

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 31, 2024

Xavier Nuno-Whelan
DizinX
879 Silver Ave SW
Albuquerque, NM 87102

Re: Mata Auto Garage
142 40th St SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 03-03-23 (K12-D037)
Certification dated 12-19-24

Dear Mr. Nuno,

Based upon the information provided in your submittal received 12-31-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per city requirement and approved site plan, a concrete site access must be constructed up to the property line. The current gravel site access may damage the asphalt edge within the city right of way.



- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

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- Per previous emails, the construction of the sidewalk and curb and gutter will be postponed until the adjacent south east property begins constructing their sidewalk and curb and gutter.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

PO Box 1293

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Albuquerque

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

NM 87103

Ma via: email

www.cabq.gov

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Auto Garage Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: 142 40th St. SW

Applicant/Agent: DIZIGNX Contact: Xavier Nuno-Whelan

Address: 879 Silver Ave SW Phone: 505-507-3408

Email: dizignx@gmail.com

Applicant/Owner: Abel Mata Contact: Abel Mata

Address: 142 40th St SW Phone: 505-261-9526

Email: abelsautoabq@gmail.com

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) 1 ☐ Single Family Home
☐ All other Developments

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☐ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☒ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

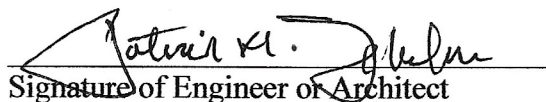
- ☐ Pad Certification
- ☐ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☒ Certificate of Occupancy - ☒ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12-27-24

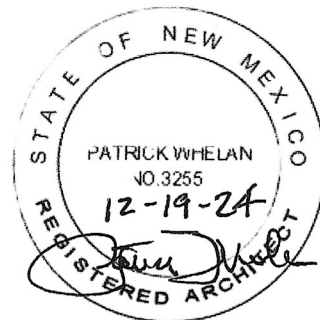
TRAFFIC CERTIFICATION

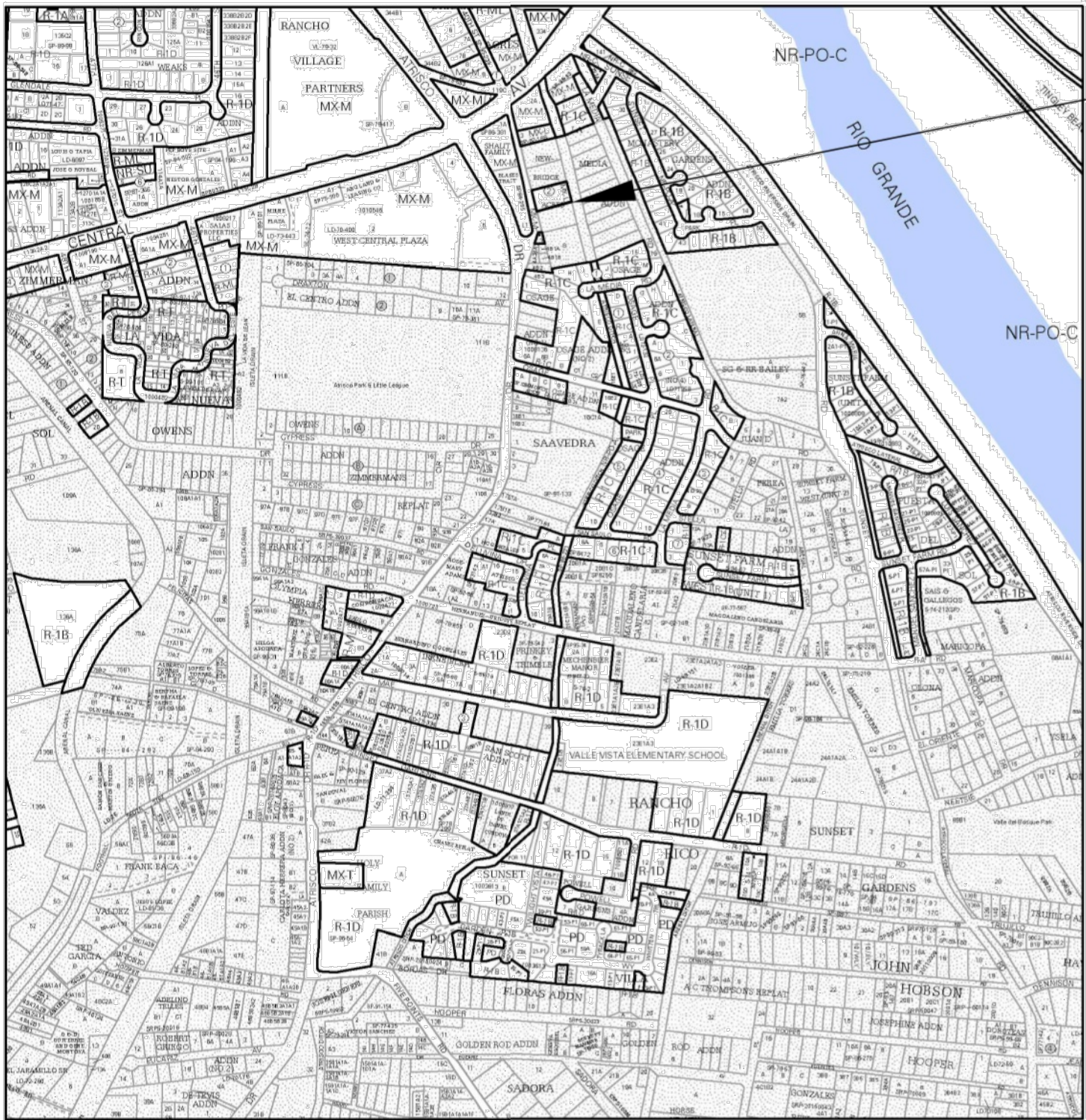
I, PATRICK WHELAN, NMRA NUMBER 3255, OF THE FIRM DIZIGNX, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/23/2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY XAVIER NUNO-WHELAN OF THE FIRM DIZIGNX. I FURTHER CERTIFY THAT XAVIER NUNO-WHELAN PERSONALLY VISITED THE PROJECT SITE ON 12-16-2024 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

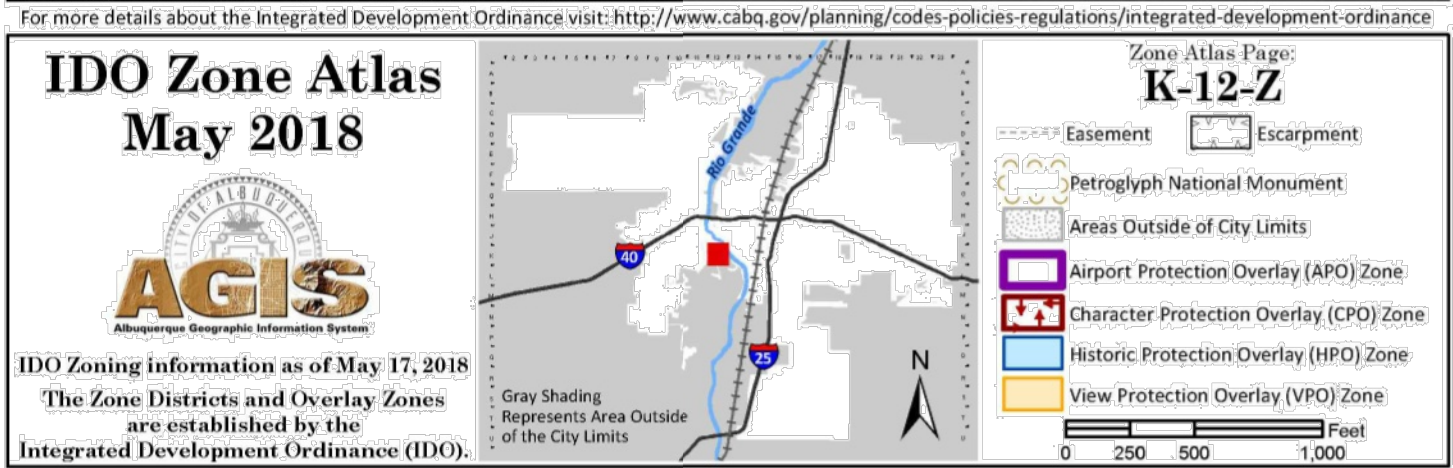

Signature of Engineer or Architect

12-19-24
Date





SITE LOCATION



TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Amijo 8/23/2023
Signed Date

CONSTRUCTION OF THE SIDEWALK AND CURB AND GUTTER WILL BE POSTPONED UNTIL THE ADJACENT SOUTH EAST PROPERTY BEGINS CONSTRUCTING THEIR SIDEWALK AND CURB AND GUTTER TO ENSURE PROPER ALIGNMENT.

PER EMAIL FROM MARWA G. AL-NAJJAR
WITH CABQ TRAFFIC ENGINEERING
DATED DEC 16, 2024

KEY NOTES

1. INSTALL NEW CONCRETE CURB & GUTTER, AS SHOWN, PER DPM STANDARDS. SEE DETAIL 5, AS-2 (TCL-2)
2. INSTALL NEW CONCRETE SIDEWALK, PER CABQ STD. DRAWING 2430
3. INSTALL NEW CONCRETE DRIVEWAY, PER DPM STANDARDS. CONTRACTOR TO COORDINATE ALL WATER METER WORK WITH CABQ WATER AUTHORITY.
4. HANDICAPPED ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH 2" STROKE, BLUE COLOR. 4" WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE, TYPICAL, INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE, SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND, SEE DETAIL 7, SHT. AS-2 (TCL-2)
5. NOT USED
6. INSTALL NEW 6'-0" BLACK WROUGHT IRON GATE AND FENCE.
7. INSTALL PARKING STRIPING AND DIRECTIONAL ARROWS AS SHOWN, PER DPM STANDARDS.
8. INSTALL NEW ASPHALT PAVING, FOR ENTIRE PARKING LOT, TYP.
9. INSTALL NEW DUMPSTER ENCLOSURE. SEE DETAIL 1 ON SHT. AS-2 (TCL-2)
10. EXISTING 6'-0" HIGH CMU WALL TO REMAIN ALONG NORTH SIDE OF PROPERTY.
11. NEW 6'-0" HIGH CMU WALL, ALONG EAST AND SOUTH SIDE OF PROPERTY.
12. MOTORCYCLE PARKING SPACE & SIGN PER DPM STANDARDS [Section 7-4(K)(3)], INCLUDE MOTORCYCLE PARKING SIGN PER ZONING CODE, SEE DETAIL 6, SHT AS-2 (TCL-2)
13. NEW BICYCLE RACKS PER DPM, SEE DETAIL 4, SHT. AS-2 (TCL-2)
14. 11'-0"x11'-0" CLEAR SIGHT TRIANGLE, SEE TCL NOTES, THIS SHEET.
15. 6'-0" WIDE ACCESSIBLE ACCESS PATH FROM PUBLIC SIDEWALK.
16. NEW 24'-0" DRIVEWAY PER CABQ STD. DRAWING 2420
17. ADA ACCESSIBLE RAMP NOT TO EXCEED 1:12 SLOPE FOR ACCESSIBLE ROUTE.
18. CONCRETE PAVING TO BE FLUSH WITH ASPHALT PAVING AT THESE LOCATIONS.
19. 3'-0" x 6'-0" MAN-GATE AT ACCESSIBLE ACCESS AISLE. GATE TO REMAIN UNLOCKED DURING BUSINESS HOURS.

PARKING CALCULATIONS

REQUIRED SPACES:
PER CABQ IDO 2022
LIGHT VEHICLE REPAIR = 1 SPACE PER 1000 S.F. 4,116/1000 = 4 SPACES REQUIRED
ACCESSIBLE PARKING SPACES REQUIRED = 1 (VAN ACCESSIBLE)
TOTAL SPACES REQUIRED: 4 INCLUDING 1 VAN ACCESSIBLE SPACE + 1 MOTORCYCLE AND 1 BICYCLE RACK PER IDO.

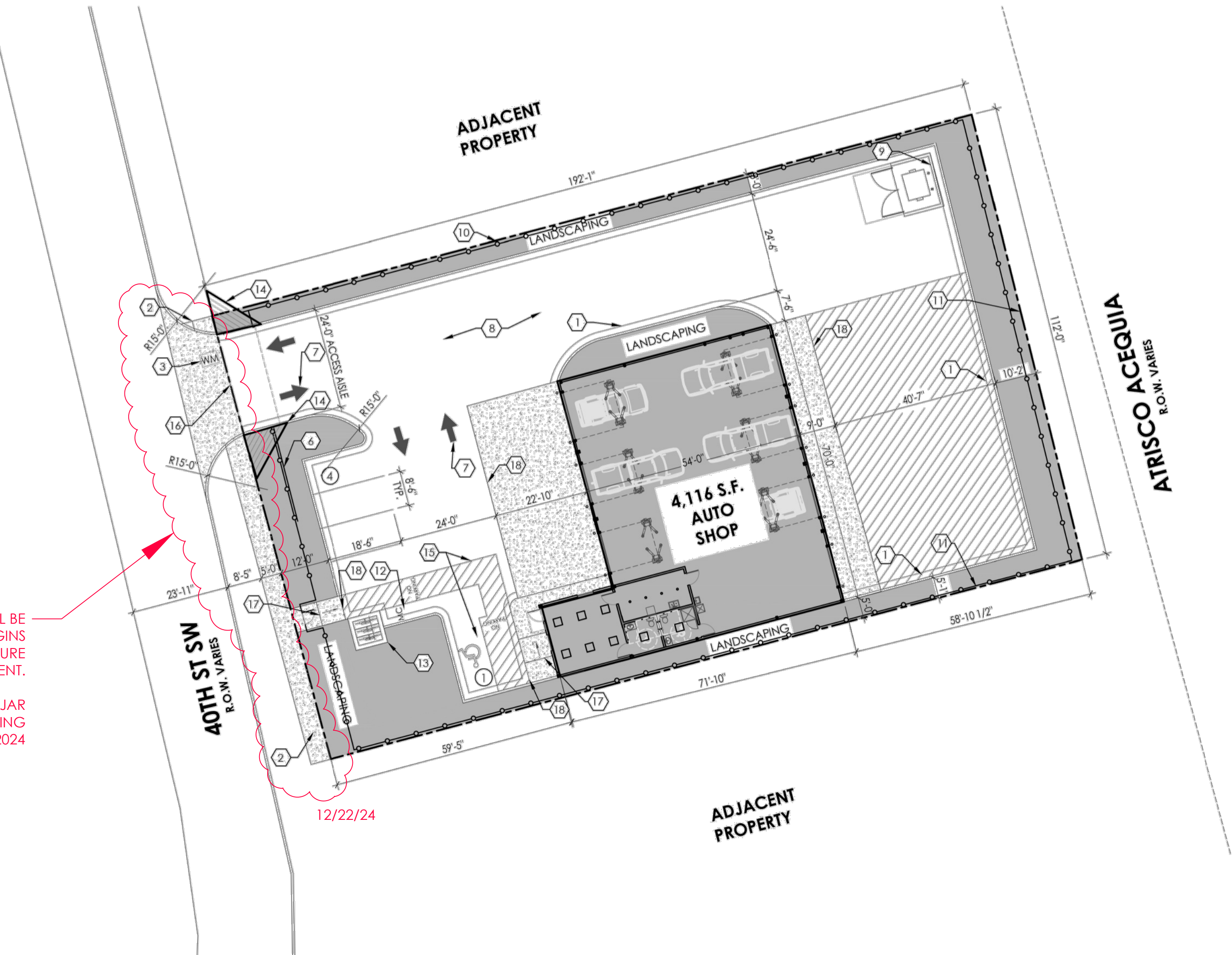
PARKING SPACES PROVIDED:
REGULAR PARKING SPACES = 4 SPACES PROVIDED
ACCESSIBLE PARKING SPACES = 1 SPACES PROVIDED
TOTAL SPACES PROVIDED = 5 SPACES PROVIDED INCLUDING 1 VAN ACCESSIBLE AND 1 MOTORCYCLE AND 3 BICYCLE RACKS PER IDO

GENERAL NOTES

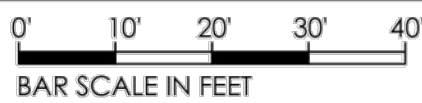
- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PREMISE IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- C. NO OIL CHANGES OR PROCESSING WILL BE DONE AT THIS LOCATION. THE AUTO SHOP IS FOR EXHAUST MAINTENANCE AND FABRICATION ONLY.
- D. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- E. RECYCLING WILL BE STORED BY OWNER INSIDE GARAGE, THERE WILL BE NO RECYCLING BIN ON PROPERTY.

TCL NOTES:

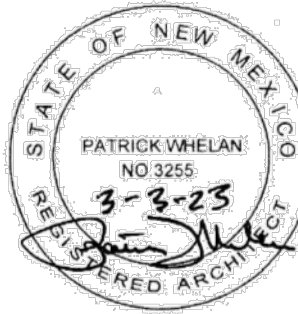
1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
3. REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE. THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY.



PROPOSED SITE PLAN
SCALE: 1"=20'



DIZIGN X



PROJECT TITLE:
MATA AUTO GARAGE
142 40TH STREET SW
ALBUQUERQUE, NM 87105

SHEET TITLE:
ARCHITECTURAL SITE PLAN

DATE: 03/03/2023

SHEET NUMBER:

TCL-1