

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 4, 2024

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: 2937 Osage Ave. SW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 03/29/24**  
**Hydrology File: K12D040**

Dear Ms. McDowell:

Based upon the information provided in your submittal received 03/29/2024, the Grading and Drainage Plan is approved for Building Permit and Grading Permit. **Since this site is relatively flat, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** ANDRADE ALFREDO **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LT 6-A PLAT OF LTS 6-A & 6-B OSAGE ADDN  
**City Address:** 2937 Osage Ave. SW, Albuquerque, NM 87105

**Applicant:** MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL  
**Address:** 7820 BEVERLY HILLS AVE. NE, ALBUQUERQUE, NM 87122  
**Phone#:** 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net

**Other Contact:** ANDRADE ALFREDO **Contact:** ANDRADE ALFREDO  
**Address:** 784 JACONITA PL SW ALBUQUERQUE NM 87121-5448  
**Phone#:** 505-610-5361 **Fax#:** \_\_\_\_\_ **E-mail:** covenant575@gmail.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

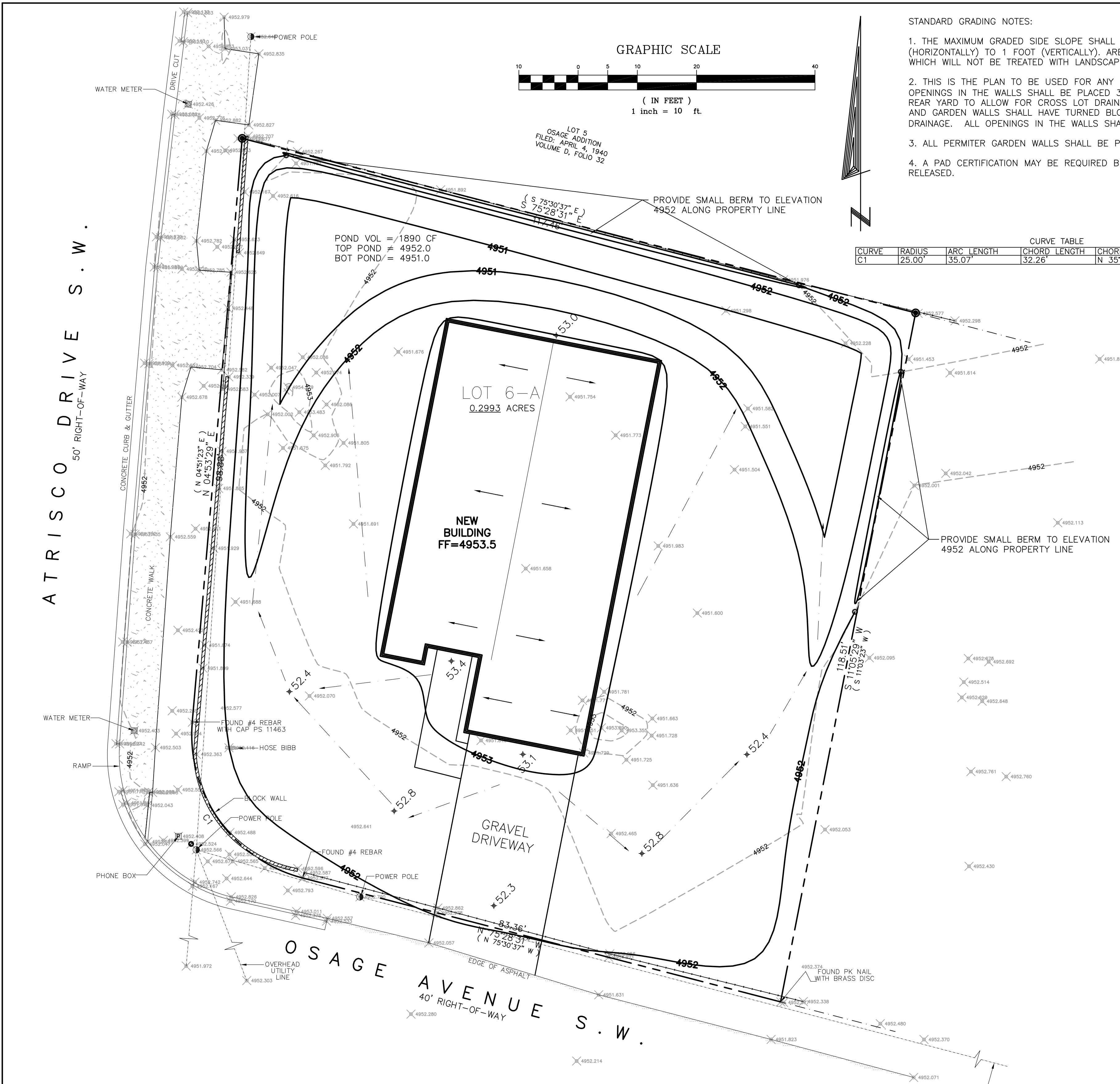
**DATE SUBMITTED:** 3-29-24 **By:** JACKIE MCDOWELL

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





- STANDARD GRADING NOTES:
1. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEEDDED.
  2. THIS IS THE PLAN TO BE USED FOR ANY GARDEN WALLS AND ANY OPENINGS IN THE WALLS SHALL BE PLACED 3" ABOVE FINAL GRADE IN THE REAR YARD TO ALLOW FOR CROSS LOT DRAINAGE. PROPERTY LINE WALLS AND GARDEN WALLS SHALL HAVE TURNED BLOCKS OR WEEP HOLES FOR DRAINAGE. ALL OPENINGS IN THE WALLS SHALL BE 3" ABOVE GRADE.
  3. ALL PERMITER GARDEN WALLS SHALL BE PERMITTED SEPARATELY.
  4. A PAD CERTIFICATION MAY BE REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED.

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	35.07'	32.26'	N 35°17'31" W	80°22'00"

- SURVEY GENERAL NOTES:
1. CONTOUR INTERVAL IS ONE (1) FOOT.
  2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "27-K12", HAVING AN ELEVATION OF 4952.964, NAVD 1988.
  3. UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  4. THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.

**DRAINAGE PLAN**

**SCOPE:**

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

**EXISTING CONDITIONS:**

Presently, the 0.30 acre site is undeveloped. The site is bounded on the north, and east by private property, on the west by Atrisco Drive, and on the south by Osage Avenue SW. The site is level. As shown on FEMA Panel #333H, the site is not located in a 100 year flood plain.

**PROPOSED CONDITIONS:**

The proposed building is shown on the plan with the required drainage pond. As shown by the plan, the building is located in the center of the lot. Negligible off-site flows enter the site. On site flows will drain around the structure to the surrounding yard area to the north pond. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

**CALCULATIONS:**

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

**PROPERTY ADDRESS:**

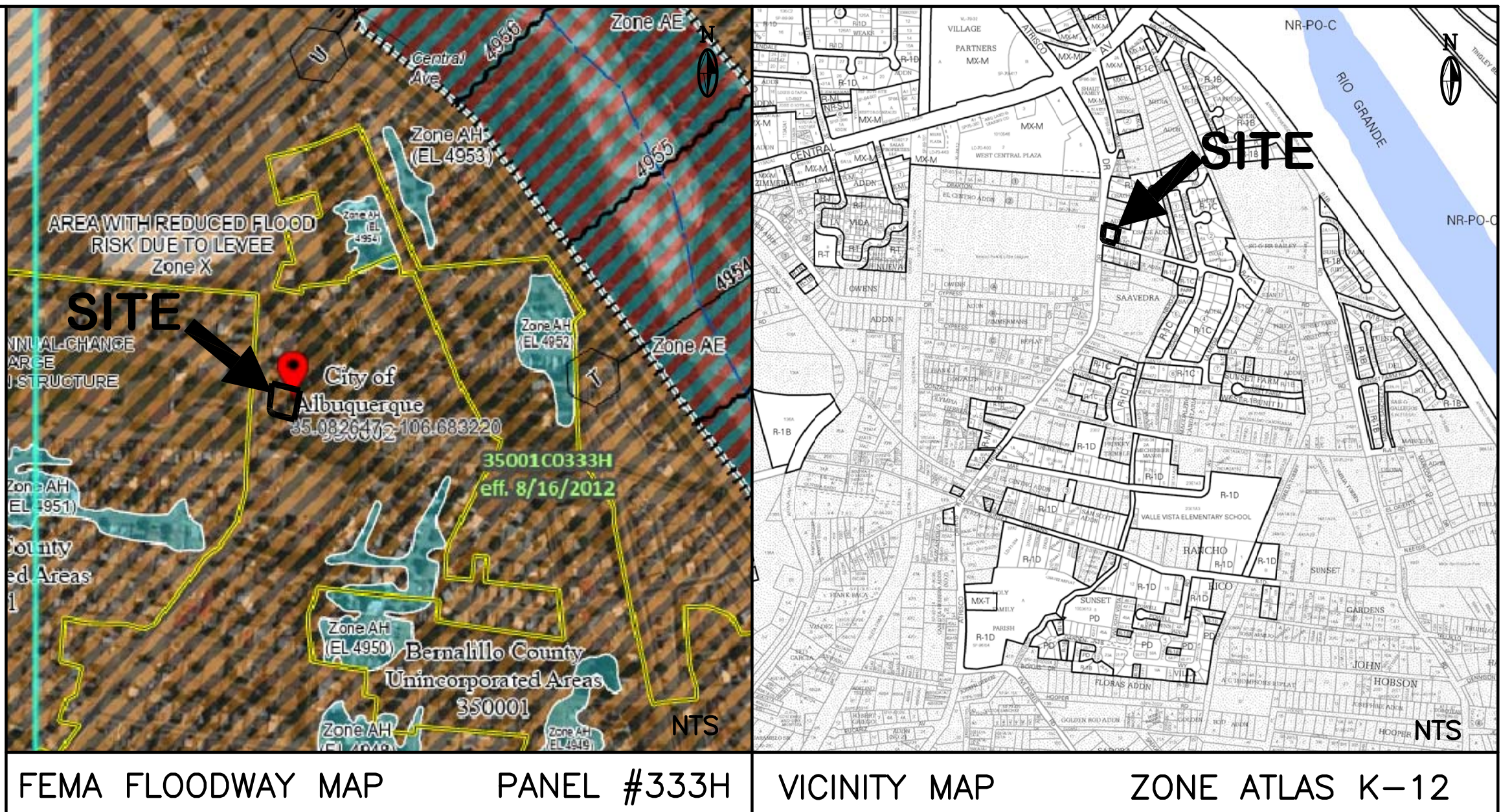
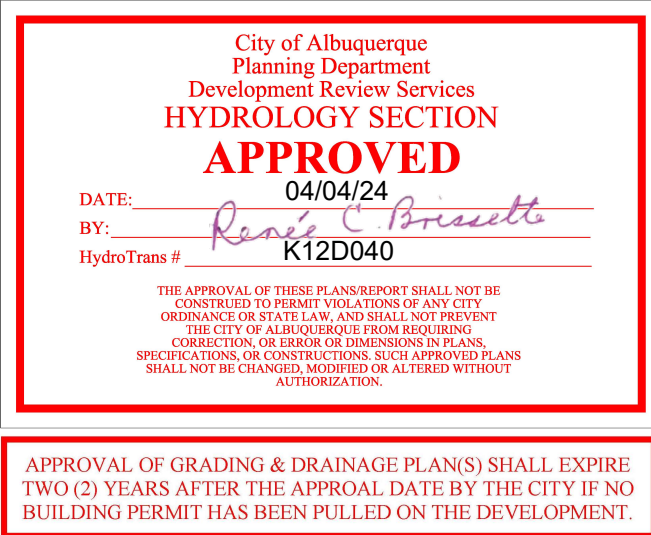
2937 Osage Ave. SW, Albuquerque, NM 87105

**TOPOGRAPHY:**

Topographic information provided by Anthony Harris dated February, 2024.

ZONE 1						
Areas: (acres)	Existing	Proposed	POND VOLUME PROVIDED:			
Treatment A	0.30	0.00	ELEV.	AREA (SF)	VOL. (CF)	
Treatment B	0.00	0.06	4952	2757	1890	
Treatment C	0.00	0.19	4951	1023		
Treatment D	0.00	0.05				
Total (acres) =	0.30	0.30				
Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.011	0.027	0.002	0.013	0.000	0.005
Volume (cubic feet) =	479	1,186	87	576	0	216
POND VOLUME REQUIRED = 1453 CF (10 day)						
Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.39	0.00	0.07	0.00	0.00	0.00
Treatment B	0.00	0.12	0.00	0.05	0.00	0.00
Treatment C	0.00	0.55	0.00	0.28	0.00	0.09
Treatment D	0.00	0.22	0.00	0.14	0.00	0.08
Total Q (cfs) =	0.39	0.89	0.07	0.47	0.00	0.18
√ (10 day) = V (360) + A (D) * (P10day-P360)/12 in/ft = 0.0334 ac-ft						
= 1453 cu-ft						

- GENERAL DRAINAGE PLAN NOTES:**
1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
  2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
  3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
  4. This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
  5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
  6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
  7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
  8. All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
  9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
  10. Contactor shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
  11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.



	LEGEND	
	EXISTING	PROPOSED
CONTOUR	--- 6045 ---	--- 6045 ---
PROPERTY LINE	---	---
ROAD	---	---
SETBACK	---	---
RETAINING WALL/WALL	---	---
SPOT ELEVATION	✕ 4952.761	✕ 4952.761

Jackie S. McDowell  
Professional Engineer  
3-29-24

**ENGINEER'S CERTIFICATION:**

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on March 20, 2024 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

2937 Osage Ave. SW, Albuquerque, NM 87105  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO.

**LOT 6-A  
OSAGE ADDITION**

ANDRADE, ALFREDO - G & D PLAN

**McDowell Engineering, Inc.**  
7820 BEVERLY HILLS AVE. NE ALBUQUERQUE, NM 87122  
TELE: 505-828-2430

Designed JSM Drawn STAFF Checked JSM Sheet of  
File AND0124L Date MARCH, 2024 1 1