

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 13, 2024

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 1707 Powell Rd SW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 03/06/24**  
**Hydrology File: K12D039**

Dear Mr. Soule:

Based upon the information provided in your submittal received 03/06/2024, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. **Since this site appears to need little grading, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide an Elevation Certificate using the latest form from FEMA. Please note that this was updated last year.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
EXISTING	9637.00	0.221	0%	0	100%	0.221	0%	0	0.000		0.800	0.015	0.52
Proposed	9637.00	0.221	0%	0	39%	0.086	29%	0.0642	32%	0.071	1.356	0.025	0.71

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

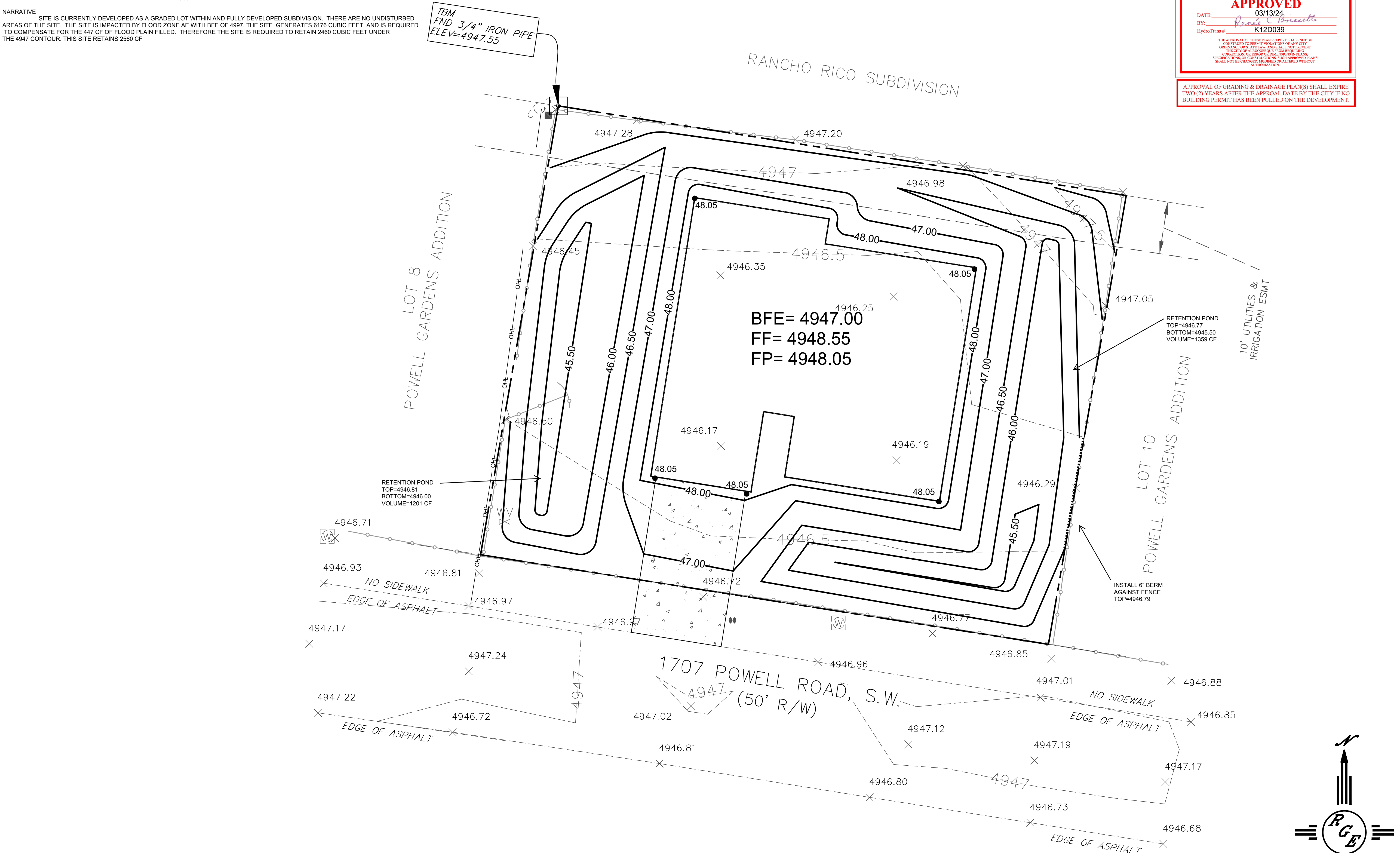
Flow = Qa \* As + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm  
Ea= 0.62  
Eb= 2.36  
Ec= 1.03  
Ed= 2.33  
Qa= 1.71  
Qb= 2.36  
Qc= 3.05  
Qd= 4.34

Developed Conditions

PONDING REQUIRED FOR DEV	ac-ft	447 c.f.
COMPENSATORY VOLUME (FILL BELOW 4997)		2013 CF
TOTAL PONDING REQUIRED		2460
PONDING PROVIDED		2560

NARRATIVE SITE IS CURRENTLY DEVELOPED AS A GRADED LOT WITHIN AND FULLY DEVELOPED SUBDIVISION. THERE ARE NO UNDISTURBED AREAS OF THE SITE. THE SITE IS IMPACTED BY FLOOD ZONE AE WITH BFE OF 4997. THE SITE GENERATES 6176 CUBIC FEET AND IS REQUIRED TO COMPENSATE FOR THE 447 CF OF FLOOD PLAIN FILLED. THEREFORE THE SITE IS REQUIRED TO RETAIN 2460 CUBIC FEET UNDER THE 4947 CONTOUR. THIS SITE RETAINS 2560 CF

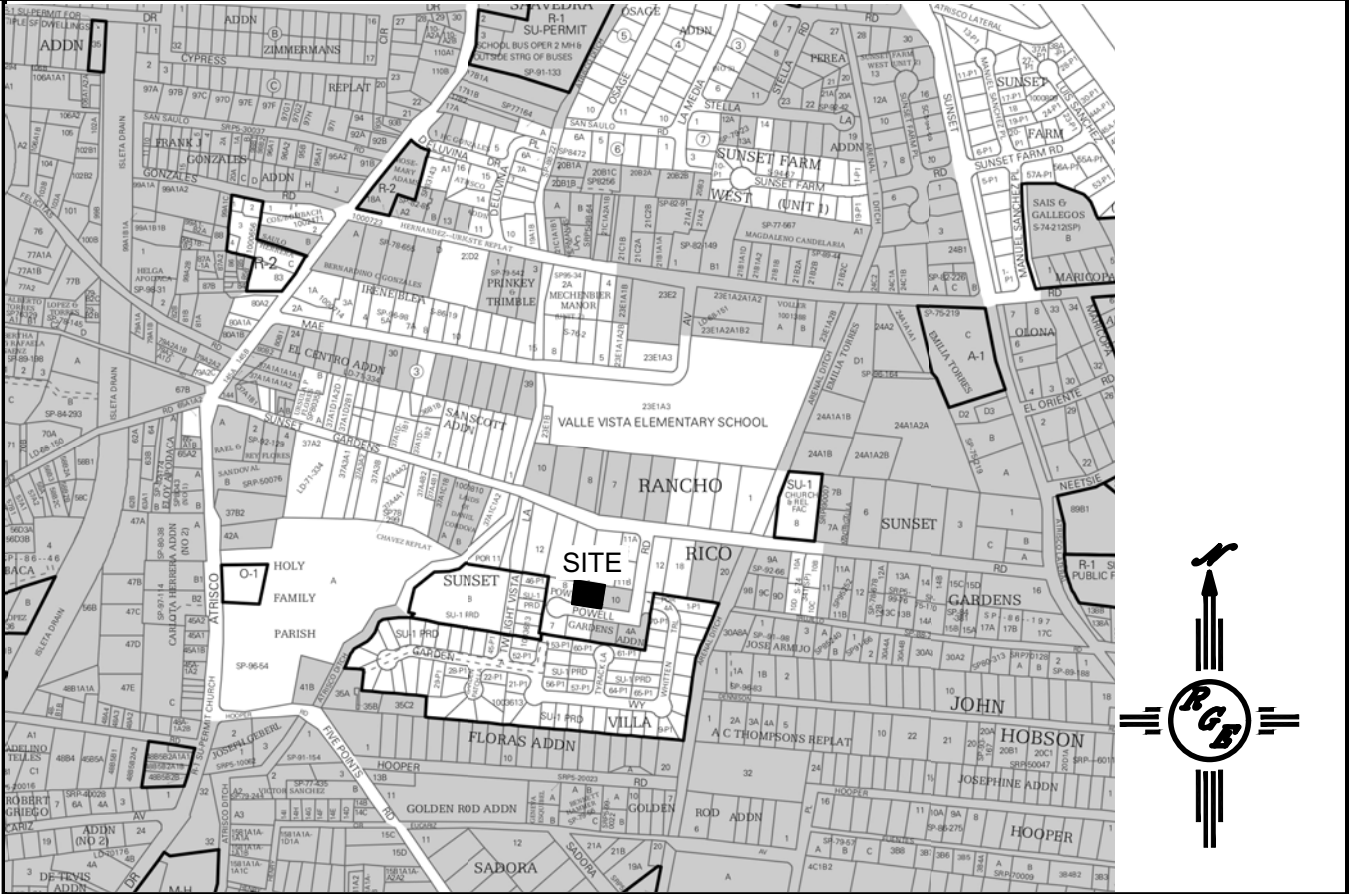


CAUTION:

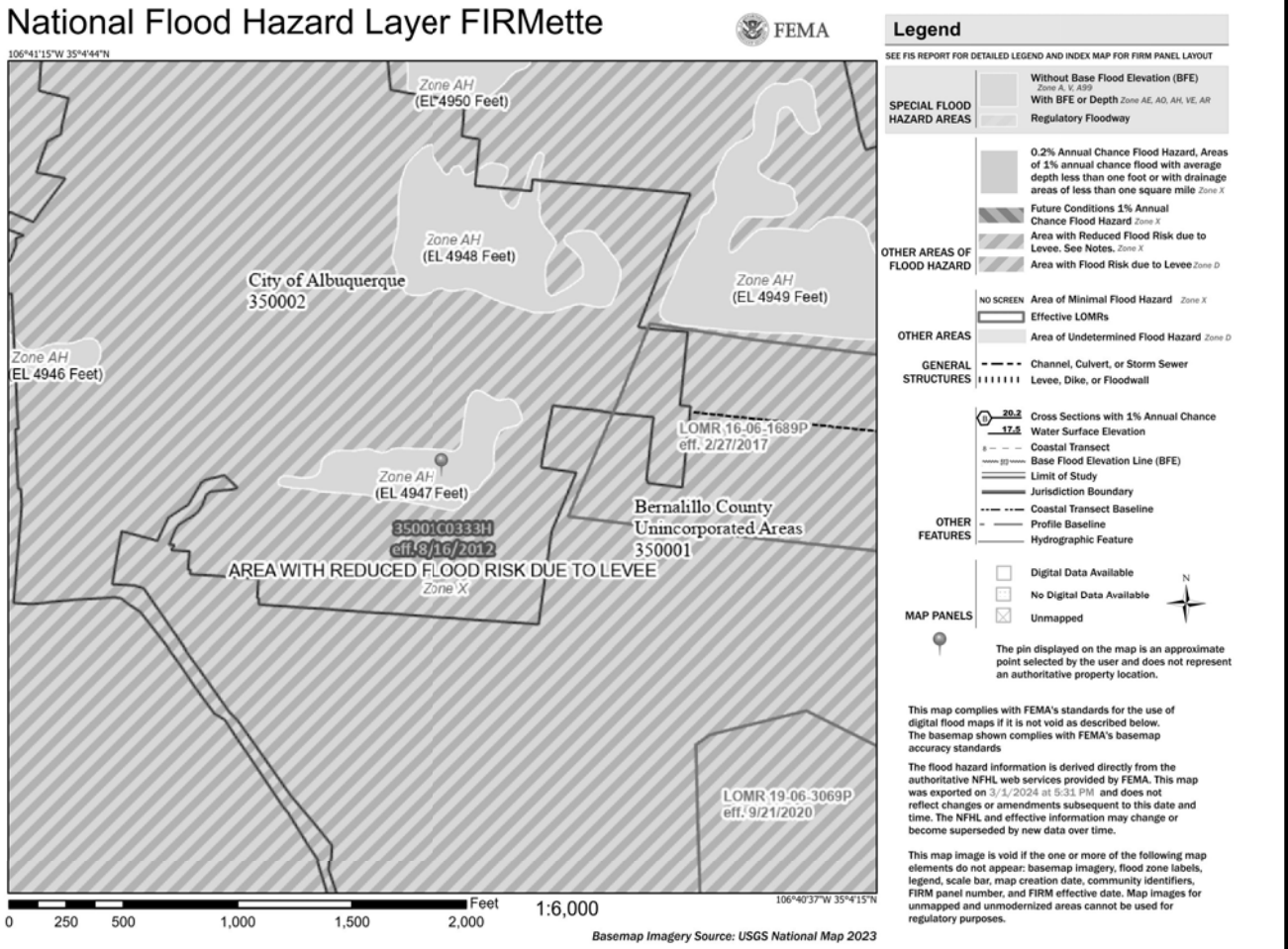
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:

LEGAL DESCRIPTION:

LOT 9 POWELL GARDENS ADDITION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
• XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----	PROPOSED EARTHEN SWALE
-----	PROPOSED RETAINING WALL
-----	PROPOSED GRAVEL
-----	PROPOSED CONCRETE
-----	PROPOSED 2' WIDE COBBLE SWALE

ENGINEER'S SEAL	LOT 9 POWELL GARDENS ADDITION 1707 POWELL ROAD	DRAWN BY DEM
DAVID SOULE REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 3-3-24
3/6/24	Rio Grande Engineering P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	1707 POWEL RD.DWG
		SHEET # C1
		JOB #