



***Planning Department
Transportation Development Services***

July 24, 2014

Martin F. M. Grummer, R.A.
331 Wellesley Pl. NE
Albuquerque, NM 87106

**Re: Central & Atrisco Façade Remodel, 4010 Central Ave. SW
Traffic Circulation Layout**
Architect's Stamp dated 05-07-14 (K12-D033)

Dear Mr. Grummer,

Based upon the information provided in your submittal received 07-17-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov
1. NMBC Table 1106.1 requires 4 ADA accessible parking spaces one of which needs to be Van accessible.
 2. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
 3. Identify the right of way width, medians, curb cuts, and street widths on both sides of the street.
 4. Please list the width and length for all parking spaces.
 5. Parking spaces cannot cross over the lot lines.
 6. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
 7. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
 8. Show all drive aisle widths and radii.
 9. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger
 10. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

CITY OF ALBUQUERQUE



11. All sidewalks along streets should be placed at the property line.
12. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
13. Design delivery vehicle route needs to be shown.
14. Service vehicle and/or refuse vehicle maneuvering must be contained on-site.
15. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
16. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
17. Please specify the City Standard Drawing Number when applicable.
18. Work within the public right of way requires a work order with DRC approved plans.
19. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard Drawing.
20. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

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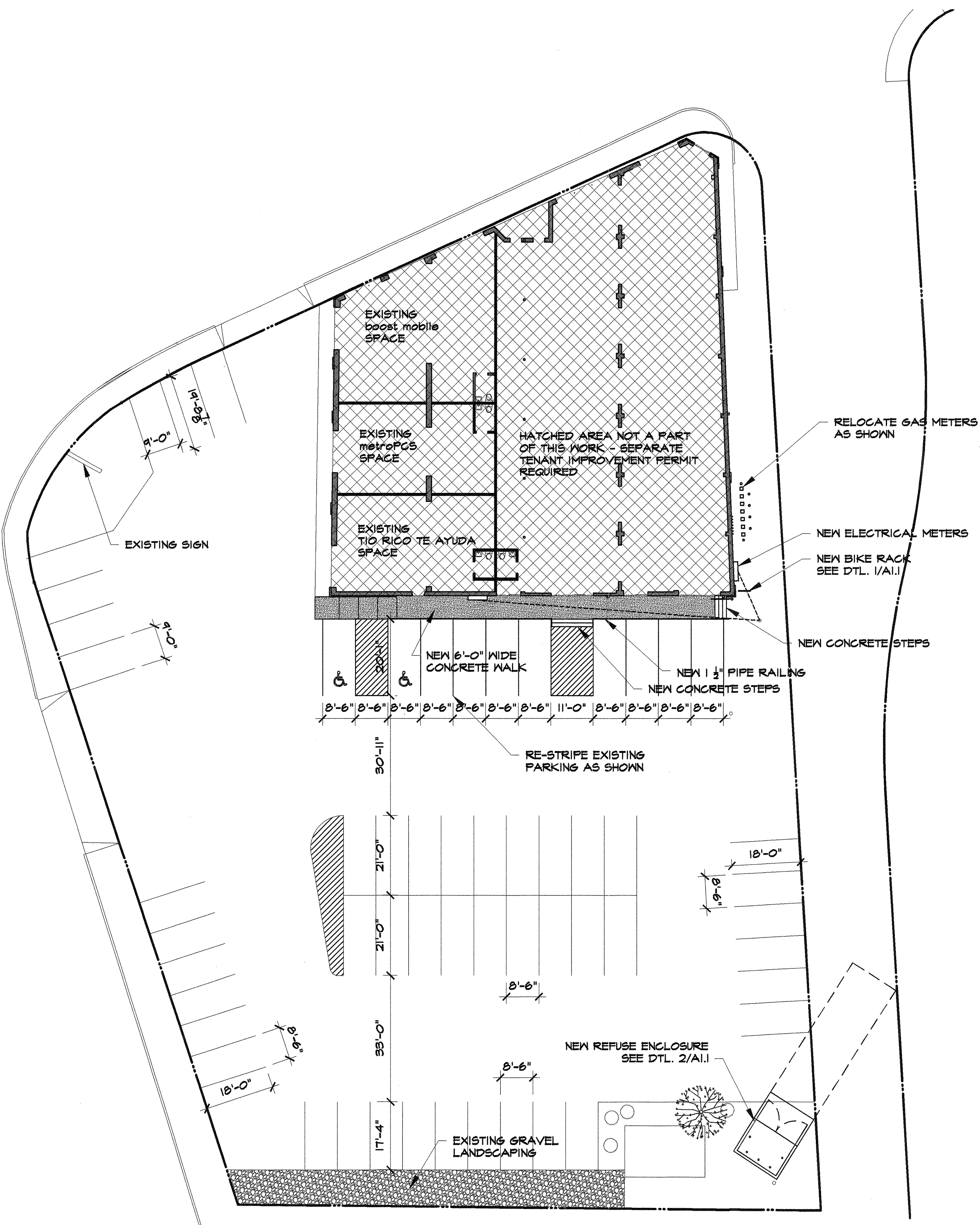
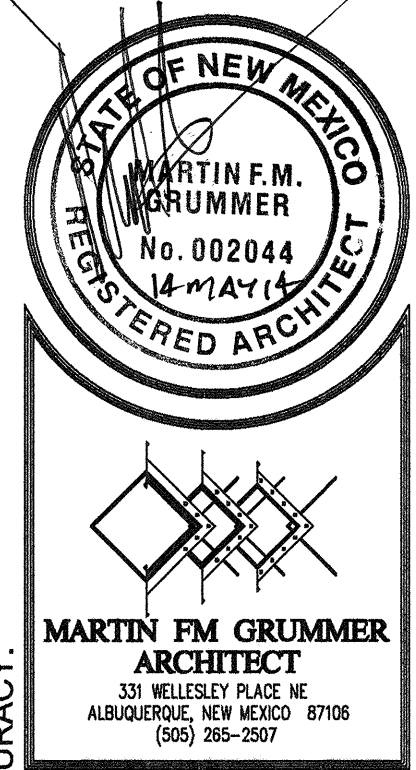
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

CENTRAL & ATRISCO FACADE REMODEL 4010 CENTRAL AVE. NE



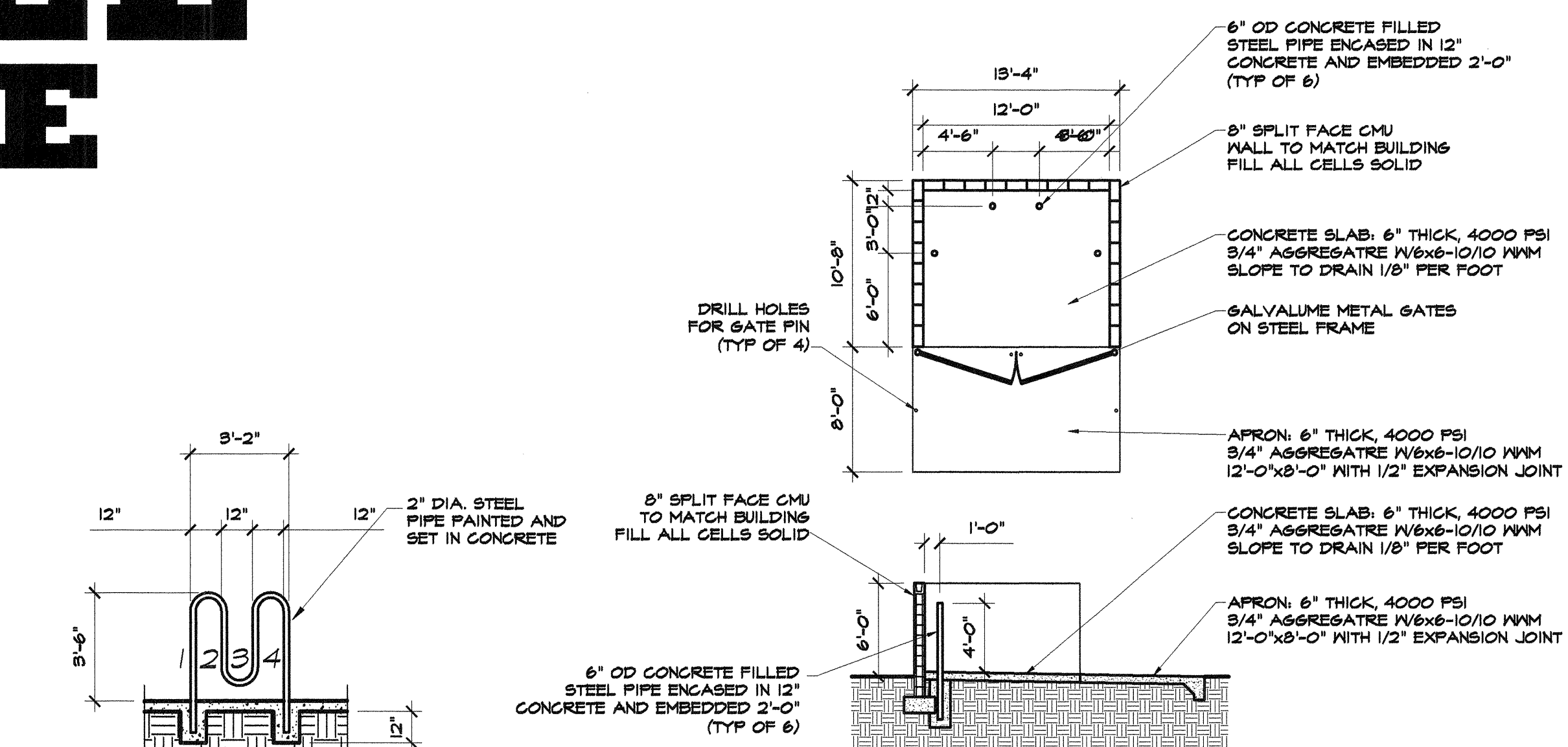
SITE PLAN
1" = 20'-0"

ADDRESS
4010 CENTRAL AVE. SW ALBUQUERQUE, NEW MEXICO 87105
LEGAL DESCRIPTION
LOT 1A SHALIT FAMILY SUBDIVISION ALBUQUERQUE, NEW MEXICO K-12-Z UPC NO.: 101205724045521705
ZONING
G-2 COMMERCIAL RETAIL
BUILDING AREAS
EXISTING WEST BLDG 9,835 SF
SPACE USE
COMMERCIAL
PARKING
1 SPACE PER 200 SF TENANT SPACE 50 REQUIRED 60 PROVIDED

DRAWING INDEX
A1.1 CODE ANALYSIS / SITE PLAN
A2.0 DEMOLITION PLAN
A2.1 FLOOR PLAN / DETAILS
S1.1 STRUCTURAL PLANS & DETAILS
AS.1 ELEVATIONS / RAILING ELEVATIONS
AT.1 SCHEDULES / DETAILS

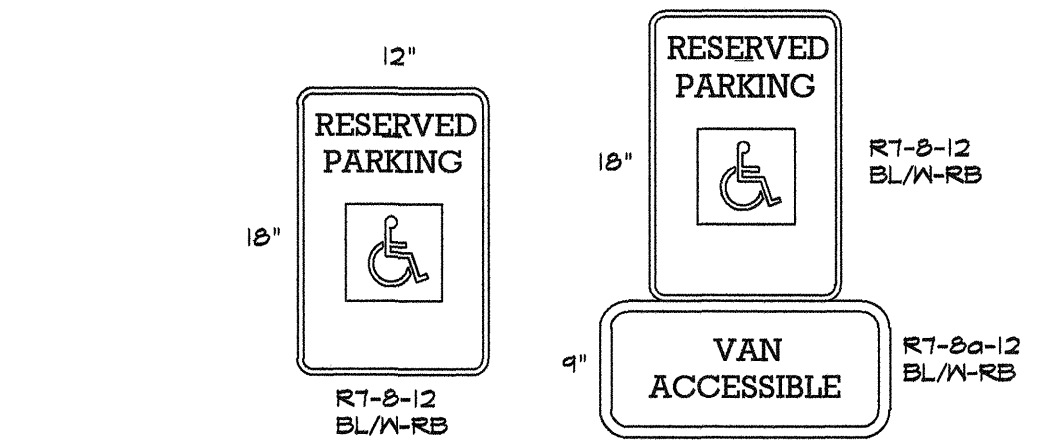
SCOPE OF WORK
EXTERIOR FACADE REMODEL AS SHOWN. NO ADDITIONAL SQ. FT.
NEW STOREFRONT WINDOWS AS SHOWN.
NO INTERIOR WORK THIS PHASE. SEPARATE PERMITTING REQUIRED FOR TENANT IMPROVEMENTS.

CODE ANALYSIS
APPLICABLE CODES
2009 INTERNATIONAL BUILDING CODE
2009 NEW MEXICO BUILDING CODE (TITLE 14)
2003 ANSI
OCCUPANCY GROUP B, BUSINESS - M, MERCANTILE
TYPE OF CONSTRUCTION (CH.6) TYPE V-B, UNSPRINKLED
ALLOWABLE AREA, TABLE 503
ALLOWED 21,000 SF
EXISTING 9,835 SF
OCCUPANCY SEPARATION
NO SEPARATION BETWEEN B & M
FIRE EXTINGUISHERS (IFC TABLE 906.3.1)
1/ 3000 SF ONE 2A-10BC REQUIRED PER UNIT
MAXIMUM TRAVEL DISTANCE = 200'

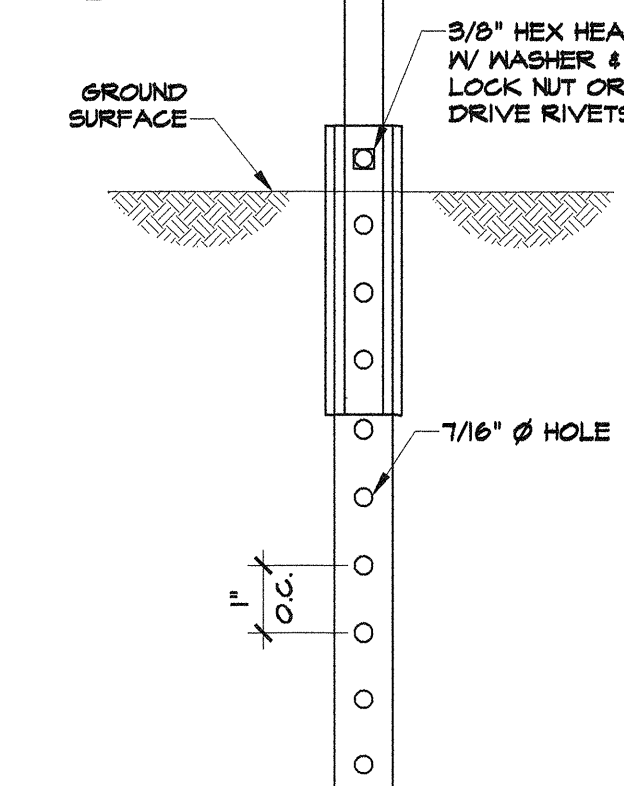


1 BICYCLE RACK
N.T.S.

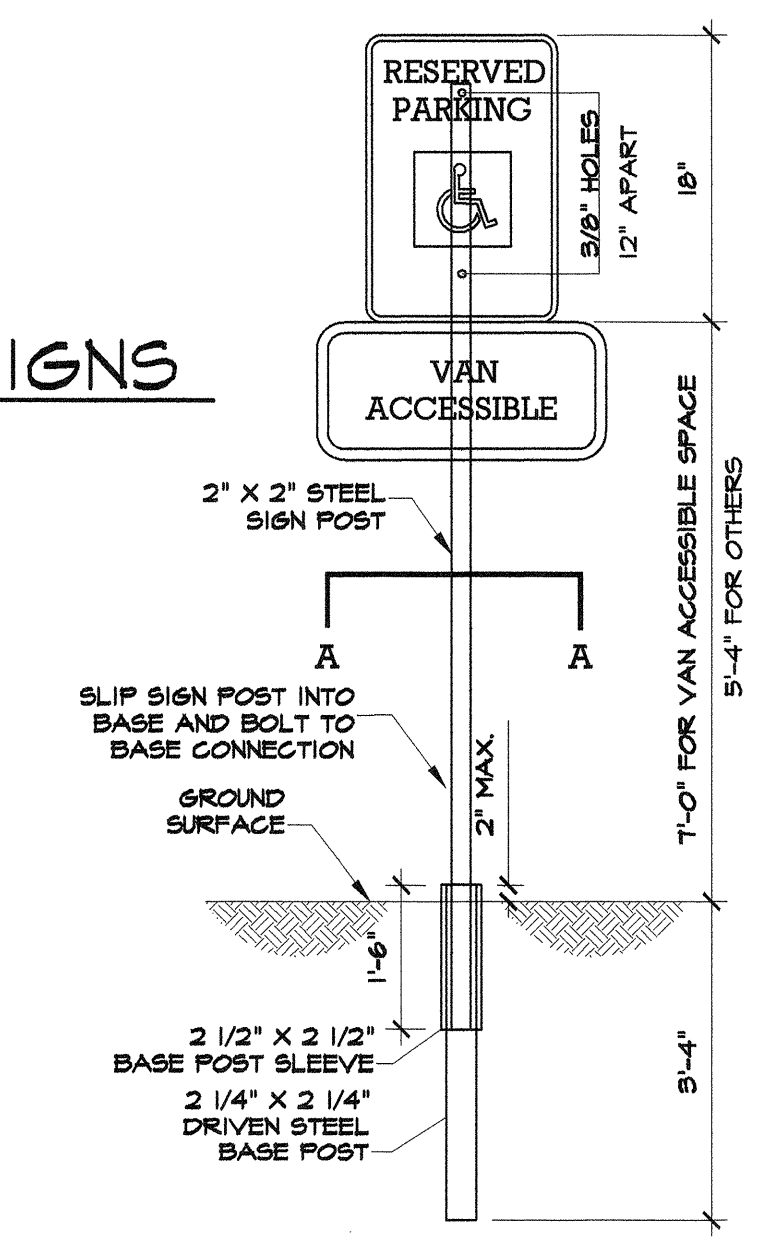
2 REFUSE ENCLOSURE
N.T.S.



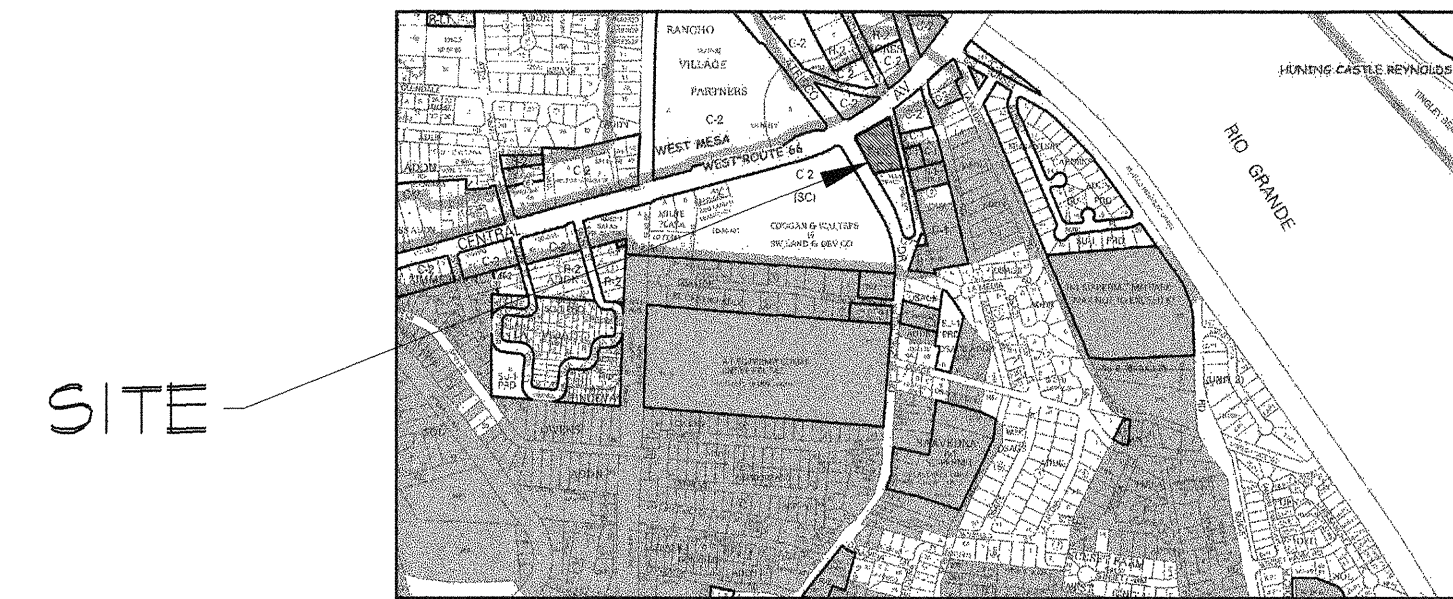
3 HANDICAP PARKING SIGNS
N.T.S.



4 SECTION A-A
N.T.S.



5 SIGN MOUNTING DETAIL
N.T.S.



VICINITY MAP
H-19-Z N.T.S.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

CENTRAL & ATRISCO FACADE REMODEL
4010 CENTRAL AVE. SW
ALBUQUERQUE, NM 87105
CODE ANALYSIS

DATE:	12 MAY 2014
DRAWN BY:	MFMG
CHECKED BY:	
VERIFIED BY:	

REVISIONS