

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 4, 2024

Shawn Biazar  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct. NW  
Albuquerque, NM 87114

**RE: 144 40<sup>th</sup> St SW**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date: 05/15/24**  
**Hydrology File: K12D038**

Dear Mr. Biazar:

Based upon the information provided in your submittal received 05/29/2024, the Grading & Drainage Plan is approved for **only SO-19 Permit** for the work within 40<sup>th</sup> Street Right-of-Way. Since the majority of the construction is outside the City of Albuquerque's jurisdiction, only work within the right-of-way is considered with this approval.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:**      Plat (# of lots) \_\_\_\_\_      Single Family Home  
All other Developments

RE-SUBMITTAL:      YES      NO

**DEPARTMENT:**      TRANSPORTATION      HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy -      Temp      Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_

**Location**  
LOT 8-A, BLOCK 2, NEW BIDGE ACRES ADDITION, is located at 144 40th Street, SW, containing 1.4668 acre. See attached portion of Vicinity Map K-12-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for new 26 Unit apartments on this parcel.

**Existing Drainage Conditions**  
This lot is very flat and drains east to west to 40th Street, SW. No offsite runoff enters this site.

**Proposed Conditions and On-Site Drainage Management Plan**  
The draiage patterns will remain the same. The additional runoff volume generated by the construction of the apartmentd will be retained on site. We have provided several ponds on this site. The total volume requirement under proposed conditions is 12,805.69 CF . The retetion pond provided has a volume of 16,468.93 CF.

VOLUME CALCULATIONS FOR 10 DAY STORM

BASIN	AREA (SF)	AREA (AC)	AREA (MT <sup>2</sup> )
ON-SITE	63,895.00	1.4668	0.002282

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

$$V-360 = E (AA + AB + AC + AD)$$

EA = 0.55  
EB = 0.73  
EC = 0.95  
ED = 2.24

P-60 = 1.69  
P-360 = 2.17  
P-1440 = 2.49  
P-10 Day = 3.90

EXISTING CONDITIONS

AA = 95.00%  
AB = 00.00%  
AC = 00.00%  
AD = 05.00%

E = 0.6535 IN  
V-360 = 0.0799 AC-FT  
AD = 0.0733 AC  
V-10 DAY = 0.0905 AC-FT  
V-10 DAY= 3,940.19 CF

PROPOSED CONDITIONS

AA = 0.00%  
AB = 18.00%  
AC = 08.00%  
AD = 74.00%

E = 1.8650 IN  
V-360 = 0.2280 AC-FT  
AD = 1.0855 AC  
V-10 DAY = 0.3845 AC-FT  
V-10 DAY= 16,748.88.79 CF

$$V \text{ (REQUIRED)} = 16,746.88 - 3,940.19 = 12,805.69 \text{ CF}$$

POND VOLUME REQUIRED FOR FIRST FLUSH

0.62 INCHES x IMPERVIOUS AREA = (0.62/12 x 47123.45) = 2,434.71 CF  
THIS VOLUME IS PART OF THE PONDING PROVIDED.

POND VOLUME CALCULATIONS

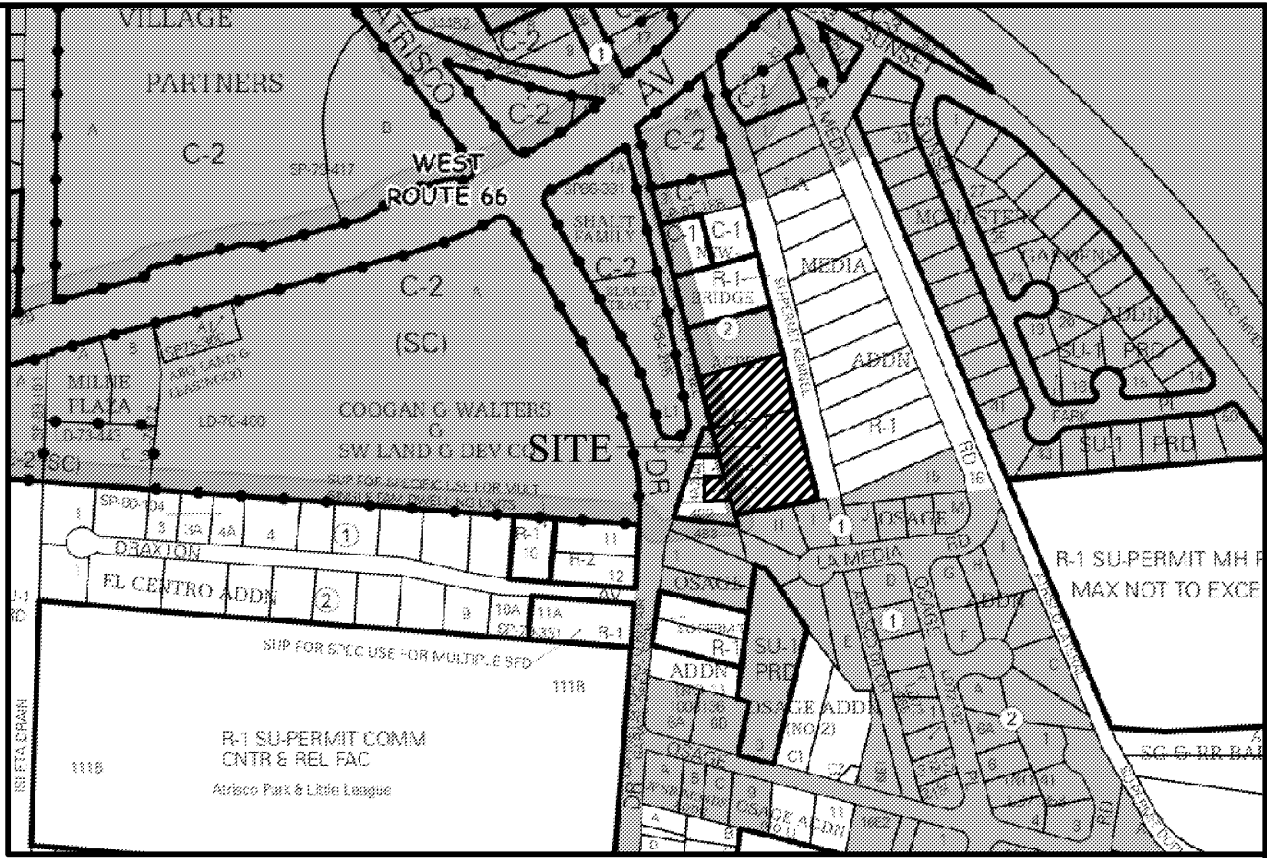
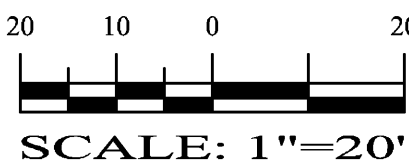
POND NO.	TOP AREA	BOT. AREA	DEPT	VOLUME PROVIDE
A	3147.32	1196.42	3.00'	6515.61 CF
B	1000.65	294.17	2.00'	1294.82 CF
C	1604.22	770.53	2.00'	2374.75 CF
D	691.32	375.51	1.00'	533.415 CF
E	3076.46	1632.66	2.00'	4709.09 CF
F	862.76	862.76	0.50'	431.38 CF
G	937.00	937.00	0.50'	468.50 CF
TOTAL VOL. PROVIDED				16468.93 CF

**Private Drainage Facilities within City Right-of-Way Notice to Contractor**  
(Special Order 19 ~ "SO-19")  
1. Build sidewalk culvert per COA STD DWG 2236.  
2. Contact Storm Maintenance at (505) 857-8033 to schedule a meeting prior to forming.  
3. An excavation permit will be required before beginning any work within City Right-Of-Way.  
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.  
5. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.  
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.  
7. Backfill compaction shall be according to traffic/street use.  
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.  
9. Work on arterial streets may be required on a 24-hour basis.  
10. Contractor must contact Storm Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

KEYED NOTES:

- PROVIDE 2" CURB OEPNING.
- INSTALL 6" STROM DRAIN PIPE.
- INSTALL 2-4" STORM DRAIN PIPE.
- INSTALL 1-4" STORM DRAIN PIPE.
- INSTALL CURB DRAIN PER C.O.A. STD DWG 2235.

GRAPHIC SCALE



VICINITY MAP: K-12-Z

LEGAL DESCRIPTION:

LOT 8-A, BLOCK 2, NEW BIDGE ACRES ADDITION  
CONTAINING 1.4668 ACRES (63,895.00 SF)  
ADDRESS: 144 40TH STREET, SW

EXISTING CONDITIONS

THE ENGINEER HAS PERSONALLY INSPECTED THE LAND, AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED THEREON SINCE THE EXISTING CONTOUR MAP WAS PREPARED.

*[Signature]*

05/15/2024

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5030 EXISTING CONTOUR (MAJOR)
- 5029 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 42.70 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION
- PROPOSED RETAINING WALL
- BC=41.30 BOTTOM OF CHANEL
- TF=42.00 TOP OF FOOTING
- TRW=45.12 TOP OF RETAINING WALL
- HP HIGH POINT
- 42.40 AS-BUILT GRADES
- 69.77 AS-BUILT SPOT ELEVATIONS



SBS CONSTRUCTION AND ENGINEERING, LLC

7632 WILLIAM MOYERS AVE., NE  
ALBUQUERQUE, NEW MEXICO 87122  
(505) 804-5013  
EMAIL: AECLLC@AOL.COM

144 40TH STREET, SW, APARTMETS GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
202307-GD.DWG	SH-B	8-15-2022	1