

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

April 9, 2020

Shawn Biazar  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct. NW  
Albuquerque, NM 87114

**RE: 142 40<sup>th</sup> Street SW**  
**Revised Grading & Drainage Plan**  
**Engineer's Stamp Date: 04/06/20**  
**Hydrology File: K12D037**

Dear Mr. Biazar:

Based upon the information provided in your resubmittal received 04/08/2020, the Revised Grading & Drainage Plan is approved for Building Permit and Grading Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

Also as a reminder, please provide a Drainage Covenant for the proposed retention pond per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 142 40th Street, SW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** K12D037  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 6, Block 2, New Bridge Acres  
**City Address:** 142 40th Street, SW

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR  
**Address:** 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
**Phone#:** (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☒ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 4-7-2020 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# *SBS CONSTRUCTION AND ENGINEERING, LLC*

April 6<sup>th</sup>, 2020

Mrs. Re'ene C. Brissette, PE CFM  
Senior Engineer, Planning Dept.  
Development Review Services  
City of Albuquerque Planning Department  
PO Box 1293, 600 Second Street, NW  
Albuquerque, NM 87103

RE: 142 40<sup>th</sup> Street, SW Apart. Building Grading Plan, Hydrology File# K12D037

Dear Mrs. Brissette;

Attached please find a copy of the revised grading plan for the above referenced site. The grading plan has been modified as per your comments. The answer to the corrections are as follows:

- 1) The addition \$160.00 review amount will be paid by this submittal.
- 2) The topography survey has been added to grading plan. The bench mark information is under General Notes #2.
- 3) The existing structure was an old abandon building encroaching into this property. That building has been demolished and removed.
- 4) The grading plan has been cleaned up. The extra items have been remove, the hatched area are labeled.
- 5) The calculation has been revised and the entire volume would be kept onsite. The volume in addition to 45% have provided in ponding.  
The 100 year-10 day stormwater surface elevation is 4953.25 and the finished floor elevation is 4956.00 (pad elevation =4955.66).  
The flow between front and backyard will not be obstructed. The ponds are both same elevation and connected with 2-4" pipe to be equal in level of water. The pond along back of the building is removed as well.  
The flow line elevation at street are 4953.54 and 4953.56. This is based on the existing road elevations. We really cannot change the grade on the existing road, however, the 100 year-10 day water surface elevation is 5953.25 which is very close to requested 4" (.33'). There is only 0.02' to .04' difference.
- 6) We have modified the calculation based on the comment #5.

7) No water will be discharged into 40<sup>th</sup> Street and the sidewalk culvert and SO-19 was removed.

8) The section for the ponds with water surface elevation is provided. The retaining walls will be L footing to not encroach in any adjacent properties.

9) The retaining walls will be L footing and will not be encroaching into any adjacent property.

10) The total are disturbed will be less than 1.00 acre.

11) The \$310.00 fee will be paid with this resubmittal.

If you require additional information regarding this project, please do not hesitate to contact me at (505) 804-5013.

Sincerely,

A handwritten signature in cursive script that reads "Shawn Biazar".

Shawn Biazar, Managing Member

**Location**  
Lot 6, Block 2, Bridge Acre, is located at 142 40th Street, SW containing 0.4928 acre. See attached portion of Vicinity Map K-12-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvement for Lot 6, Block 2, Bridge Acre.

**Existing Drainage Conditions**  
This lot is very flat and drains east to west into 40th Street, SW and no other offsite flows enters this site. There were several existing structures and concrete pads that has been removed from the site including an existing house.

**Proposed Conditions and On-Site Drainage Management Plan**  
A new block wall is proposed for this site along the property line. As per your comment, We are proposing to retain all the developed flow on site. This flow is based on 100 year, 10 day Storm. The total volume required under this condition 5770 CF. We are proposing some parking lot ponding and two ponds. The total volume provided is 6367.37 CF witch includes the first flush volume requirement of 381.33 CF.

**GENERAL NOTES:**

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 27\_K12, HAVING AN ELEVATION OF 4952.964, FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.
- 6: ADD 4900 TO ALL PROPOSED SPOT ELEVATIONS.

**KEYED NOTES:**

1. PROVIDE 12" CURB OPENING.
2. PROPOSED 4" STORM DRAIN PIPE, SDR 35 OR SCHEDULE 40.
3. PROVIDE GARDEN WALL AT PROPERTY LINE.

**VOLUME CALCULATIONS FOR 10 DAY STORM**  
(UNDER ALLOWABLE CONDITIONS)

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	21464.44	0.4928	0.007375

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

$$V-360 = E(AA + AB + AC + AD)$$

EA = 0.53  
EB = 0.78  
EC = 1.13  
ED = 2.12

AA = 0.00%  
AB = 28.00%  
AC = 27.00%  
AD = 45.00%

P-60 = 2.01  
P-360 = 2.35  
P-1440 = 2.75  
P-10 Day = 3.95

E = 1.4775 IN  
V-360 = 0.0607 AC-FT  
AD = 0.2217 AC  
V-10 DAY = 0.0902 AC-FT  
V-10 DAY = 3.930.68 CF

$$V(\text{REQUIRED}) = V(\text{PROPOSED}) - V(\text{ALLOWABLE}) = 5,770.00 - 3,930.68 = 1,839.32 \text{ CF}$$

**POND VOLUME PROVIDED IS BASED ON TOTAL RETENTION OF 5,770.00 CF UNDER PROPOSED CONDITIONS**

**VOLUME CALCULATIONS FOR 10 DAY STORM**  
(UNDER PROPOSED CONDITIONS)

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	21464.44	0.4928	0.004359

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

$$V-360 = E(AA + AB + AC + AD)$$

EA = 0.53  
EB = 0.78  
EC = 1.13  
ED = 2.12

AA = 0.00%  
AB = 08.00%  
AC = 10.00%  
AD = 82.00%

P-60 = 2.01  
P-360 = 2.35  
P-1440 = 2.75  
P-10 Day = 3.95

E = 1.9138 IN  
V-360 = 0.0786 AC-FT  
AD = 0.4041 AC  
V-10 DAY = 0.1325 AC-FT  
V-10 DAY = 5,770.00 CF

**PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)**

$$\text{VOLUME REQUIRED} = 0.34 \text{ INCHES} \times \text{IMPERVIOUS AREA} = (0.34/12 \times 17,600.00) = 381.33 \text{ CF}$$

**PONDING VOLUME CALCULATION**  
TOP OF POND AT 4953.25  
BOTTOM OF POND AT 4951.25

TOTAL POND AREA PROVIDED =  
PONDING CALCULATIONS:

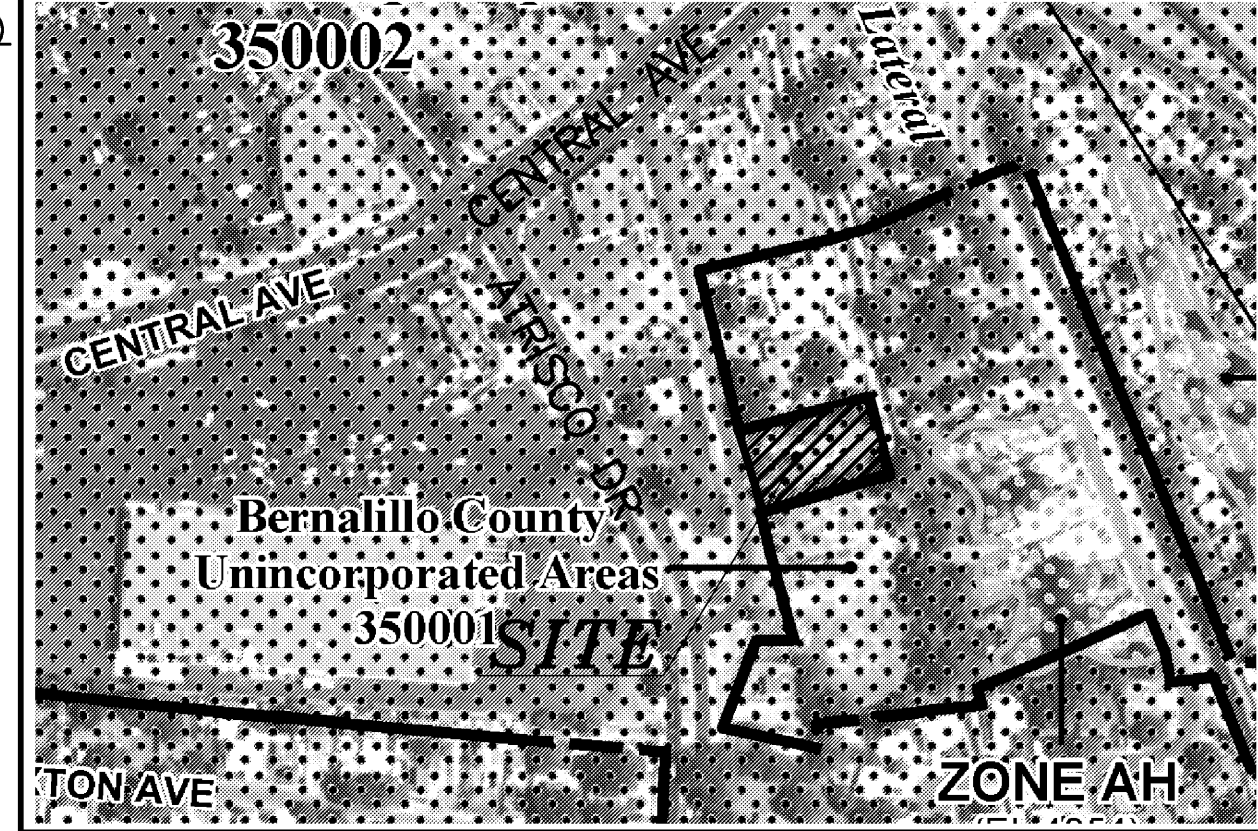
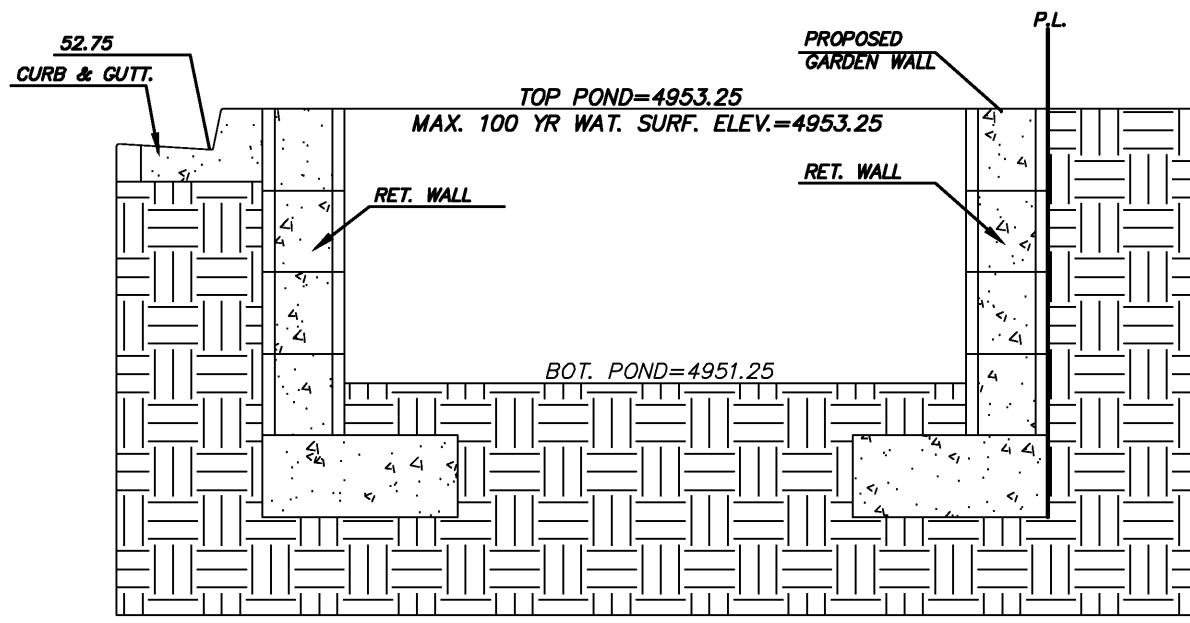
POND A:  
BOTTOM AREA=1,094.53 SF, DEPTH=2.00'  
POND VOLUME=2,189.06 CF

POND B:  
BOTTOM AREA=907.54 SF, DEPTH=2.00'  
POND VOLUME=1,815.08 CF

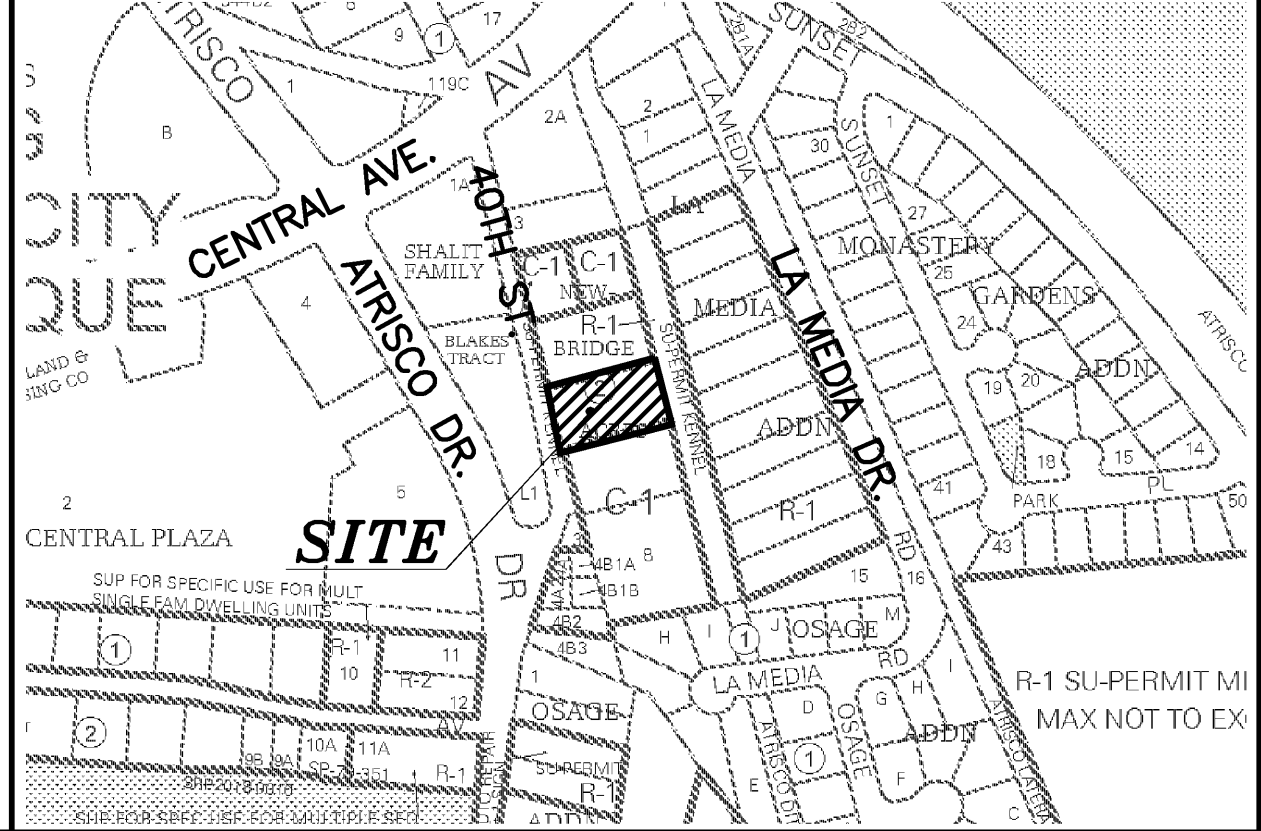
PAVED SURFACE PONDING:  
SURFACE AREA @ 4952.75 = 2,002.07 SF  
SURFACE AREA @ 4953.00 = 4,638.83 SF  
SURFACE AREA @ 4953.25 = 7,626.12 SF

$$\text{PAVED SURFACE AREA PONDING VOL.} = 2,363.23 \text{ CF}$$

$$\text{TOTAL PONDING VOLUME PROVIDED} = 2,189.06 + 1,815.08 + 2,363.23 = 6,367.37 \text{ CF} > 5,770.00$$



FIRM MAP: 35001C0333H



VICINITY MAP: K-12-Z

**LEGAL DESCRIPTION:**

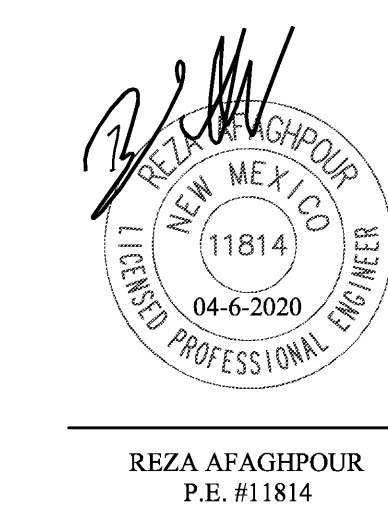
LOT 6, BLOCK 2, NEW BRIDGE ACRES  
CONTAINING 0.4928 ACRE (21,464.44 SF)

**NOTICE TO CONTRACTORS**

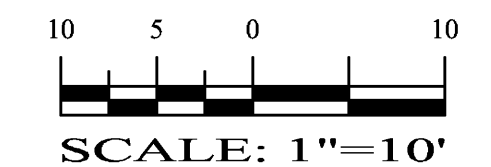
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**LEGEND**

- 5030— EXISTING CONTOUR (MAJOR)
- 5029— EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 42.70 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION
- FL
- PROPOSED RETAINING WALL
- BC=41.30 BOTTOM OF CHANEL
- TF=42.00 TOP OF FOOTING
- TRW=45.12 TOP OF RETAINING WALL
- HP HIGH POINT
- 42.40 AS-BUILT GRADES
- 69.77 AS-BUILT SPOT ELEVATIONS
- FF=5142.30 FP=5142.25



**GRAPHIC SCALE**



**SBS CONSTRUCTION AND ENGINEERING, LLC**

10209 SNOWFLAKE CT, NW  
ALBUQUERQUE, NEW MEXICO 871114  
(505)804-5013

**142 40TH STREET, SW  
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201926-GD.DWG	SBB	02-21-2020	1 OF 1

LAST REVISION: 10-22-16