING - GROUP B (ADDITION)
TOTAL BUILDING AREA PER 502.1: 5,429 S.F./200

TOTAL STALLS REQUIRED = 28
TRANSIT REDUCTION 10%
STALLS REQUIRED WITH TRANSIT REDUCTION = 26

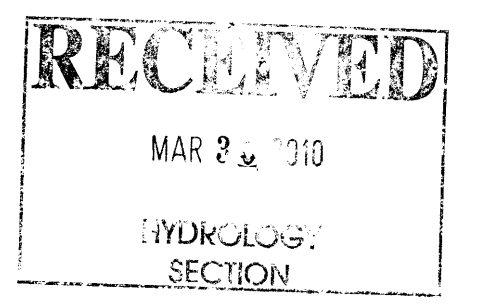
REQUIRED H.C. STALLS = 2 (26-35 TOTAL STALLS)

REQUIRED MOTORCYCLE STALLS = 2 (26-50 TOTAL STALLS)
REQUIRED BICYCLE SPACES = 2 (1 PER 20 CAR STALLS)

TOTAL AUTOMOBILE STALLS PROVIDED = 26 CAR STALLS (INCLUDES 2 HC STALLS)
2 BICYCLE STALLS PROVIDED
2 MOTORCYCLE STALLS PROVIDED

EXECUTIVE SUMMARY

THE PROPOSED PROJECT IS A 1,288 S.F. OFFICE ADDITION TO AN EXISTING 4,161 S.F. OFFICE BUILDING CURRENTLY USED AS AN ISSUANCE COMPANY WITH AN EXTERIOR DRIVE-UP TRANSACTION WINDOW. THE ADDITION REQUIRES 7 NEW PARKING STALLS AND TWO MOTORCYCLE CYCLE AND BICYCLE STALLS HAVE ALSO BEEN ADDED. THE NEW PARKING STALLS ARE LOCATED ON THE EAST SIDE OF THE BUILDING WHERE UNSTRIPED ASPHALT PARKING EXISTS. ADDITIONAL ASPHALT WILL BE ADDED AND ALL STALLS STRIPPED. PART OF THE EXISTING ASPHALT ON THE NORTH SIDE OF THE LOT WILL BE REMOVED TO ACCOMMODATE THE REQUIRED 10' LANDSCAPE SETBACK.

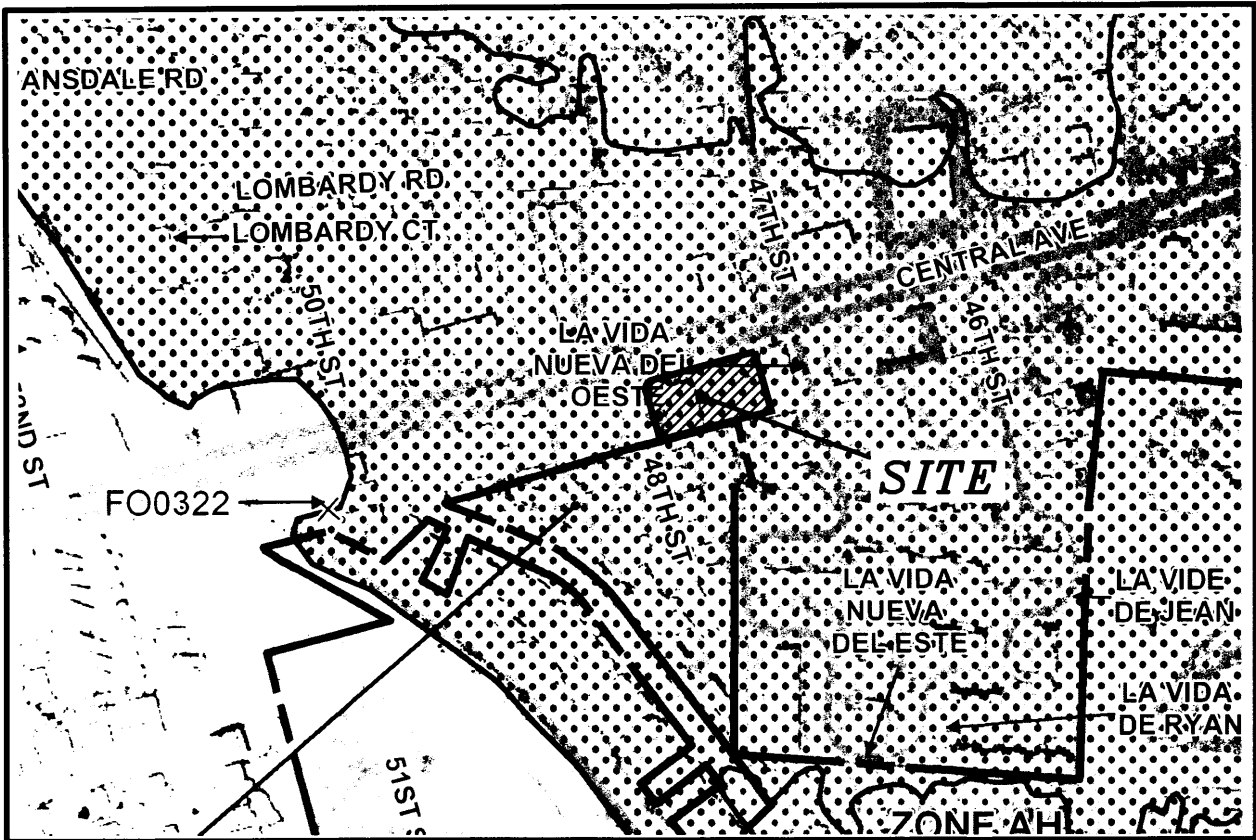


Auto Insurance America NM INC. Addition
4726 Central Avenue SW
Albuquerque NM, 87105

peter butterfield

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.





FIRM MAP: 35001C0329 G

GENERAL NOTES:

1. ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5020.55 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.
7. PROVIDE RIPRAP AT THE INLET AND OUTLET OF THE PIPES WITHIN THE PONDS.

CONTRACTOR TO ASSURE THAT THE EXISTING PIPE IS CLEAR OF ANY TRASH AND IT IS PROPERLY DRAINING INTO THE EXISTING 48" STORM DRAIN PIPE ON CENTRAL AVENUE.

TIE TO THE EXISTING INLET-A
GRATE=4951.69
INV. OUT=±4948.84
INV. IN=4949.10

L=39.27'
R=25.00'
Δ=90°00'00"
CHORD=N 29°40'00" E
35.36'

EXISTING INLET-B
GRATE=4951.66
INV.=±4949.11

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

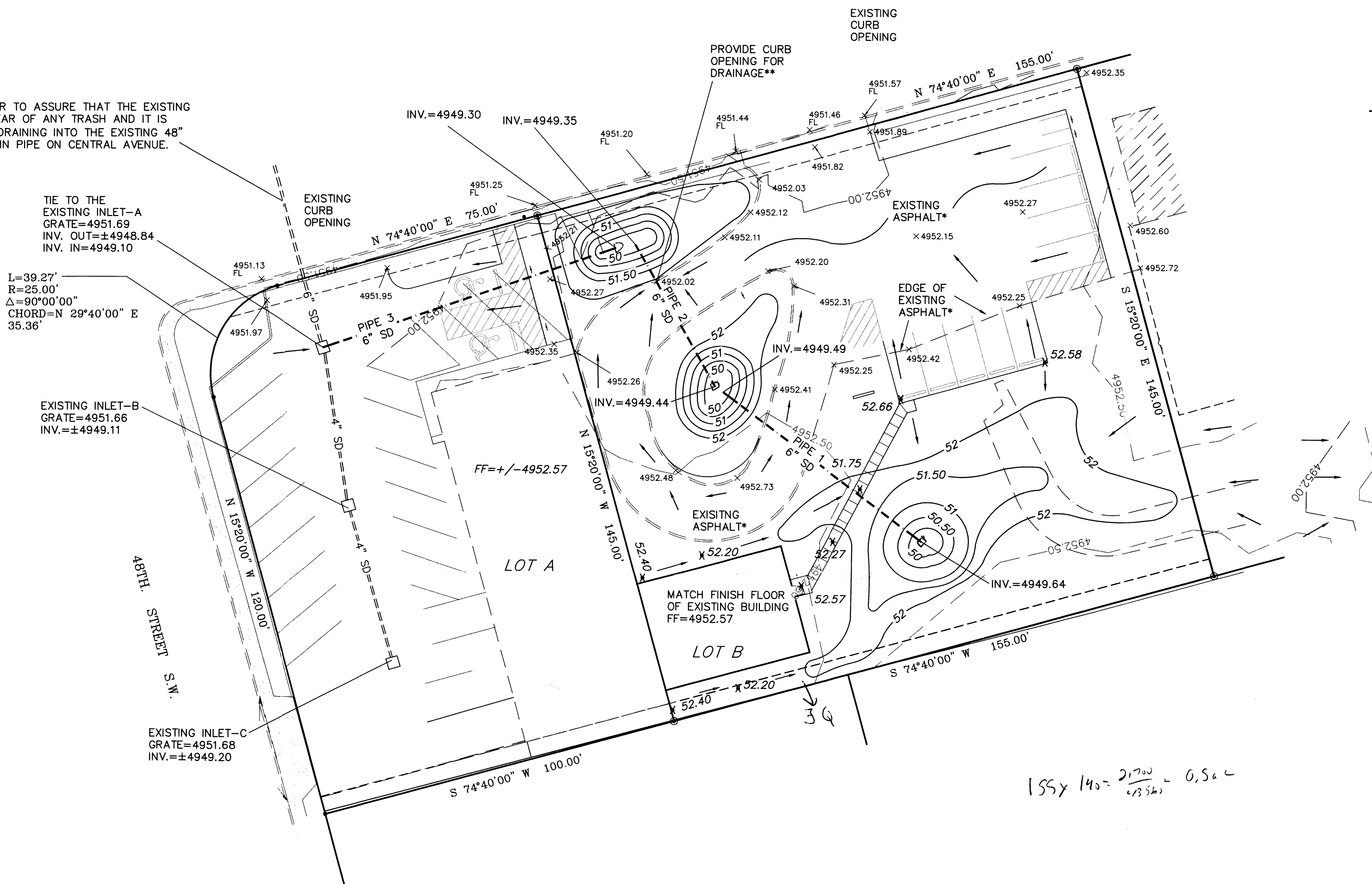
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

* EXISTING ASPHALT TO REMAIN UNLESS THE SITE NEEDS TO BE REGRADED FOR POSITIVE DRAINAGE.

** PROVIDE CURB OPENING AT THE LOW POINTS ALONG THE EXISTING CURB FOR POSITIVE DRAINAGE INTO THE PROPOSED PONDS.

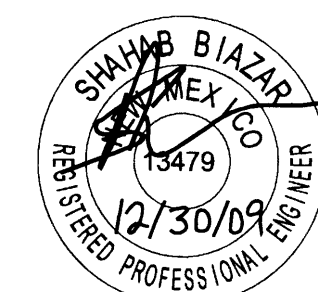
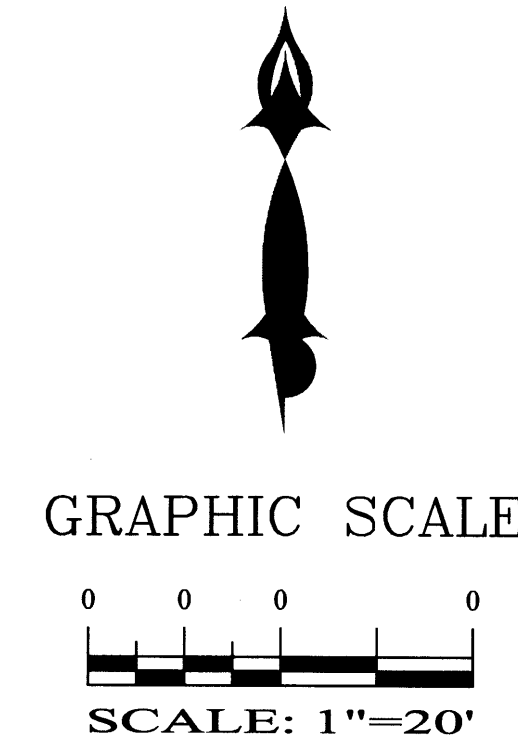
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

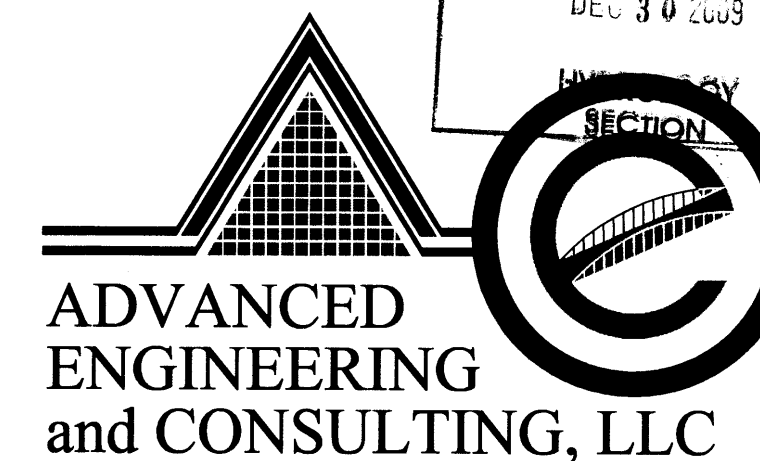


LEGEND

- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- 5100 EXISTING CONTOUR (MAJOR)
- 5102 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- EXISTING FENCE
- PROPOSED GRADE
- EXISTING GRADE
- EXISTING GRADE (FLOW LINE)



SHAHAB BIAZAR
P.E. #13479



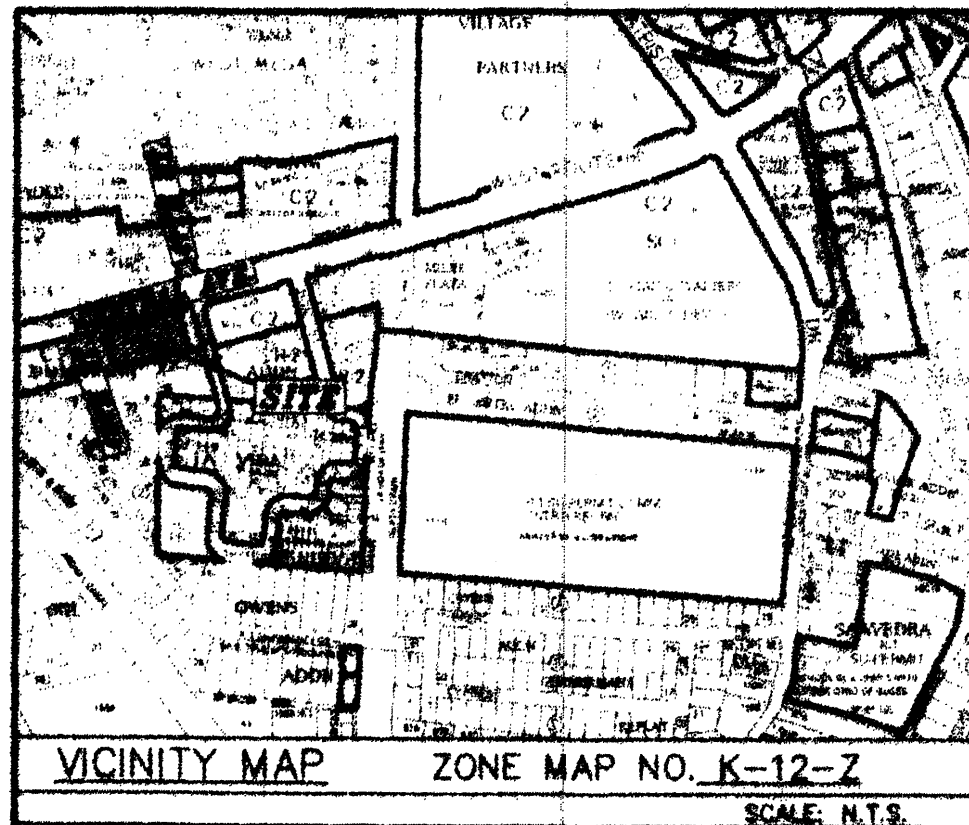
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

LOTS A & B, BLOCK 3, ZIMMERMAN ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
913-GR.DWG	SBB	12-30-2009	1 OF 1

ROUGH GRADING APPROVAL _____ DATE _____

LAST REVISION: 12-30-2009



VICINITY MAP ZONE MAP NO. K-12-Z

SCALE: N.T.S.

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT TWO EXISTING LOTS INTO ONE LOT AND GRANT ANY EASEMENT AS SHOWN.

GENERAL NOTES

- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TALOS LOG NO. 2010034445
- BASIS OF BEARINGS IS THE BEARING BETWEEN CITY OF ALBUQUERQUE CONTROL STATIONS "15-J12" AND "NM_448_C1".
- BEARINGS ARE NMSP, GRID, NAD 83, DISTANCES ARE GROUND.
- RECORDED BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
- SITE DATA: ZONING IS C-2.
- WATER AND SANITARY SEWER SERVICES TO THIS LOT MUST BE VERIFIED AND COORDINATED WITH THE ABCWAU.
- TOTAL AREA OF PROPERTY.....0.8464 ACRES.
- NUMBER OF EXISTING TRACTS/LOTS.....2.
- NUMBER OF TRACTS/LOTS CREATED.....1.
- THIS PARCEL OF LAND SITUATE WITHIN TOWN OF ATRISCO GRANT, PROJECTED SECTION 24, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO.
- TO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND BEING IDENTIFIED AS LOTS A AND B OF THE REPLAT OF PORTION OF LOTS 1 THROUGH 6, BLOCK 3, ZIMMERMAN ADDITION, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 3, 1978 IN VOL. C12, FOLIO 198, BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF HEREIN DESCRIBED PARCEL, WHENCE A TIE TO ACS MONUMENT "15-JD12" BEARS N 61°26'15" E, A DISTANCE OF 2971.48 FEET;

THENCE S. 74°39'23" W, A DISTANCE OF 255.19 FEET TO SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED AND A POINT ON EASTERLY RIGH-OF-WAY LINE OF 48TH STREET, SW;

THENCE N. 15°18'54" W, A DISTANCE OF 120.05 FEET TO A POINT OF CURVATURE;

THENCE NORTHEASTERLY, 39.26 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CHORD WHICH BEARS N. 29°40'33" E., A DISTANCE OF 35.35 FEET) TO A POINT ON THE SOUTHERLY RIGH-OF-WAY LINE OF CENTRAL AVENUE, SW;

THENCE N. 74°40'00" E, A DISTANCE OF 230.15 FEET TO NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE S. 15°20'00" E, A DISTANCE OF 145.00 FEET TO SOUTHEAST CORNER AND POINT OF BEGINNING CONTAINING 0.8464 ACRES (36,870.56 SQ.FT.), MORE OR LESS;

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: Robert B. Feldman DATE: 2-3-2010

OWNER(S) PRINT NAME: Robert B. Feldman

ACKNOWLEDGMENT

STATE OF Nevada)
COUNTY OF Clark) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3rd DAY OF Feb

20 10 BY Miriam Hernandez

NOTARY

MY COMMISSION EXPIRES:

Oct. 16/2010

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC # 1012057-20554 1012057-20555

PROPERTY OWNER OF RECORD: Auto Insurance America NM INC

BERNALILLO CO. TREASURER'S OFFICE: 3/19/2010

PLAT OF LOT A-1, BLOCK 3 ZIMMERMAN ADDITION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO FEBRUARY, 2010

PROJECT NO. 1008190

APPLICATION NO. 10DRB-70044

UTILITY APPROVALS:

Servicio Viejo 2-9-10
DATE

Chub Colton 2/16/2010
DATE

Carib R. R. R. 2/16/10
DATE

Robert Martinez 2-9-10
DATE

APPROVALS:

Robert Martinez 2-8-10
DATE

Robert Martinez 02/17/10
DATE

Robert Martinez 02/17/10
DATE

Robert Martinez 2/17/10
DATE

Robert Martinez 2/17/10
DATE

Robert Martinez 2/17/10
DATE

Robert Martinez 2/17/10
DATE

Robert Martinez 2/17/10
DATE

SURVEYORS CERTIFICATE:

I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Leonard G. Martinez
LEONARD MARTINEZ P.S. # 9801



2/1/2010
DATE

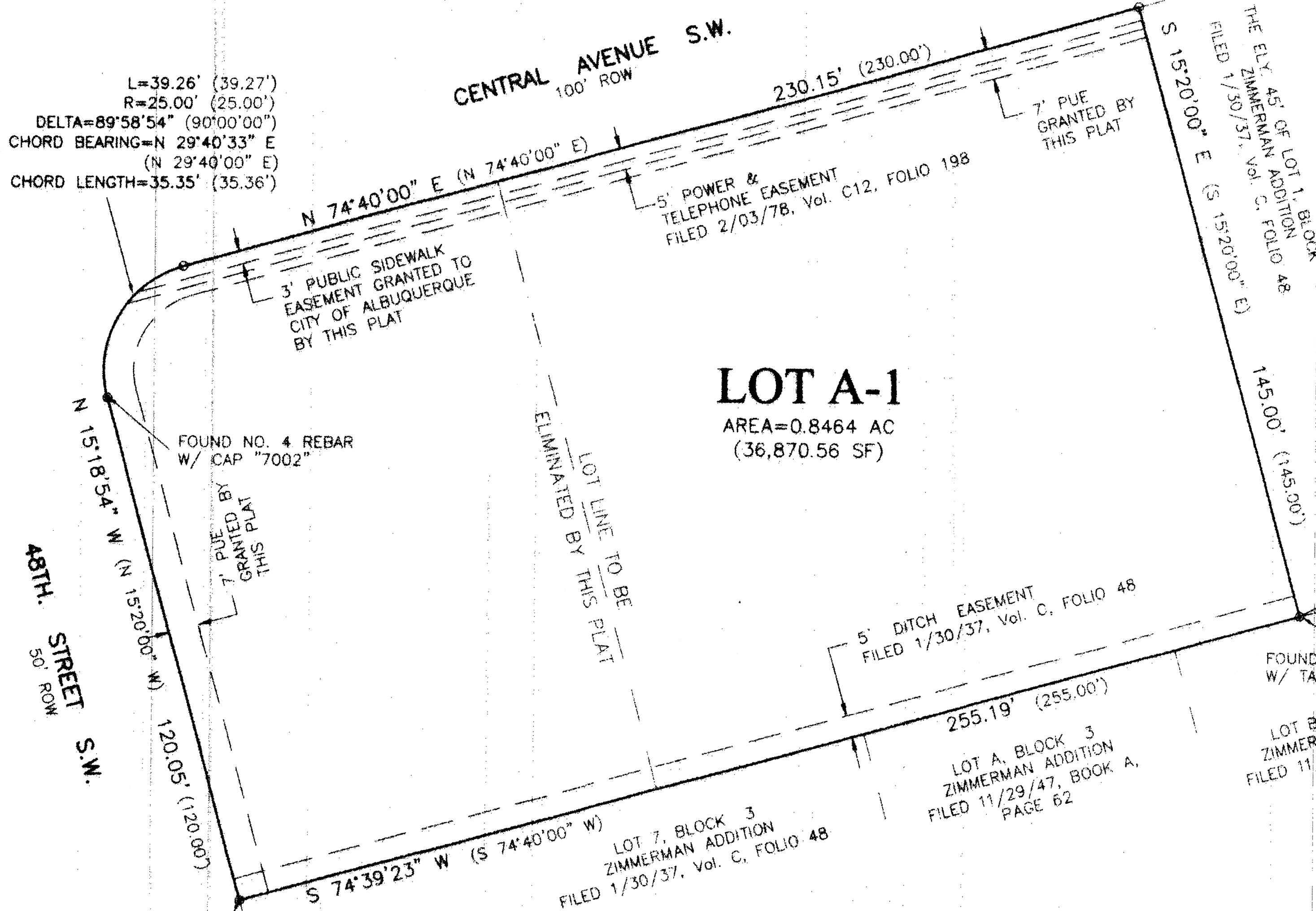


4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

SHEET 1 OF 2

DOCH 2010023334
03/19/2010 03:05 PM Page: 1 of 2
PLAT R \$12.00 B: 20100 P: 0036 M: Toulouse Oliveira, Bernalillo Co.
DRAWING: 913-PLAT.DWG DRAWN BY: SHB DATE: 02-03-10

**PLAT OF
LOT A-1, BLOCK 3
ZIMMERMAN ADDITION**
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2010



ACS MONUMENT "NM_448_C1"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 1505010.213
Y = 1485337.932-NAD 1983
EL. = 5076.696 NAVD 1988
G-G = 0.999682094
DELTA ALPHA = -00°15'36.48"

ACS MONUMENT "15-J12"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 1511214.742
Y = 1487534.543-NAD 1983
EL. = 4965.627 NAVD 1988
G-G = 0.999685508
DELTA ALPHA = -00°14'53.77"

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

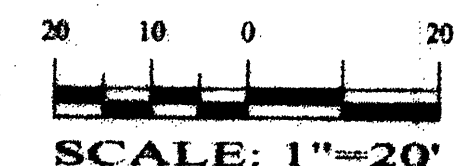
- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- (Telephone Company) for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- (Cable Company) for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, swimming, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of poles, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, PNM & New Mexico Gas Company did not conduct a Title Search of the properties shown herein. Consequently, PNM & New Mexico Gas Company do not waive or release any easement or easement rights which may have been granted by prior plat, reprint or other document and which are not specifically described and shown on this plat.

GRAPHIC SCALE



DOCN 2010023334

03/19/2010 09:09 PM Page: 2 of 2
City: PLAT R, \$12.00 B: 2010C P: 0036 R: Toulouse Oliveira, Bernalillo Co.
[Barcode]



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570