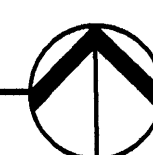
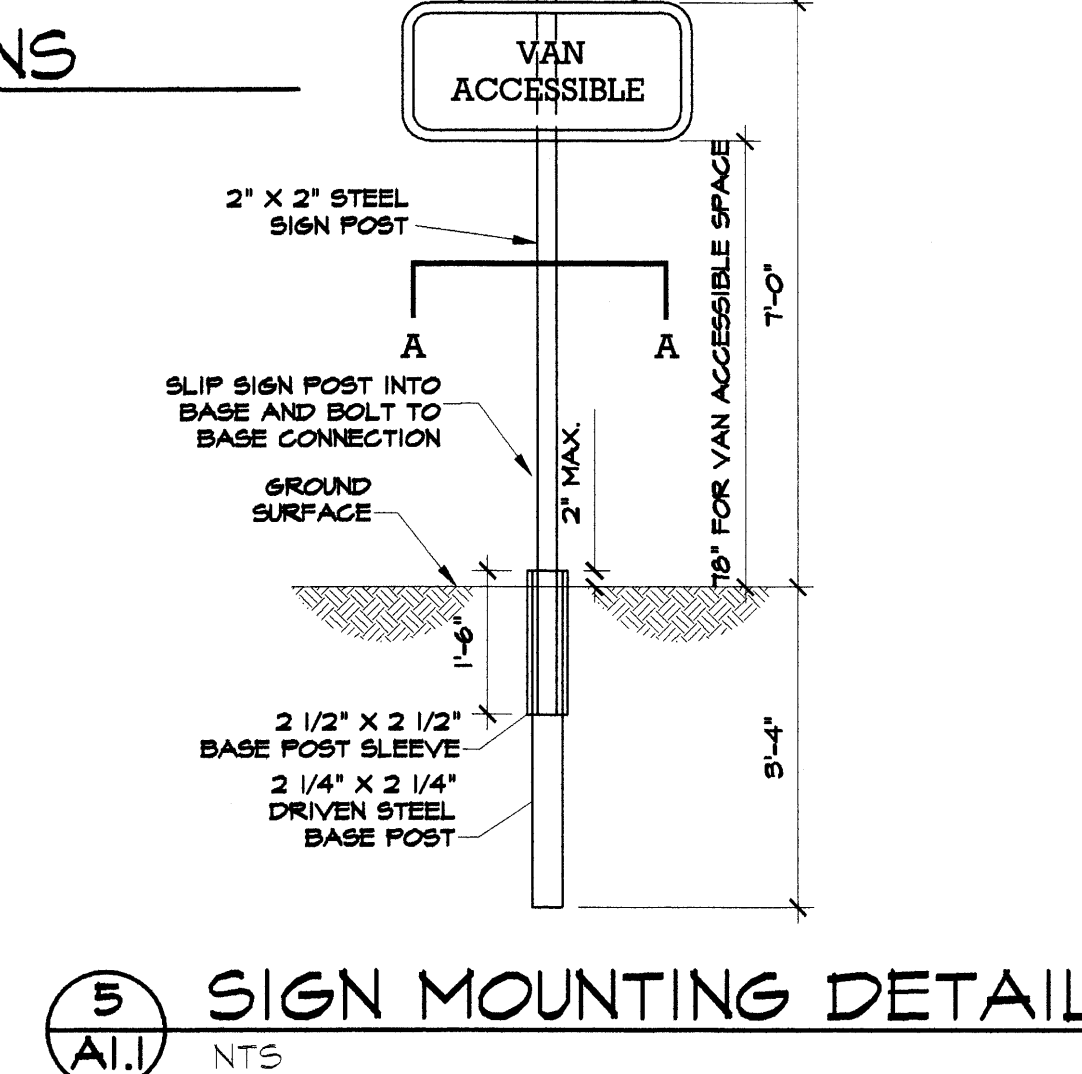


CENTRAL AVENUE
106' R/W
EXISTING MEDIAN


$$I'' = 2O' - O''$$


DRAWING INDEX	
A1.1	CODE ANALYSIS / SITE PLAN
A2.0	DEMOLITION PLAN
A2.1	FLOOR PLAN / DETAILS
S1.1	STRUCTURAL PLANS & DETAILS
A5.1	ELEVATIONS / RAILING ELEVATIONS
A7.1	SCHEDULES / DETAILS

CODE ANALYSIS	
APPLICABLE CODES	
2009 INTERNATIONAL BUILDING CODE	
2009 NEW MEXICO BUILDING CODE (TITLE 14)	
2003 ANSI	
OCCUPANCY GROUP	B, BUSINESS - M, MERCANTILE
TYPE OF CONSTRUCTION (CH.6)	TYPE V-B, UNSPRINKLED
ALLOWABLE AREA, TABLE 503	
ALLOWED	21,000 SF
EXISTING	9,895 SF
OCCUPANCY SEPARATION	
NO SEPARATION BETWEEN B & M	
FIRE EXTINGUISHERS (IFC TABLE 906.3.1)	
1/ 3000 SF	ONE 2A-10BC REQUIRED PER UNIT
MAXIMUM TRAVEL DISTANCE = 200'	



H-19-Z

NTS



ALL DIMENSIONS ARE TO BE FIELD VERIFIED IF THERE ARE DISCREPANCIES PLEASE NOTIFY THE ARCHITECT DRAWING ARE NOT TO BE SCALED USE DIMENSIONS FOR ACCURACY



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	CHECKED BY:	
	VERIFIED BY:	

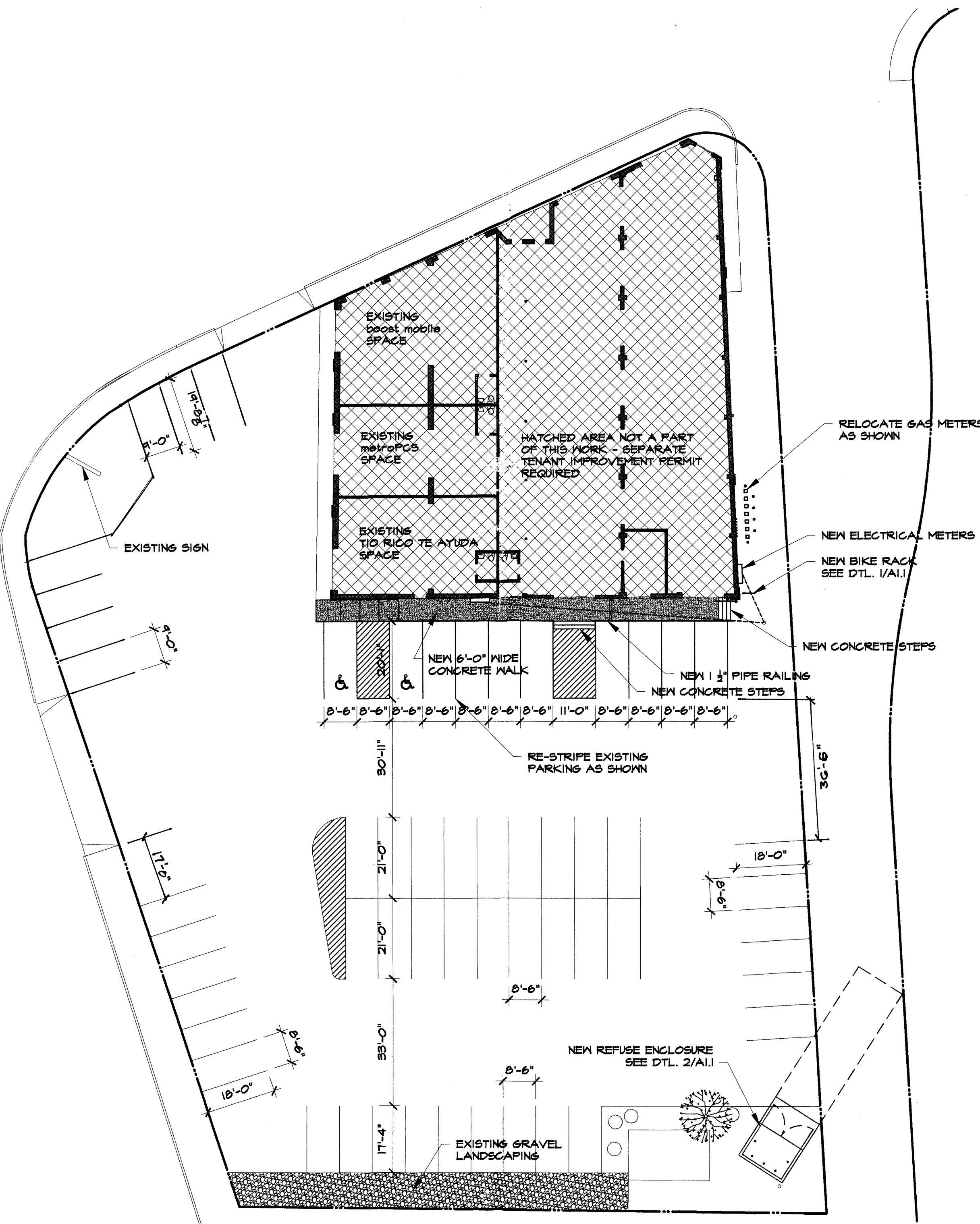
REVISIONS	

SHEET NO:

A1.1

CENTRAL & ATRISCO FACADE REMODEL 4010 CENTRAL AVE. NE

TRAFFIC CIRCULATION LAYOUT



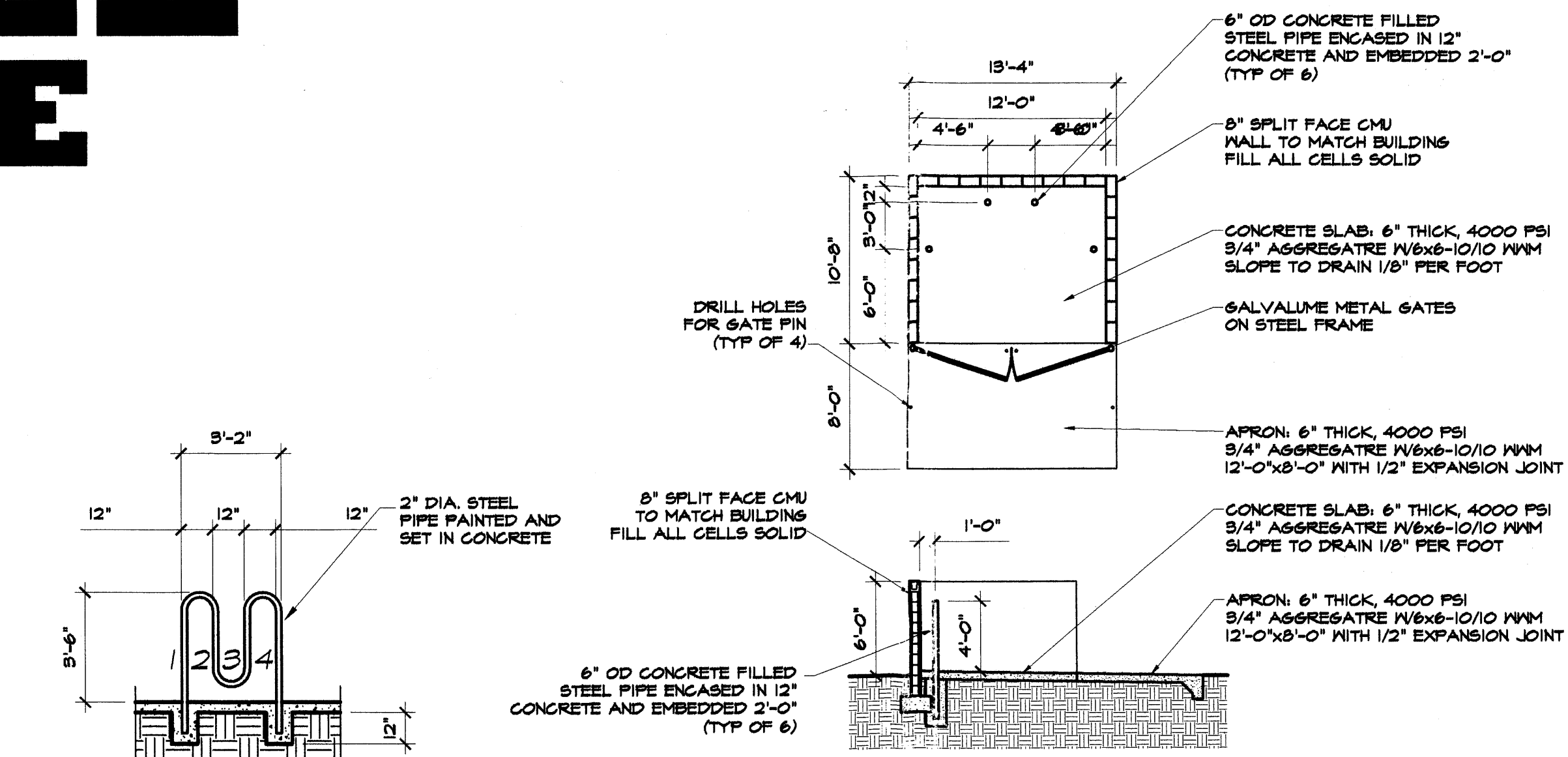
SITE PLAN

ADDRESS
4010 CENTRAL AVE. SW ALBUQUERQUE, NEW MEXICO 87105
LEGAL DESCRIPTION
LOT 1A SHALIT FAMILY SUBDIVISION ALBUQUERQUE, NEW MEXICO K-12-Z UPC NO.: 101205724045521705
ZONING
C-2 COMMERCIAL RETAIL
BUILDING AREAS
EXISTING WEST BLDG 9,895 SF
SPACE USE
COMMERCIAL
* PARKING
1 SPACE PER 200 SF TENANT SPACE 50 REQUIRED 60 PROVIDED

DRAWING INDEX
A1.1 CODE ANALYSIS / SITE PLAN
A2.0 DEMOLITION PLAN
A2.1 FLOOR PLAN / DETAILS
S1.1 STRUCTURAL PLANS & DETAILS
A3.1 ELEVATIONS / RAILING ELEVATIONS
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SCOPE OF WORK
EXTERIOR FACADE REMODEL AS SHOWN. NO ADDITIONAL SQ. FT.
NEW STOREFRONT WINDOWS AS SHOWN.
NO INTERIOR WORK THIS PHASE. SEPARATE PERMITTING REQUIRED FOR TENANT IMPROVEMENTS.

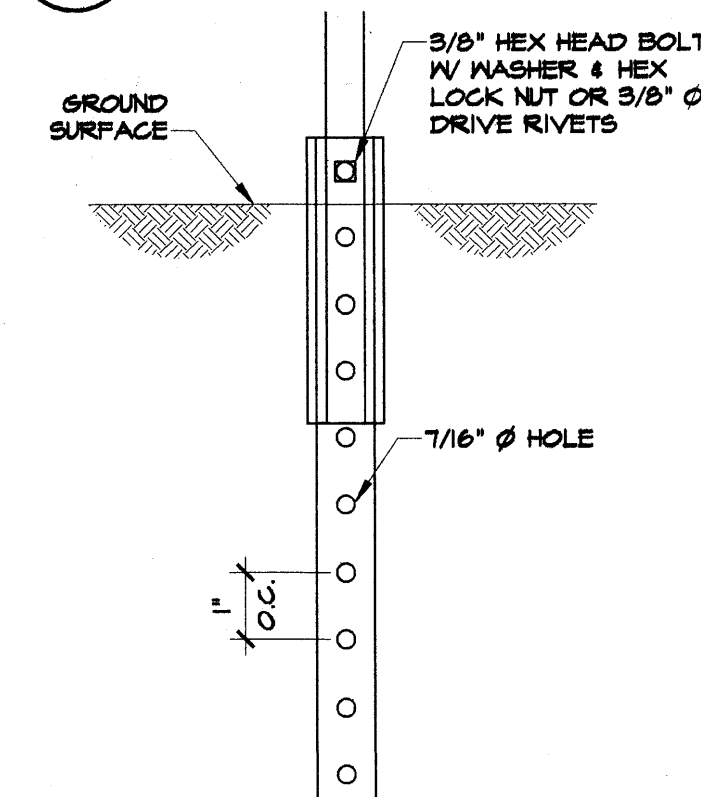
CODE ANALYSIS
APPLICABLE CODES
2001 INTERNATIONAL BUILDING CODE
2001 NEW MEXICO BUILDING CODE (TITLE 14)
2003 ANSI
OCCUPANCY GROUP B, BUSINESS - M, MERCANTILE
TYPE OF CONSTRUCTION (CH.6) TYPE V-B, UNSPRINKLED
ALLOWABLE AREA, TABLE 503
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NO SEPARATION BETWEEN B & M
FIRE EXTINGUISHERS (IFC TABLE 406.3.1)
1/ 3000 SF ONE 2A-10BC REQUIRED PER UNIT
MAXIMUM TRAVEL DISTANCE = 200'



1 BICYCLE RACK
A1.1 N.T.S.

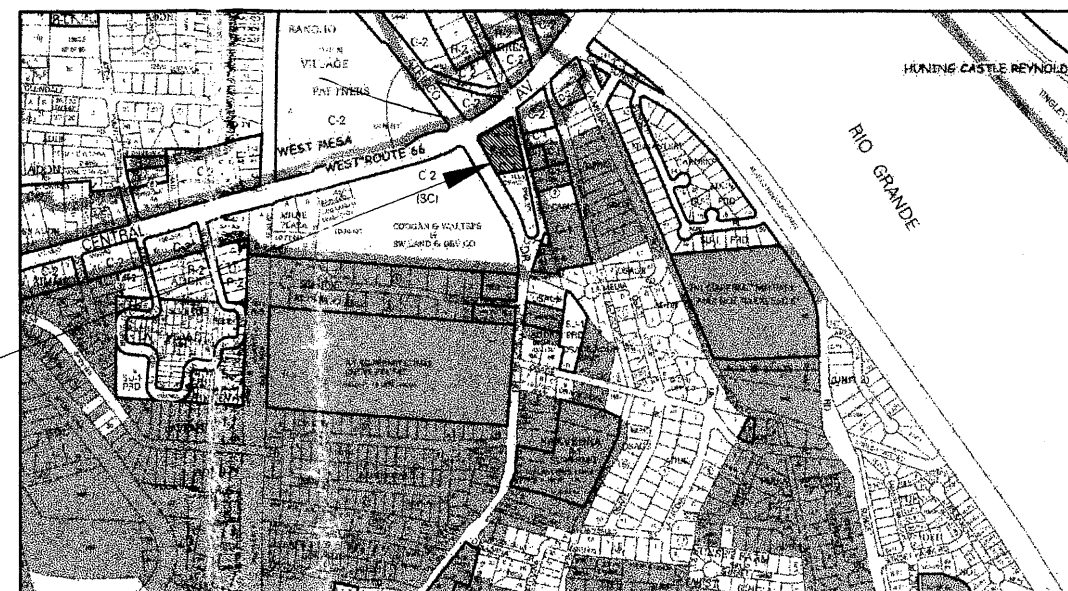
2 REFUSE ENCLOSURE
A1.1 N.T.S.

3 HANDICAP PARKING SIGNS
A1.1 N.T.S.



4 SECTION A-A
A1.1 N.T.S.

5 SIGN MOUNTING DETAIL
A1.1 N.T.S.



MARTIN F.M. GRUMMER
ARCHITECT
330 WILSON BLVD. NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

CENTRAL & ATRISCO FACADE REMODEL
4010 CENTRAL AVE. SW
ALBUQUERQUE, NM 87105
CODE ANALYSIS

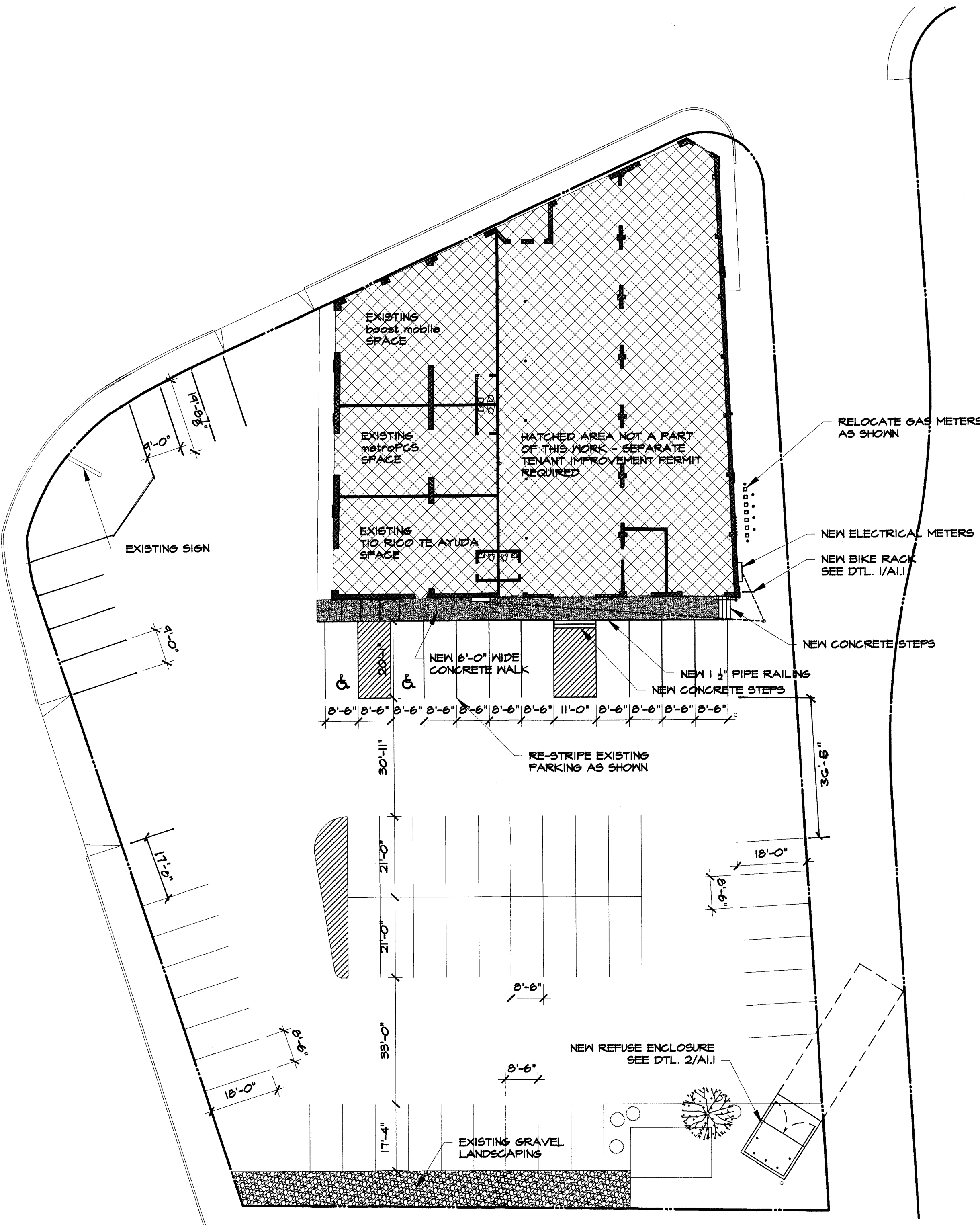
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SHEET NO:
RECEIVED
JUL 17 2014
LAND DEVELOPMENT SECTION

CENTRAL & ATRISCO FACADE REMODEL 4010 CENTRAL AVE. NE

TRAFFIC CIRCULATION LAYOUT



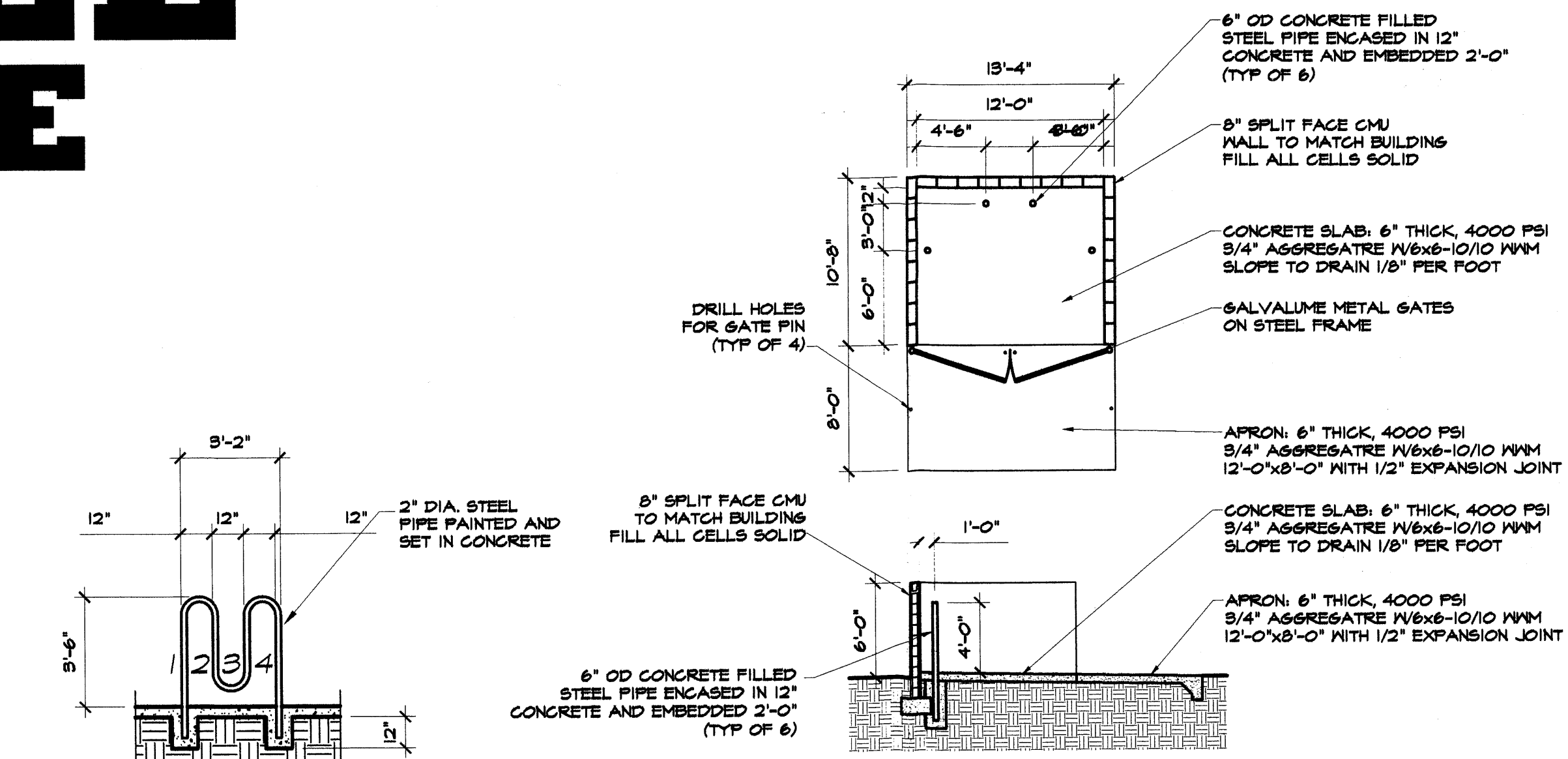
SITE PLAN
1" = 20'-0"

ADDRESS
4010 CENTRAL AVE. SW ALBUQUERQUE, NEW MEXICO 87105
LEGAL DESCRIPTION
LOT 1A SHALIT FAMILY SUBDIVISION ALBUQUERQUE, NEW MEXICO K-12-Z UPC NO.: 101205724045521705
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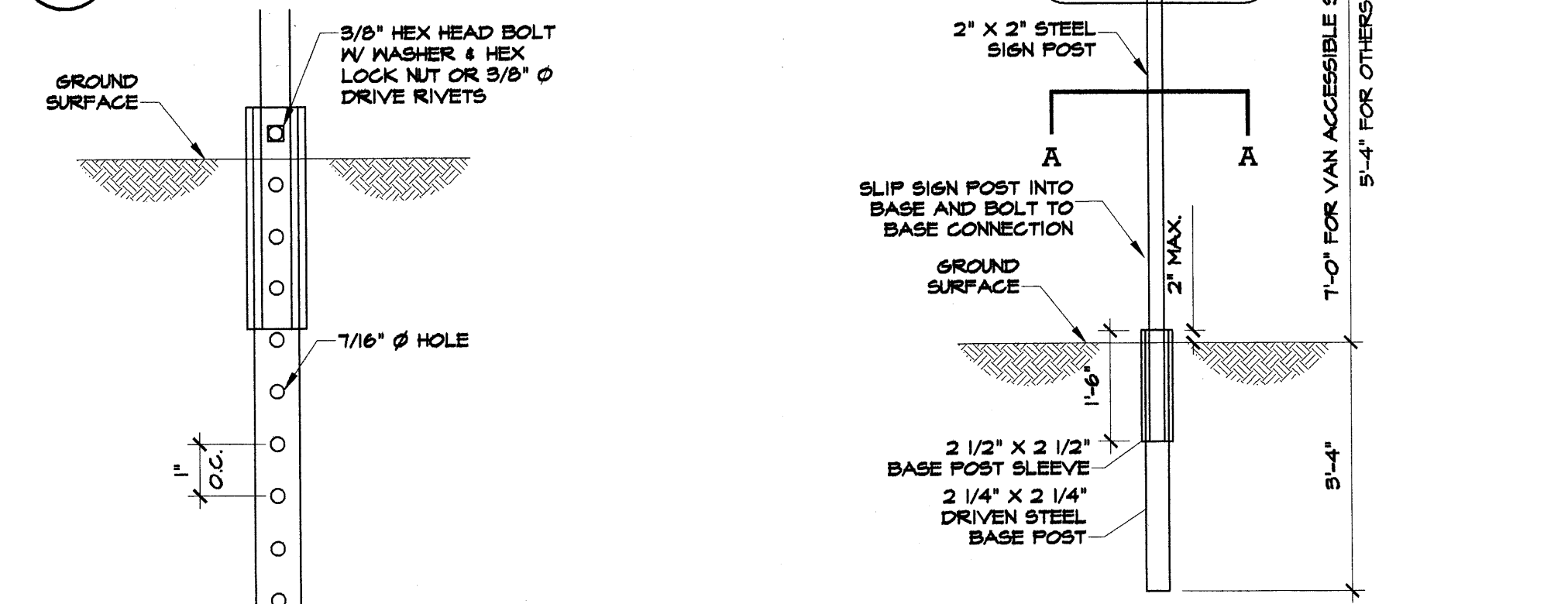
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A.I.1 N.T.S.

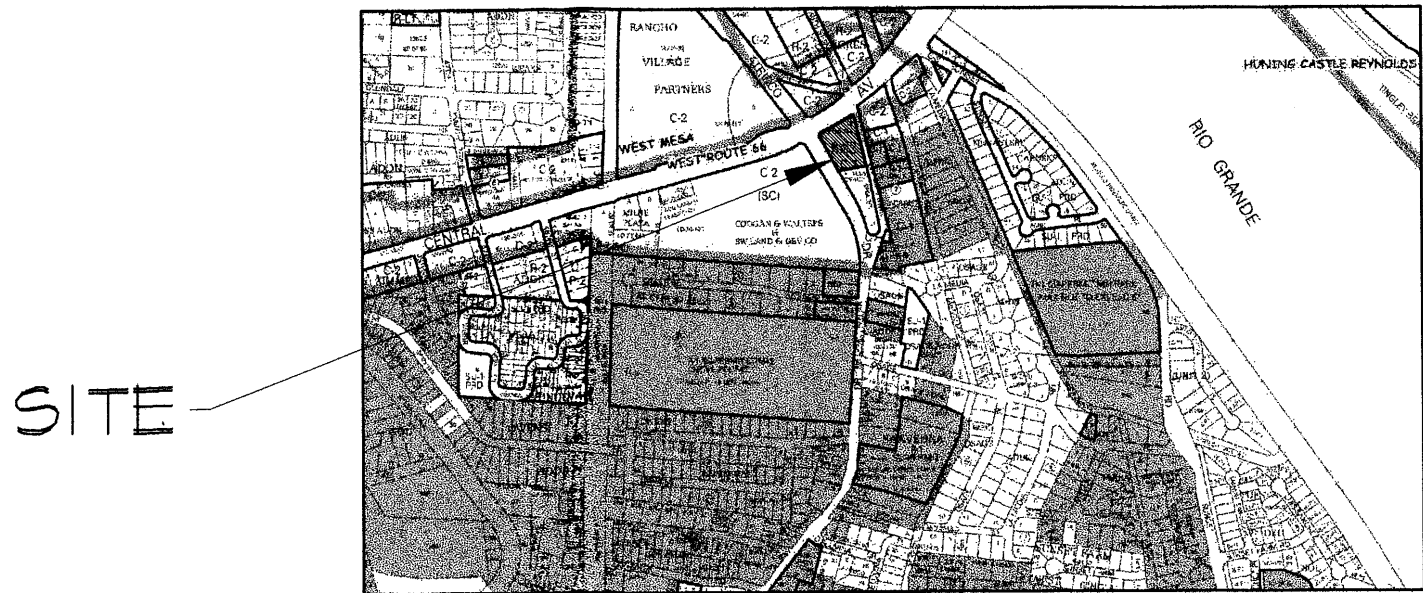
2 REFUSE ENCLOSURE
A.I.1 N.T.S.

3 HANDICAP PARKING SIGNS
A.I.1 N.T.S.

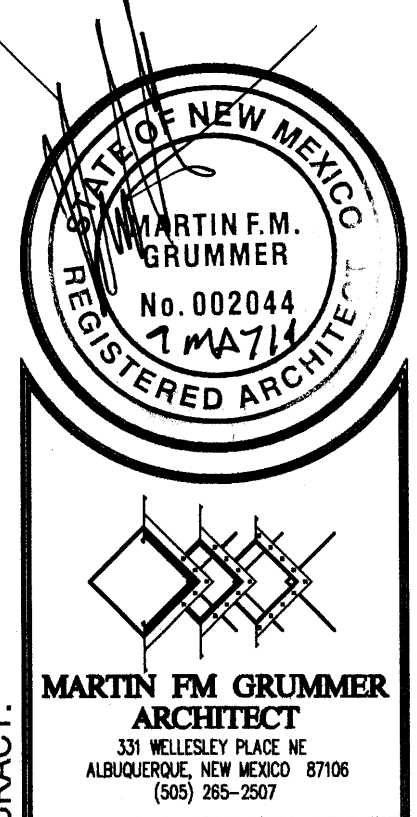


4 SECTION A-A
A.I.1 N.T.S.

5 SIGN MOUNTING DETAIL
A.I.1 N.T.S.



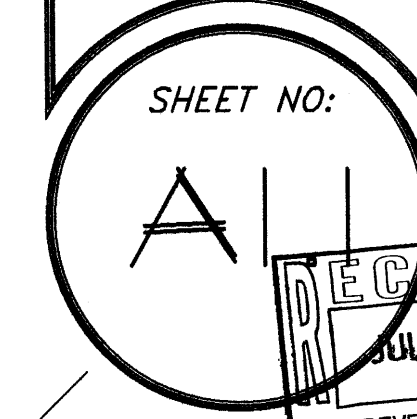
VICINITY MAP H-19-Z N.T.S.



CENTRAL & ATRISCO FACADE REMODEL
4010 CENTRAL AVE. SW
ALBUQUERQUE, NM 87105
CODE ANALYSIS

DATE:	7 MAY 2014
DRAWN BY:	MEMG
CHECKED BY:	
VERIFIED BY:	

REVISIONS



TRAFFIC CIRCULATION LAYOUT

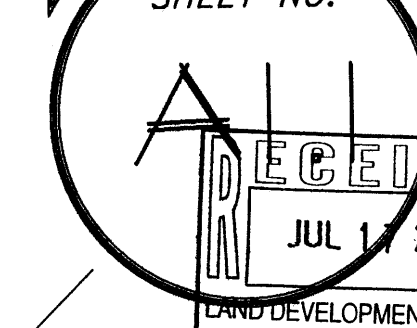

$$1'' = 20' - 0''$$


CODE ANALYSIS	
APPLICABLE CODES	
2009 INTERNATIONAL BUILDING CODE	
2009 NEW MEXICO BUILDING CODE (TITLE 14)	
2003 ANSI	
OCCUPANCY GROUP	B, BUSINESS - M, MERCANTILE
TYPE OF CONSTRUCTION (CH.6)	TYPE Y-B, UNSPRINKLED
ALLOWABLE AREA, TABLE 503	
ALLOWED	2,000 SF
EXISTING	4,835 SF
OCCUPANCY SEPARATION	
NO SEPARATION BETWEEN B & M	
FIRE EXTINGUISHERS (IFC TABLE 906.3.1)	
1/ 5000 SF	ONE 2A-10BC REQUIRED PER UNIT
MAXIMUM TRAVEL DISTANCE = 200'	



VICINITY MAP

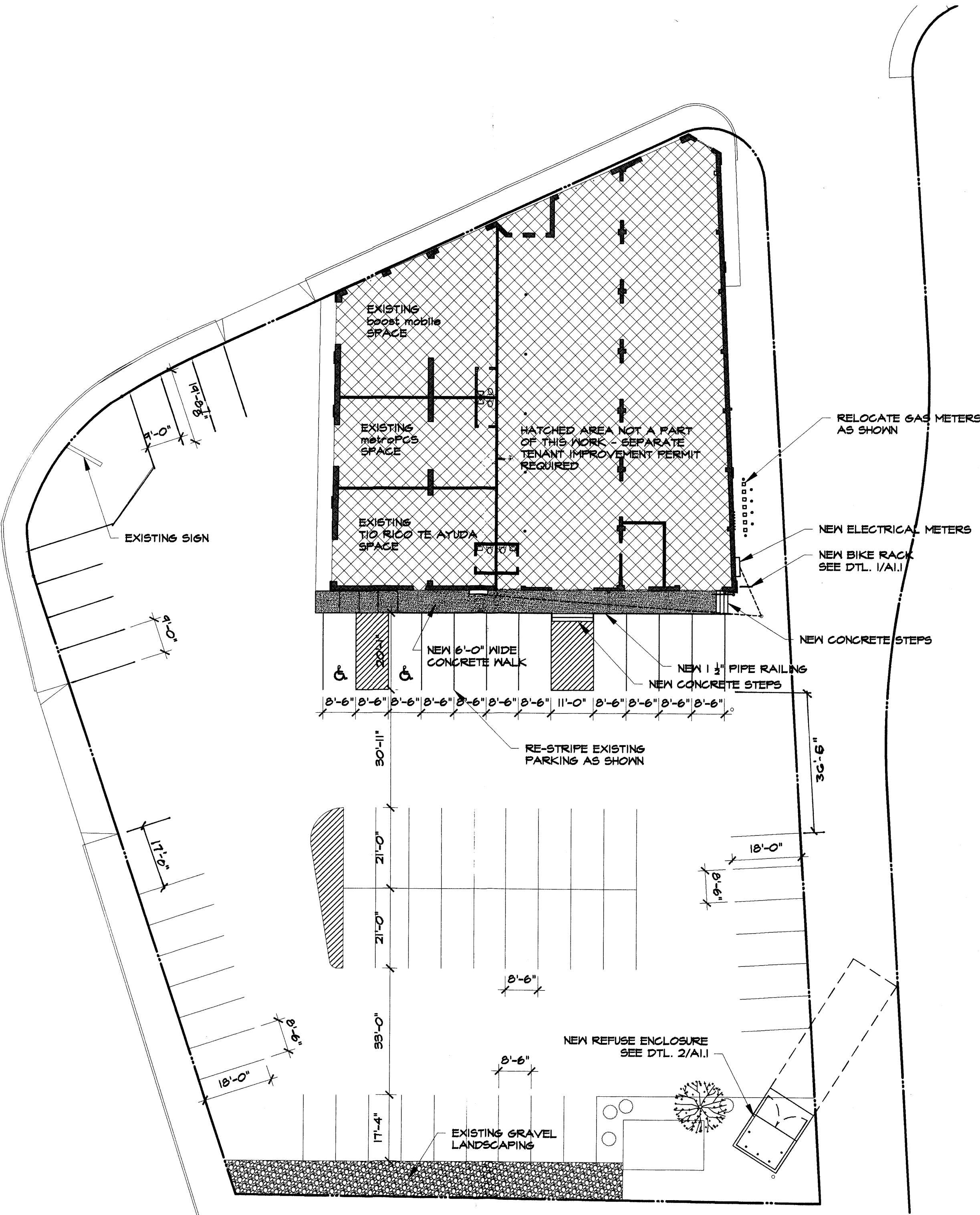
H-19-Z NTS



IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

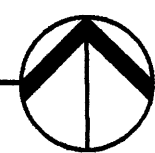
CENTRAL & ATRISCO FACADE REMODEL 4010 CENTRAL AVE. NE

TRAFFIC CIRCULATION LAYOUT



SITE PLAN

1" = 20'-0"

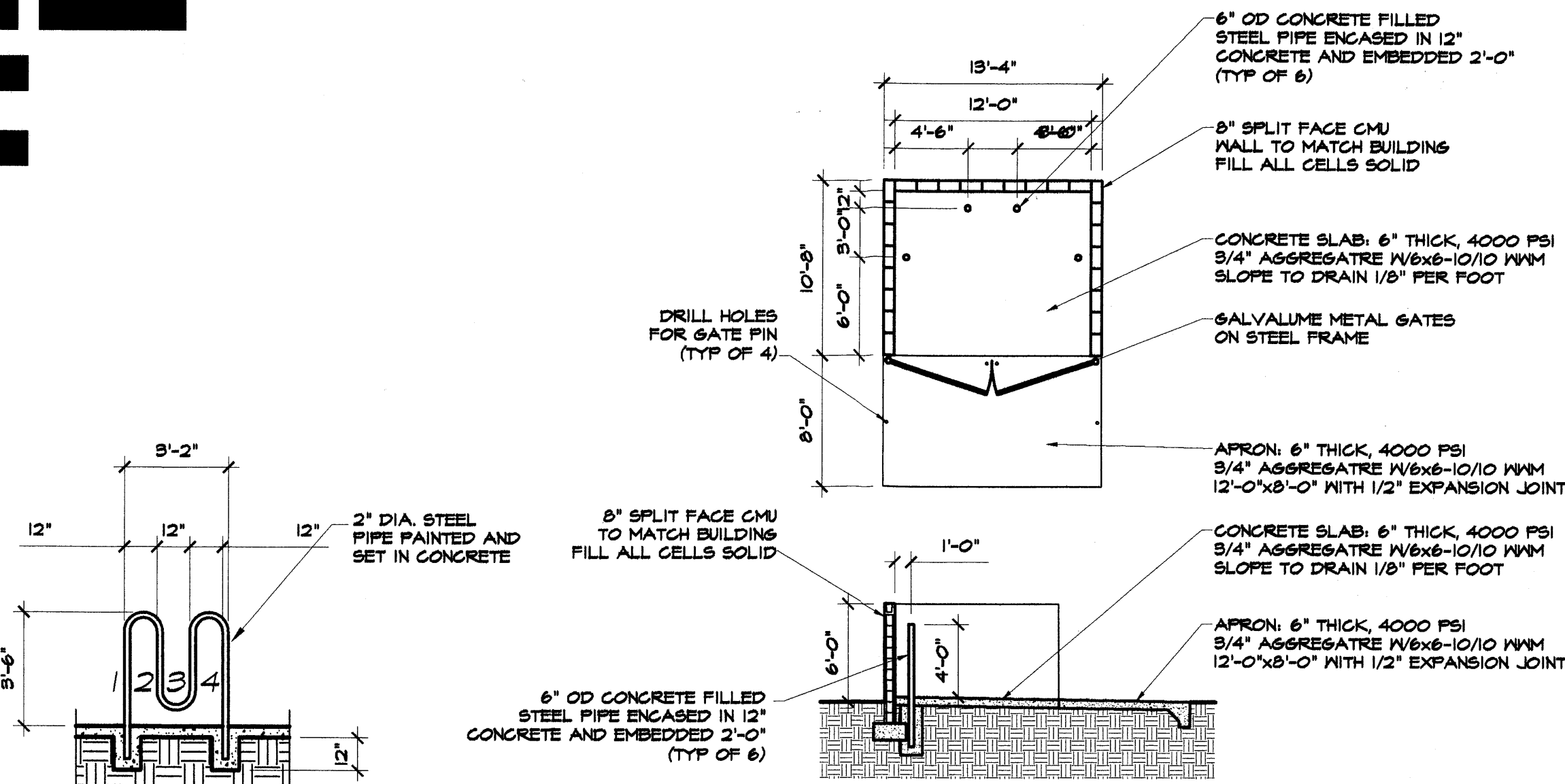


ADDRESS
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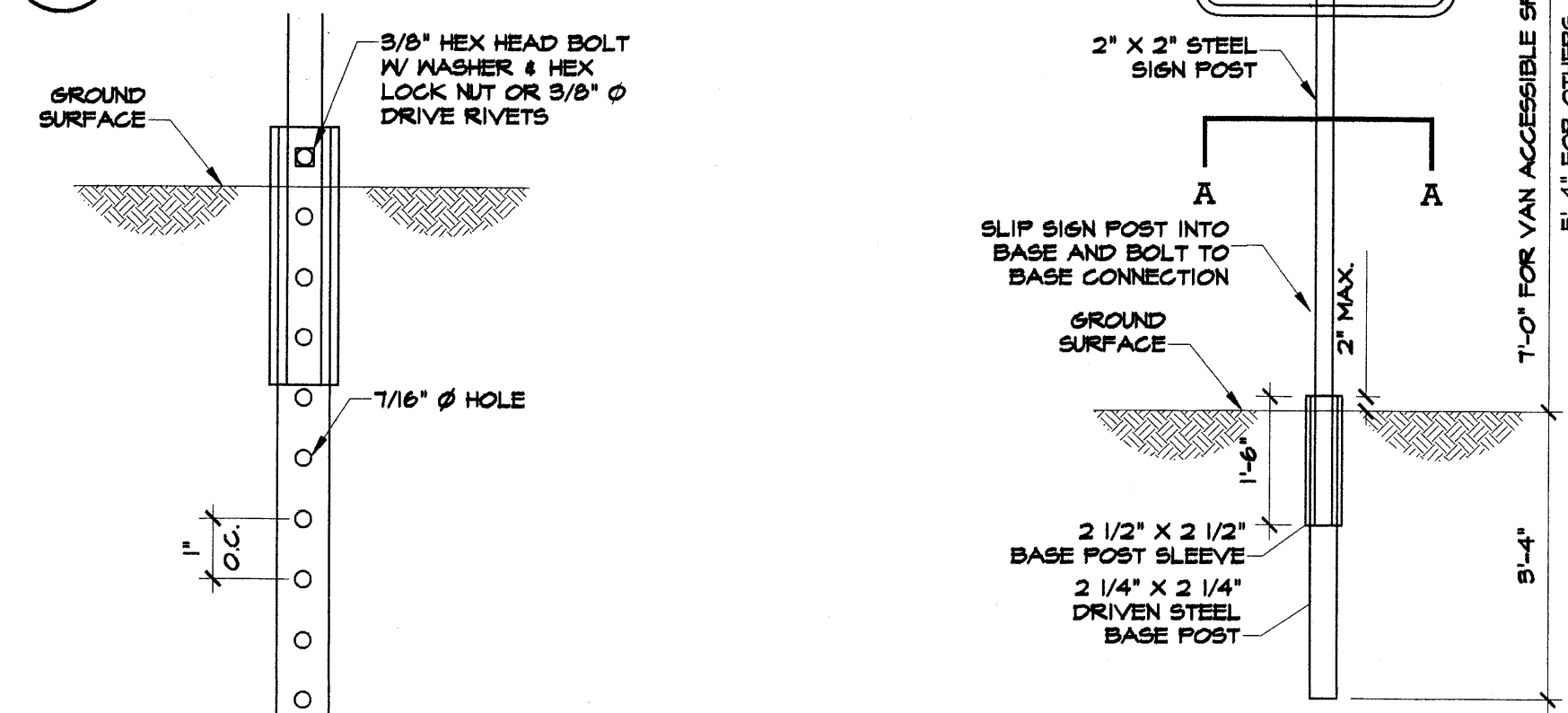
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1 BICYCLE RACK
A1.1 N.T.S.

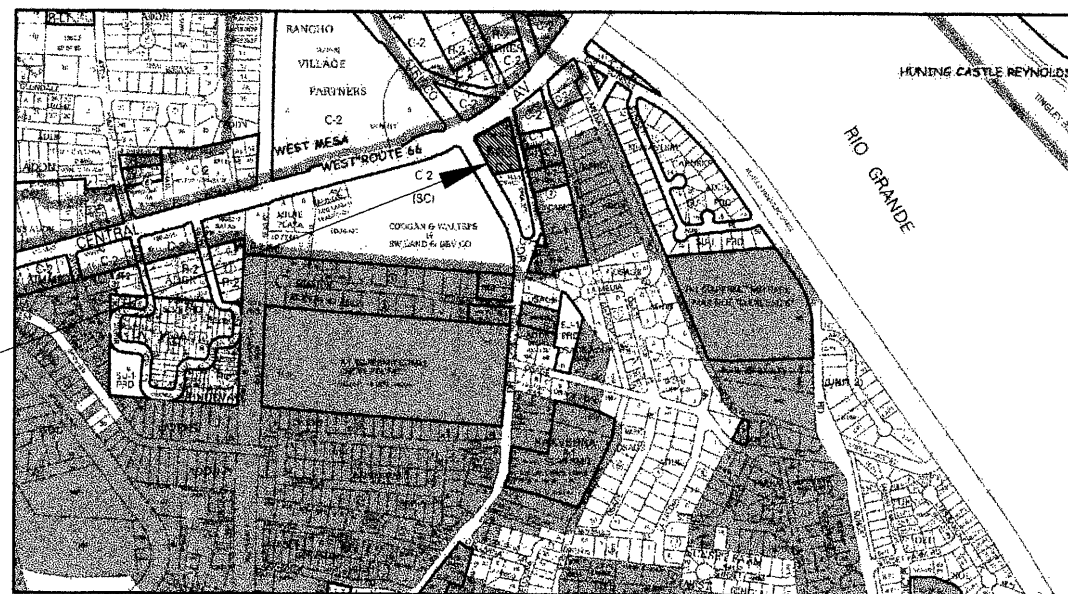
2 REFUSE ENCLOSURE
A1.1 N.T.S.

3 HANDICAP PARKING SIGNS
A1.1 N.T.S.



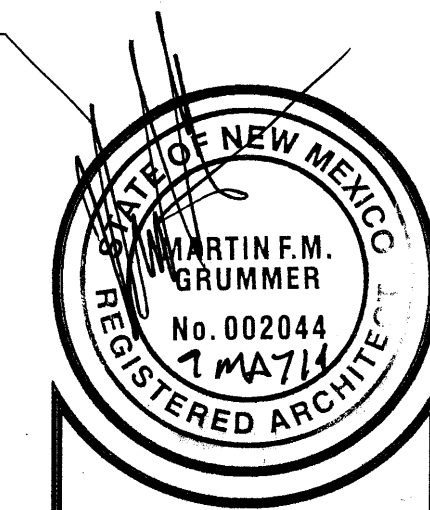
4 SECTION A-A
A1.1 N.T.S.

5 SIGN MOUNTING DETAIL
A1.1 N.T.S.



VICINITY MAP

H-19-Z NTS



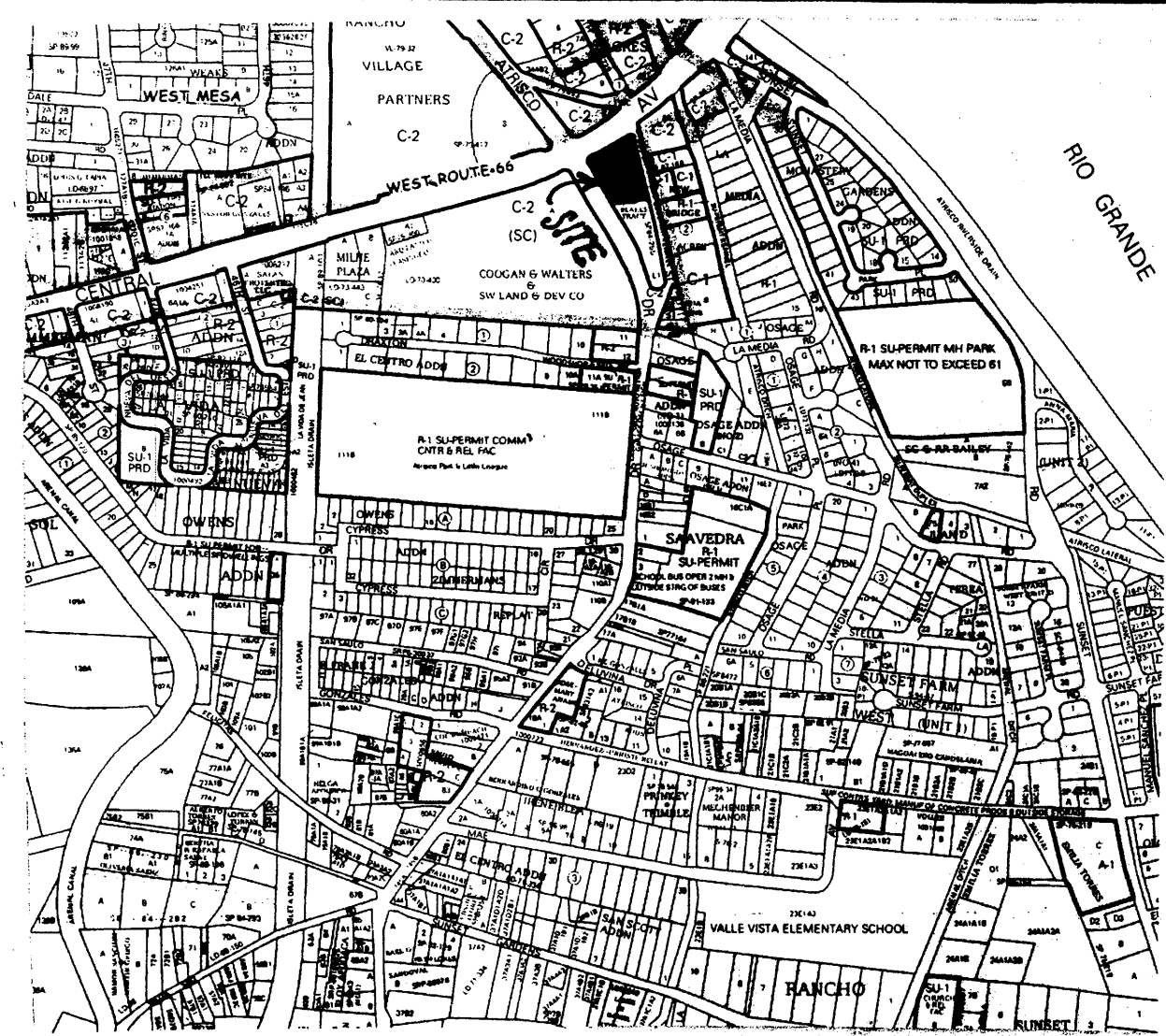
MARTIN FM GRUMMER
ARCHITECT
33 WILLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

CENTRAL & ATRISCO FACADE REMODEL
4010 CENTRAL AVE. SW
ALBUQUERQUE, NM 87105
CODE ANALYSIS

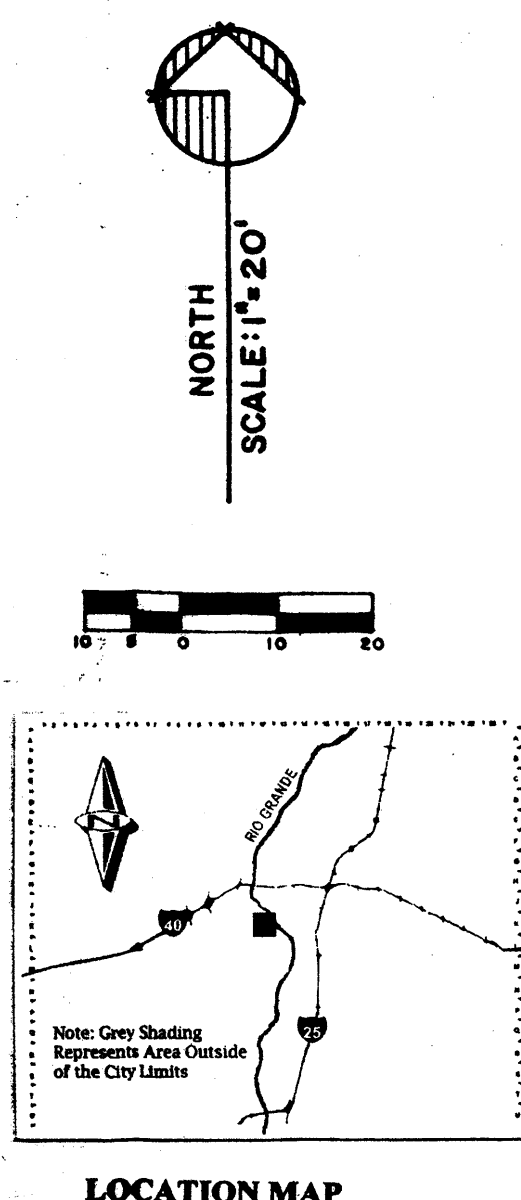
DATE:	7 MAY 2014
DRAWN BY:	MFMG
CHECKED BY:	
VERIFIED BY:	

REVISIONS





VICINITY MAP K-12-Z



LOCATION MAP

EROSION CONTROL MEASURES:
THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DICES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN BROOD FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

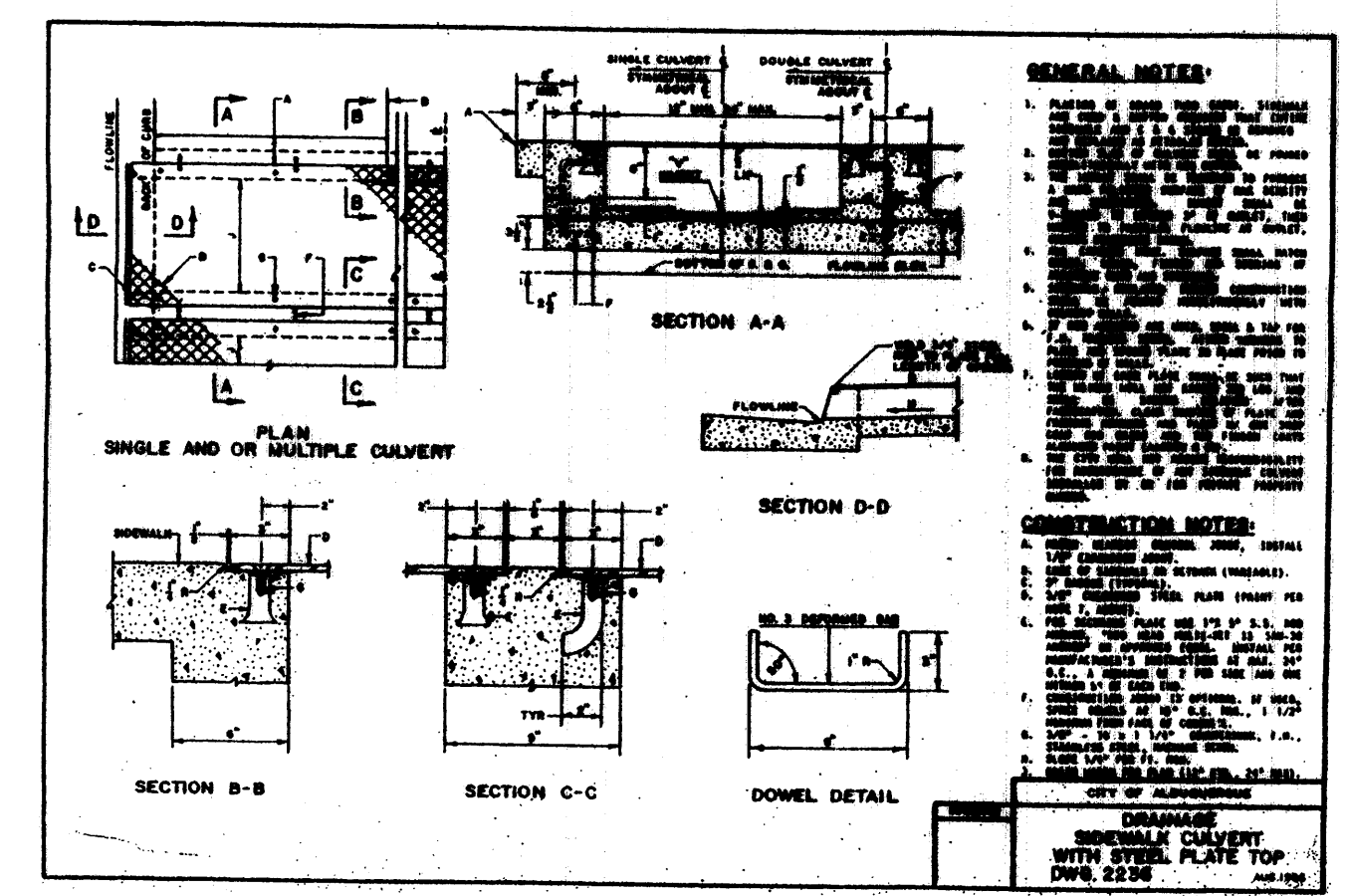
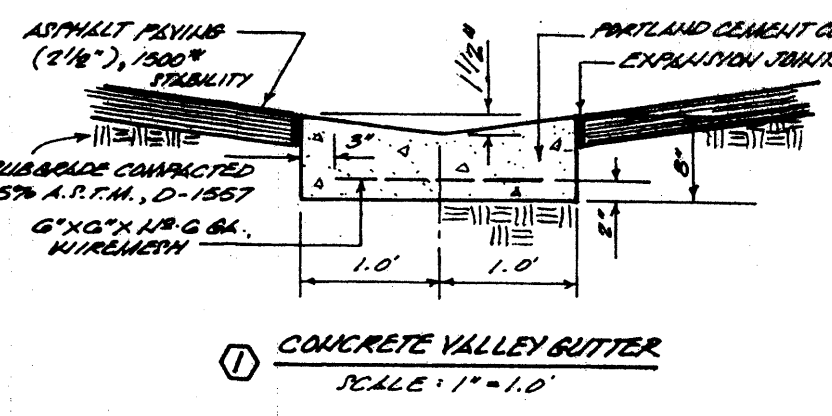
- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 246-1996 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

TOP OF CURB ELEVATION = 70.53.75
CURB FLOWLINE ELEVATION = 70.53.07
EXISTING SPOT ELEVATION = 70.51.5
EXISTING CONTOUR ELEVATION = 53.0
PROPOSED SPOT ELEVATION = 52.00
PROPOSED CONTOUR ELEVATION = 53.0
PROPOSED OR EXISTING CONCRETE SURFACE =
EXISTING FENCE LINE =

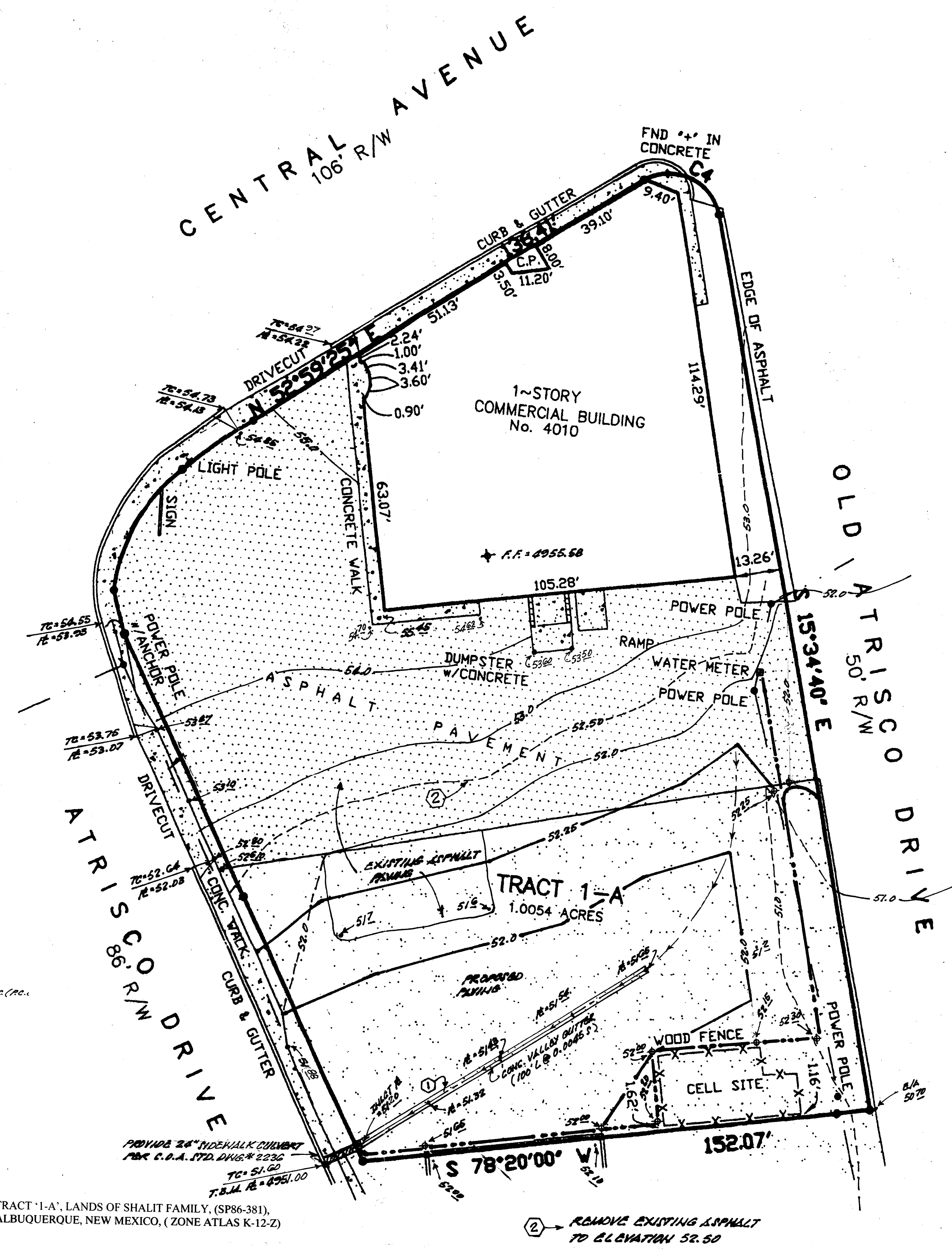


LEGAL DESCRIPTION: TRACT '1-A', LANDS OF SHALIT FAMILY, (SP86-381), ALBUQUERQUE, NEW MEXICO, (ZONE ATLAS K-12-Z)

- Drainage Facilities within City Right-of-Way Notice to Contractor
1. An excavation permit will be required before beginning any work within City Right-Of-Way.
 2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 246-1996, for the location of existing utilities.
 4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to traffic/street use.
 6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
 7. Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



A.1 PRECIPITATION ZONES
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Interstate 40; and between San Mateo and the East boundary of Range 4 East; South of Interstate 40
4	East of Interstate 40; and East of the East boundary of Range 4 East; South of Interstate 40

TABLE A-1A. PEAK DIFFERITY (INCHES at 1-0.2 hour)	
Zone	Intensity (2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	3.05 (2.04, 3.14)
3	3.38 (2.31, 3.65)
4	3.61 (2.34, 3.83)

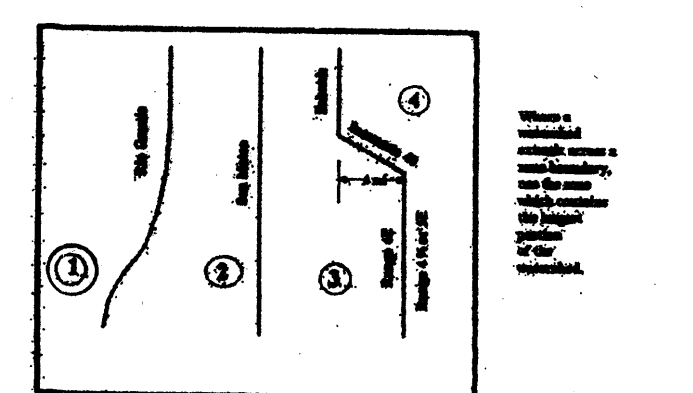


TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cephale. Unfilled Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Upgraded parking, roads, trails. Most recent lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subarea. In lieu of specific measurements for treatment D, the area percentages in TABLE A-5 may be employed.

TABLE A-9. PEAK DISCHARGE (cfs/acre)	
Zone	Treatment (2-YR, 10-YR)
1	A 1.29 (0.00, 0.24) B 2.03 (0.35, 0.76) C 2.87 (0.47, 1.49) D 4.37 (1.69, 2.89)
2	A 1.56 (0.00, 0.38) B 2.28 (0.08, 0.95) C 3.14 (0.60, 1.71) D 4.70 (1.86, 3.14)
3	A 1.87 (0.00, 0.58) B 2.60 (0.21, 1.19) C 3.43 (0.78, 2.009) D 5.02 (2.04, 3.39)
4	A 2.20 (0.05, 0.87) B 2.92 (0.38, 1.45) C 3.73 (1.00, 2.26) D 5.25 (2.17, 3.57)

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF WEST CENTRAL AVENUE AND ATRISCO DRIVE S.W., IN THE CITY OF ALBUQUERQUE, NEW MEXICO, (ZONE ATLAS MAP 'K-12-Z').

THE SUBJECT SITE, 1, IS A DEVELOPED PROPERTY WITH ONE OLD BUILDING AND SOME EXISTING ASPHALT PAVING, 2, DOES NOT ACCEPT OFF-SITE FLOWS FROM ADJACENT PROPERTIES, 3, DOES NOT AND WILL NOT CONTRIBUTE FLOWS TO ADJACENT PROPERTIES, 4, DOES LIE ADJACENT TO PUBLIC STREETS, 5, WILL FREE-DISCHARGE DEVELOPED FLOWS INTO THE ADJACENT STREET RIGHT-OF-WAYS, SAID FLOWS WILL NOT HAVE AN ADVERSE IMPACT TO DOWN-STREAM PROPERTIES.

SITE AREA = 1.00 ACRE ZONE: ONE (1)
PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.44 in.	1.29 cfs/ac.
TREATMENT B 0.67 in.	2.03 cfs/ac.
TREATMENT C 0.99 in.	2.87 cfs/ac.
TREATMENT D 1.97 in.	4.37 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0.00 ac.	0.00 ac.
TREATMENT B 0.00 ac.	0.00 ac.
TREATMENT C 0.38 ac.	0.08 ac.
TREATMENT D 0.62 ac.	0.92 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.44)x(0.00)+(0.67)x(0.00)+(0.99)x(0.38)+(1.97)x(0.62)/1.00 = 1.60 in
V100-360 = (1.60)x(1.00)/12 = 0.133333 ac-ft = 5,808.0 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.29)x(0.00)+(2.03)x(0.00)+(2.87)x(0.38)+(4.37)x(0.62) = 3.80 cfs

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.44)x(0.00)+(0.67)x(0.00)+(0.99)x(0.08)+(1.97)x(0.92)/1.00 = 1.89 in
V100-360 = (1.89)x(1.00)/12.0 = 0.15750 ac-ft = 6,860.7 cf

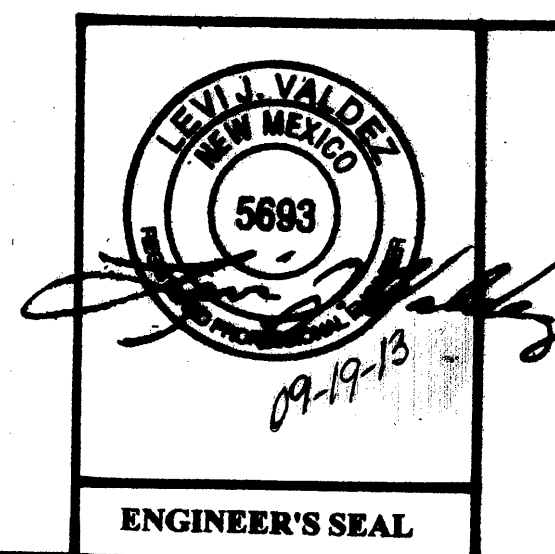
V100-1440 = (0.16)+(1.00)x(2.66 - 2.20)/12 = 0.198333 ac-ft = 8,639.4 cf

V100-10day = (0.16)+(1.00)x(3.67 - 2.20)/12 = 0.282500 ac-ft = 12,305.7 cf

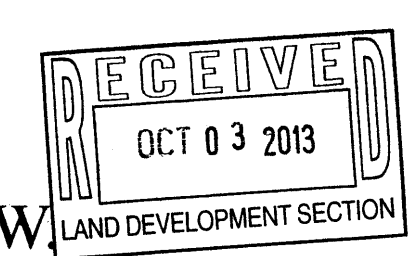
PROPOSED PEAK DISCHARGE:

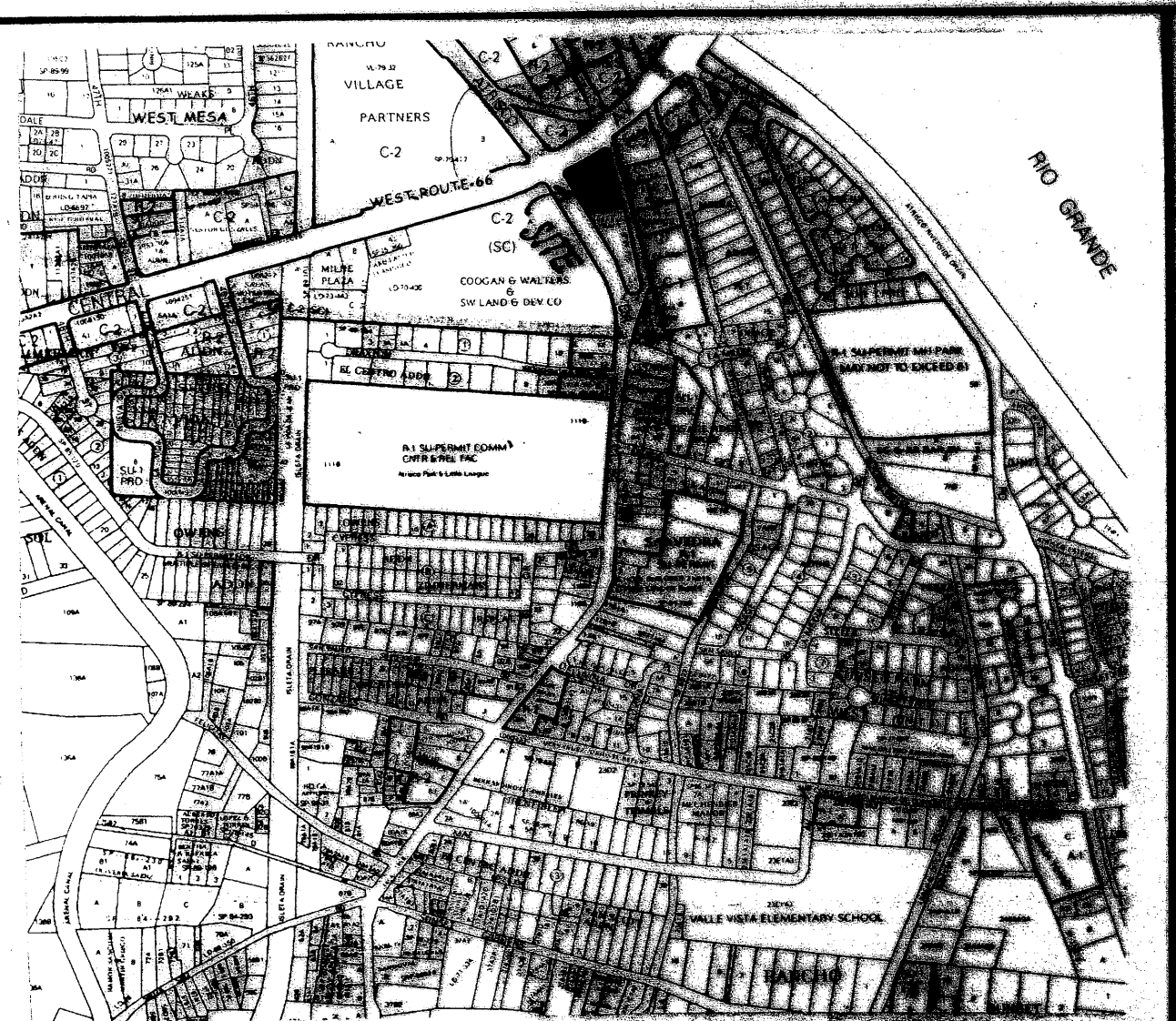
Q100 = (1.29)x(0.00)+(2.03)x(0.00)+(2.87)x(0.08)+(4.37)x(0.92) = 4.25 cfs

INCREASE: V100-360 = 1,052.7 cf
Q100 = 0.45 cfs



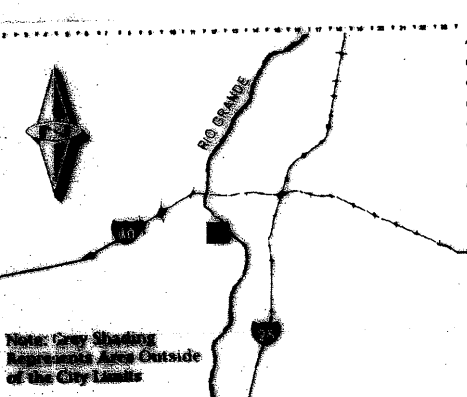
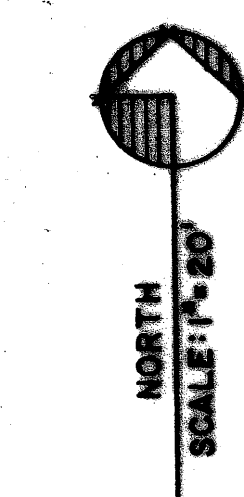
A PROPOSED
PAVING PLAN
FOR
4010 CENTRAL AVENUE S.W.
ALBUQUERQUE, NEW MEXICO
AUGUST, 2013





VICINITY MAP

K-12-Z



LOCATION MAP

EROSION CONTROL MEASURES

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORMWATER DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DIRT, SWALES, BENCH, AND OTHER TEMPORARY OBSTACLES AS REQUIRED TO PREVENT STORMWATER FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED BY ALL THINGS FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. THE CONTRACTOR SHALL NOT BE PERMITTED TO ENTER PUBLIC STREET UNDER ANY CIRCUMSTANCES.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN BROUGHT FROM THE SUBJECT SITE AND DEPOSITED THEREIN.

CONSTRUCTION NOTES

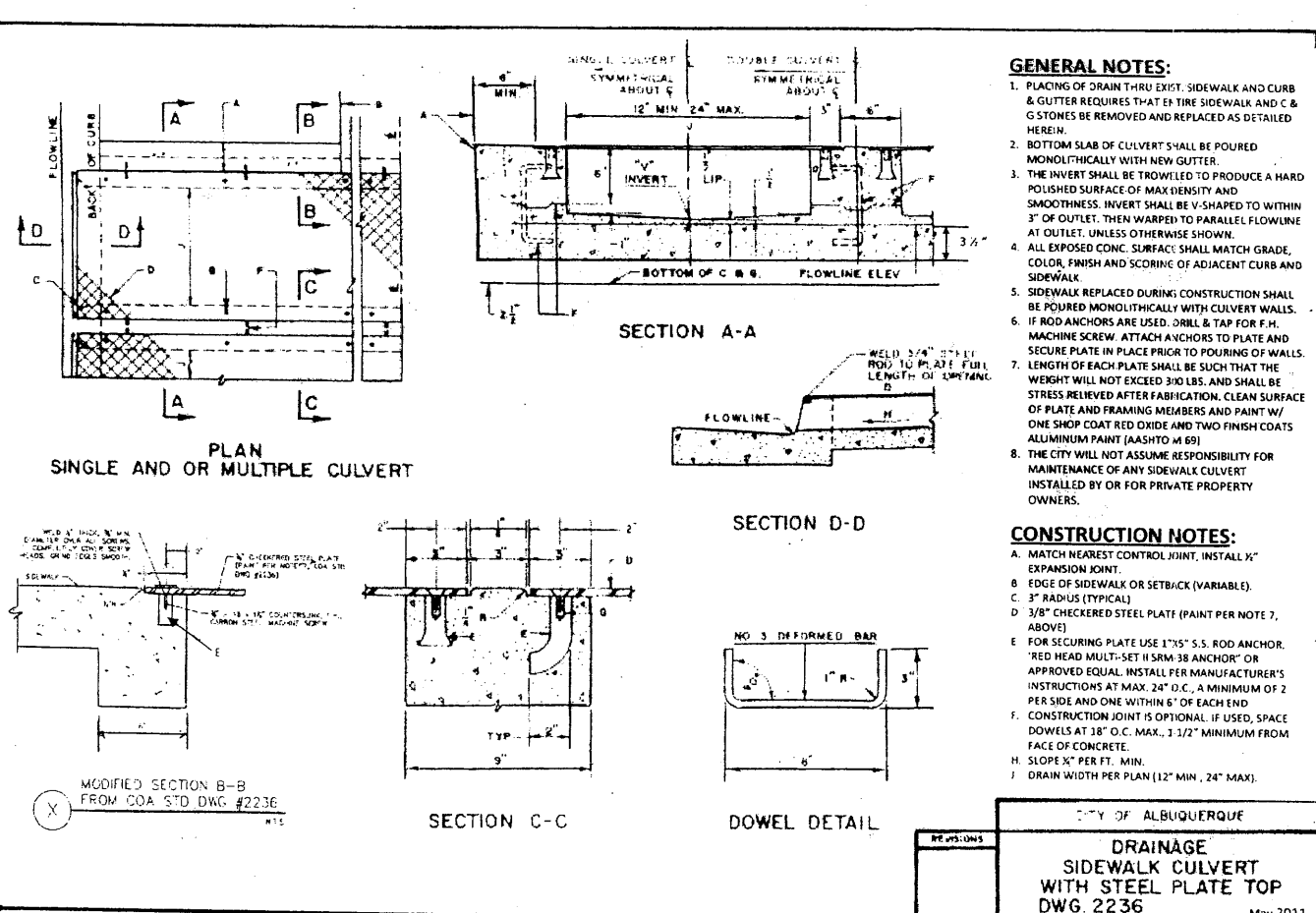
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 800-368-5848 FOR THE ACTUAL, REAR LOCATION OF THE EXISTING SURFACE OF PUBLIC UTILITY CONDUITS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL RECONSTRUCT AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES

- NO PERMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED FOR THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND

TOP OF CURB ELEVATION - 70-53.75
CURB FLOWLINE ELEVATION - 70-53.07
EXISTING SPOT ELEVATION - 51.5
EXISTING CONTOUR ELEVATION - 53.0
PROPOSED SPOT ELEVATION - 52.00
PROPOSED CONTOUR ELEVATION - 53.0
PROPOSED OR EXISTING CONCRETE SURFACE -
EXISTING FENCE LINE -



GENERAL NOTES

- EXISTING SURFACE SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DIRT, SWALES, BENCH, AND OTHER TEMPORARY OBSTACLES AS REQUIRED TO PREVENT STORMWATER FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
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LEGAL DESCRIPTION: TRACT '1-A', LANDS OF SHALIT FAMILY, (SP86-381), ALBUQUERQUE, NEW MEXICO, (ZONE ATLAS K-12-Z)

Drainage Facilities within City Right-of-Way Notice to Contractor

SO19

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. If there is a Work Order associated with this project, this work is to be included in the Work Order. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 857-9074, to schedule an inspection.

cCopy: Antoinette Baldonado, Excavation and Barricading, ABaldonado@caba.gov
Jason Rodriguez, Street/Storm Drain Maintenance, JRodriguez@caba.gov

APPROVALS	NAME	DATE
INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

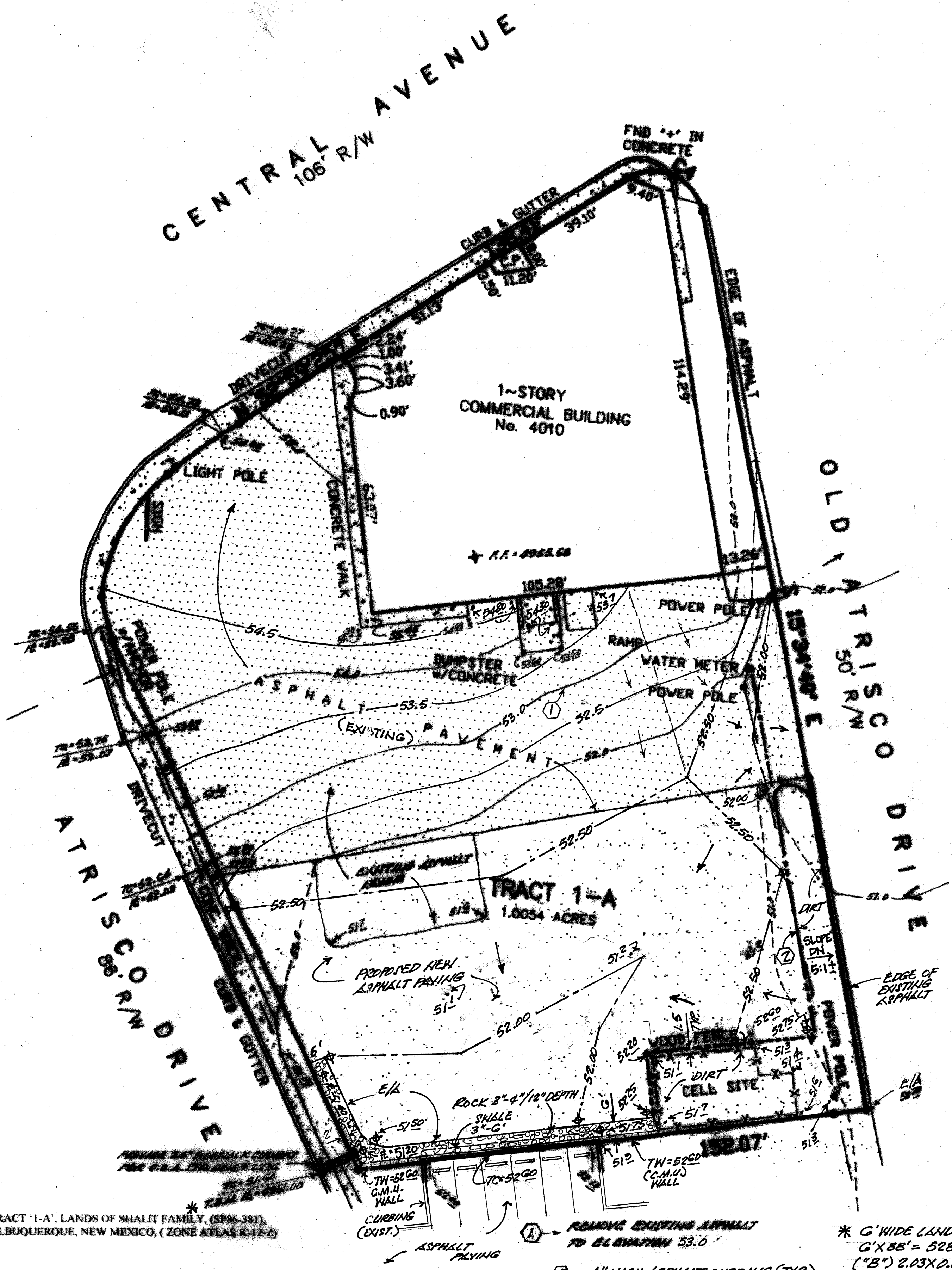
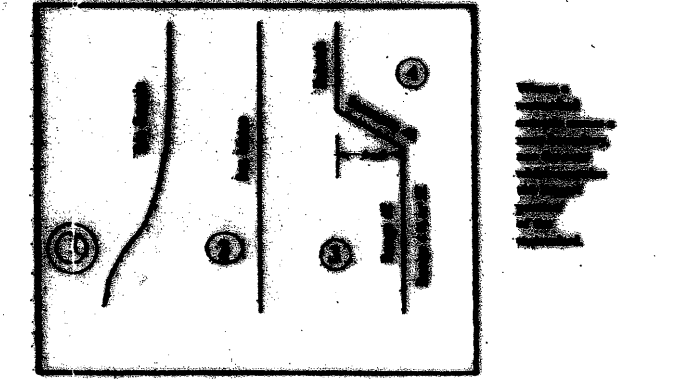


TABLE A-1. PRECIPITATION DATA

Source: NOAA, 1981. Precipitation data are indicated in TABLE A-1.

Zone	1	2	3	4
10-YR	0.44	0.67	0.99	1.97
2-YR	0.44	0.67	0.99	1.97
10-YR	0.44	0.67	0.99	1.97

Zone	1	2	3	4
10-YR	0.44	0.67	0.99	1.97
2-YR	0.44	0.67	0.99	1.97
10-YR	0.44	0.67	0.99	1.97



Zone	1	2	3	4
10-YR	0.44	0.67	0.99	1.97
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10-YR	0.44	0.67	0.99	1.97

Zone	1	2	3	4
10-YR	0.44	0.67	0.99	1.97
2-YR	0.44	0.67	0.99	1.97
10-YR	0.44	0.67	0.99	1.97

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF WEST CENTRAL AVENUE AND ATRISCO DRIVE S.W., IN THE CITY OF ALBUQUERQUE, NEW MEXICO, (ZONE ATLAS MAP 'K-12-Z').

THE SUBJECT SITE, 1.) IS A DEVELOPED PROPERTY WITH ONE OLD BUILDING AND SOME EXISTING ASPHALT PAVING, 2.) DOES NOT ACCEPT OFF-SITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT AND WILL NOT CONTRIBUTE FLOWS TO ADJACENT PROPERTIES, 4.) DOES NOT ADJACENT TO PUBLIC STREETS, 5.) WILL FREE-DISCHARGE DEVELOPED FLOWS INTO THE ADJACENT STREET RIGHT-OF-WAYS, SAID FLOWS WILL NOT HAVE AN ADVERSE IMPACT TO DOWN-STREAM PROPERTIES.

SITE AREA = 1.00 ACRE ZONE: ONE (1)

PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

EXCESS PRECIPITATION:

TREATMENT A	0.44 in.	1.29 cfs/ac.
TREATMENT B	0.67 in.	2.03 cfs/ac.
TREATMENT C	0.99 in.	2.87 cfs/ac.
TREATMENT D	1.97 in.	4.37 cfs/ac.

EXISTING CONDITIONS:

TREATMENT A	0.00 ac.	0.00 ac.
TREATMENT B	0.00 ac.	0.00 ac.
TREATMENT C	0.38 ac.	0.08 ac.
TREATMENT D	0.62 ac.	0.92 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = $(0.44)(0.00) + (0.67)(0.00) + (0.99)(0.38) + (1.97)(0.62) / 1.00$
= 1.60 in.
V100-360 = $(1.60)(1.00) / 12 = 0.133333 \text{ ac-ft} = 5,808.0 \text{ cf}$

EXISTING PEAK DISCHARGE:

Q100 = $(1.29)(0.00) + (2.03)(0.00) + (2.87)(0.38) + (4.37)(0.62) = 3.80 \text{ cfs}$

PROPOSED EXCESS PRECIPITATION:

Weighted E = $(0.44)(0.00) + (0.67)(0.00) + (0.99)(0.08) + (1.97)(0.92) / 1.00$
= 1.89 in.
V100-360 = $(1.89)(1.00) / 12 = 0.15750 \text{ ac-ft} = 6,860.7 \text{ cf}$

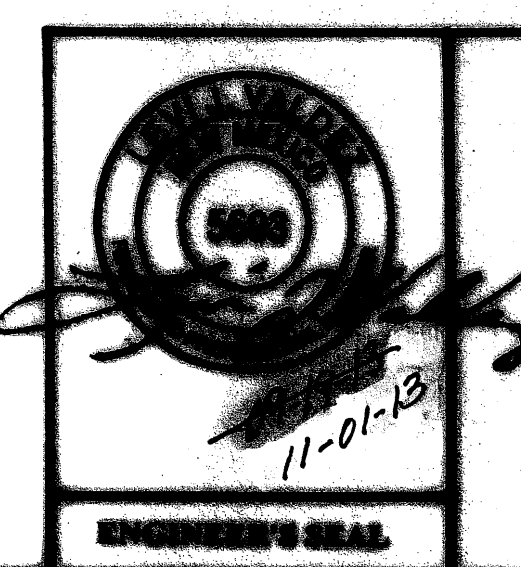
V100-1440 = $(0.16)(1.00)(2.66 - 2.20) / 12 = 0.198333 \text{ ac-ft} = 8,639.4 \text{ cf}$

V100-10day = $(0.16)(1.00)(3.67 - 2.20) / 12 = 0.282500 \text{ ac-ft} = 12,305.7 \text{ cf}$

PROPOSED PEAK DISCHARGE:

Q100 = $(1.29)(0.00) + (2.03)(0.00) + (2.87)(0.08) + (4.37)(0.92) = 4.25 \text{ cfs}$

INCREASE: V100-360 = 1,052.7 cf
Q100 = 0.45 cfs



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