

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

February 23, 2017

David Aube, P.E.  
Design Group  
120 Vassar SE, Suite 100  
Albuquerque, NM, 87106

RE: **GAHP Silver Downtown**  
**800 Silver SW**  
**Grading Plan Engineer's Stamp Date: 2/21/2017**  
**Hydrology File: K13D013**

Dear Mr. Aube:

Based upon the information provided in your submittal received 2/22/17, the Grading Plan is approved for Building Permit.

It is Hydrology's understanding that the roof drain into the back of the catch basin on Silver will be included with the mini work order and no separate SO-19 permit will be required. If you have any questions, contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: GAHP Sterling Building Permit #: \_\_\_\_\_ Hydrology File #: K-137 D13  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: 800 Silver SW. Now being platted  
 City Address: 800 Silver SW.

Applicant: The Design Group Contact: Dave Aube  
 Address: 120 Vassar Street SE  
 Phone#: 505 998 6430 Fax#: 505 242-6881 E-mail: daube@designgroupnm.com  
 Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) \_\_\_\_\_
- PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

IS THIS A RESUBMITTAL?:  Yes  No

OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 2-22-17 By: Dave Aube

COA STAFF: \_\_\_\_\_

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

February 21, 2017

David Aube, P.E.  
Design Group  
120 Vassar SE, Suite 100  
Albuquerque, NM, 87106

RE: **GAHP Silver Downtown**  
**800 Silver SW**  
**Grading Plan Engineer's Stamp Date: 1/30/2017**  
**Hydrology File: K13D013**

Dear Mr. Aube:

Based upon the information provided in your submittal received 2/10/17, the Grading Plan is not approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

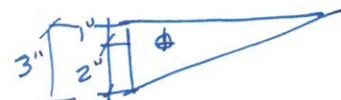
New Mexico 87103

www.cabq.gov

1. The drainage sheets still state conceptual and do not appear to be part of the construction plans. Remove conceptual references to include as part of the submittal.  
*References to conceptual removed.*
2. The SO-19 notes need to be included in construction set, either C101 or C201. Reference standard drawing 2235 and include standard SO-19 notice language.  
*The SO-19 is called out. Ref to ppe thru curb not applicable.*
3. There is a reference to a constrictor plate for the draining the parking lot to the ally, but none is shown on the construction plans. Provide location and details for this.  
*Constrictor plate no longer used. Setting curb height to limit ponding.*
4. It was agreed during the review for SPBP that the wide buffer between the back of curb and the edge of sidewalk would be used to help mitigate nuisance ponding on Silver and 9<sup>th</sup> Street, by including new curb cuts on the ex. curb. This would help the site achieve the capture of the first flush volume. It needs to be shown on the plan.  
*No longer possible due to fire marshal requests.*
5. The 2" depression in the sidewalk buffer does not account for the running slope along top of curb and along the sidewalk. This means the depression will not retain a uniform 2" deep pool. This area needs to be supplemented with a 5:1 gravel filled swale and curb cuts with shallow ponding to allow in flows from Silver and 9<sup>th</sup> Street.  
*9<sup>th</sup> Street and Silver to have 5:1 swales.*
6. The ponding volume for the parking area does not account for the running slope across the parking lot toward the ally. This means the gravel areas will not retain a uniformly deep 2" of water.  
*Volumes adjusted. 5:1 slopes added.*

*and curb opening on 9<sup>th</sup> Street.*

*This was adjusted to account for slope. 2" to centroid of volume retained*



Orig: Drainage File

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

7. There is a grate elevation shown in area A5. Is there an interior storm drain network or is this to plumb the trash area into the sanitary sewer?

*Notes added that this drains to sanitary*

If you have any questions, contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



REVISIONS	
▲	Addendum #3 2-20-17
▲	Addendum #2 2-1-17

DRAWN BY	DAA
REVIEWED BY	DAA
DATE	November 18, 2016
PROJECT NO.	16-0078
DRAWING NAME	OVERALL SITE PLAN

SITE INFORMATION

LEGAL DESCRIPTION  
 060N M T ADD LOTS 1 AND 2, 18NMT3 X 4 BLK 60 FRACTIONAL OF LOT 3 X 4 BLK 18 RAYNOLDS ADDITION, LOTS 5 & 6 BLK 60 NEW MEXICO TOWN CO ORIGINAL TOWNSITE & LOTS 5 & 6 BLK 18, 018 RAYNOLDS L1S 7X20XPORT LTT BLK 60 NMT ADDITION, 009 018 RAYNOLDS X LOT 10, 011 018 RAYNOLDS N PORT L11 L12, 018 RAYNOLDS ADDITION SO PORT OF LOTS 11X12

SURVEY CONTROL MONUMENT DATA  
 Albuquerque Control Survey Monument "17\_J14"  
 New Mexico State Plane Coordinates, Central  
 Zone (NAD83) as published:  
 Y= 1,486,866.78  
 X= 1,519,419.32  
 Ground to grid factor= 0.99983611  
 Delta Alpha= -00°13'35"  
 Elevation= 4957.484 (NAVD88)

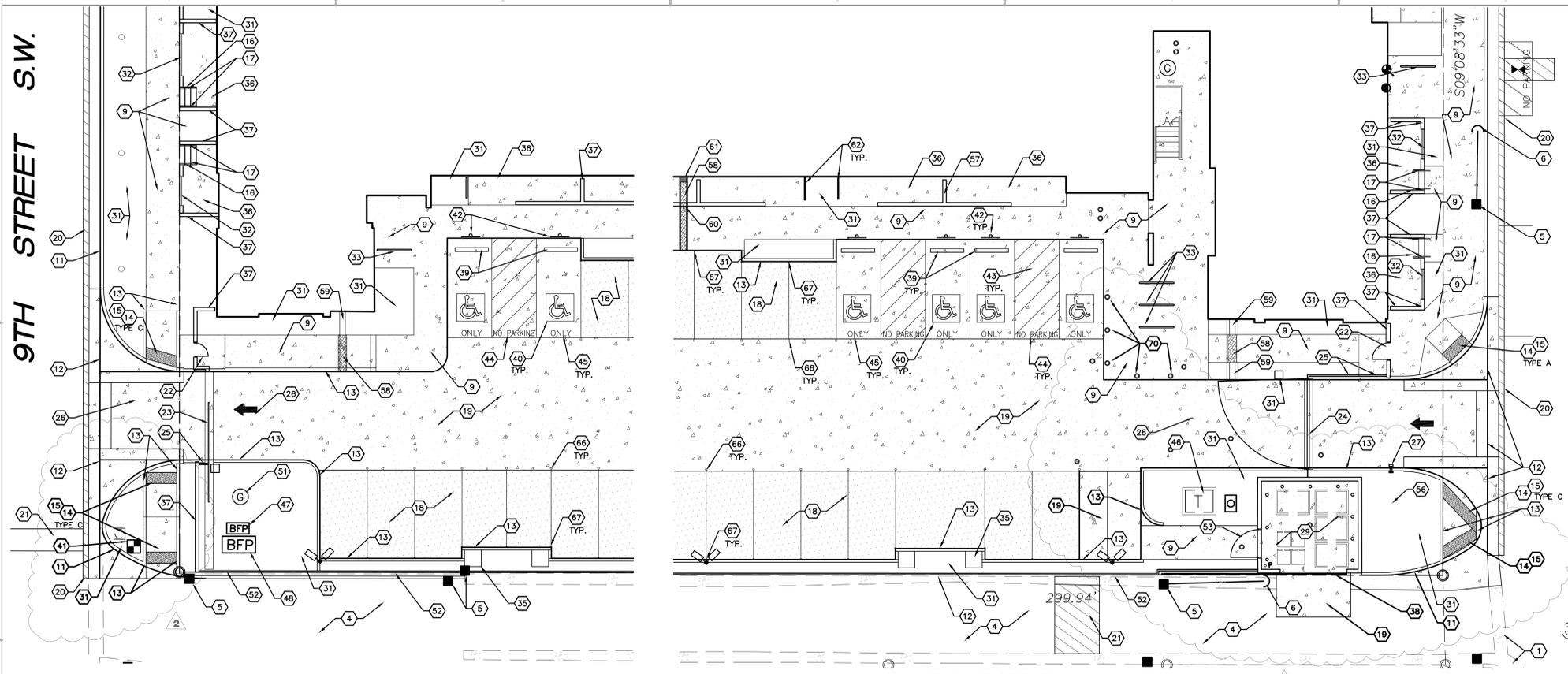
GENERAL SHEET NOTES

- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR THE RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- STANDARD PARKING SPACE IS 8'-0" x 15'-0".
- COMPACT PARKING SPACE IS 8'-0" x 15'-0".
- SURFACE FEATURES RELATED TO UTILITIES ARE SHOWN FOR CLARITY. SEE UTILITY SHEET C301 FOR CONSTRUCTION NOTES.

SHEET KEYED NOTES

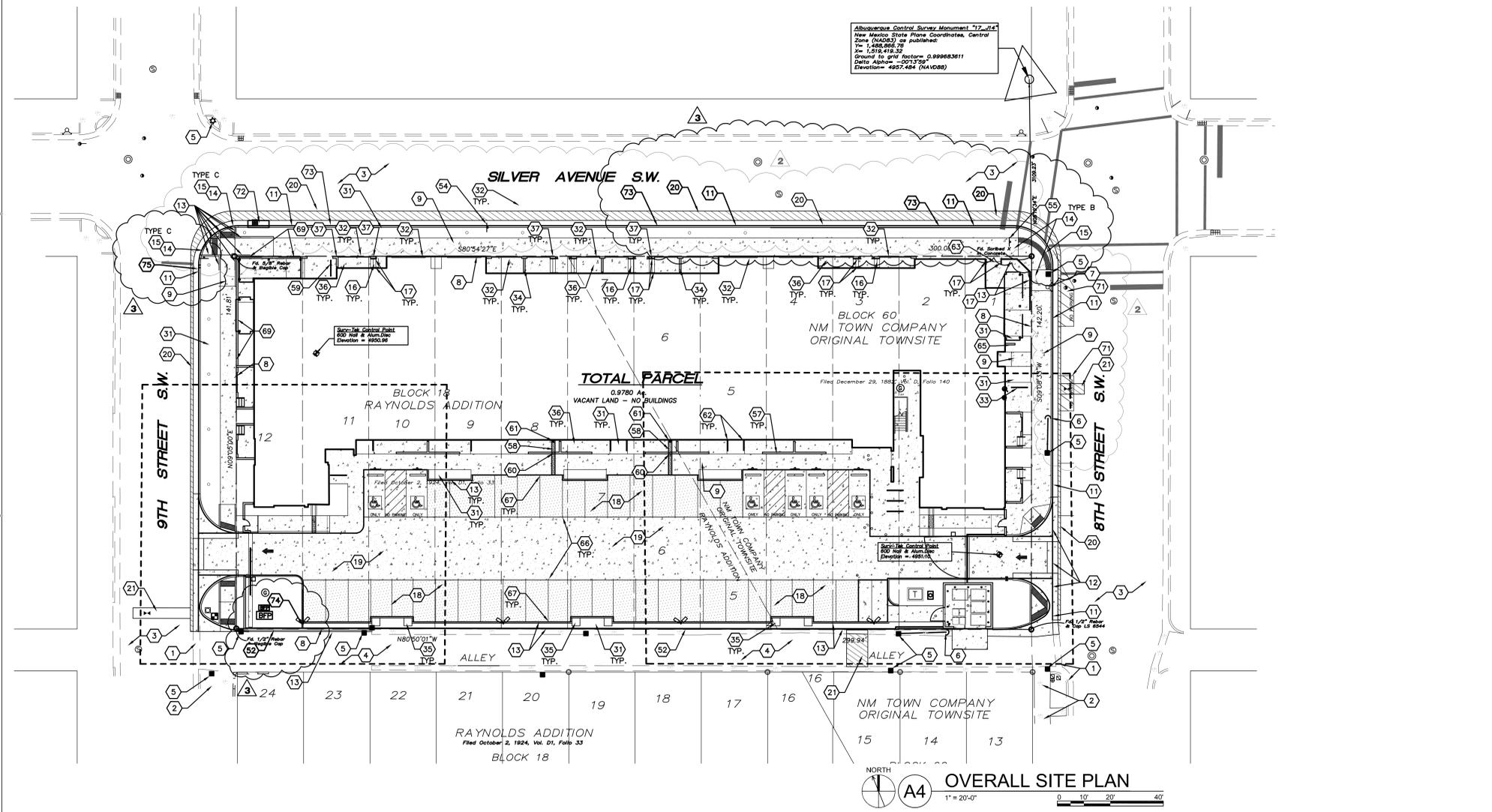
- EXISTING CURB, GUTTER, AND STREET TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING PAVED ALLEY
- EXISTING POWER POLE
- EXISTING GUY WIRE TO REMAIN
- EXISTING FIRE HYDRANT TO REMAIN
- PROPERTY LINE
- CONCRETE SIDEWALK, RE: B4/C501
- CONCRETE JOINT PATTERN, RE: B4/C501
- STANDARD CONCRETE CURB AND GUTTER, PER COA STD DWG 2415A
- CONCRETE VALLEY GUTTER, PER COA STD DWG 2420
- CONCRETE HEADER CURB, PER COA STD DWG 2415B
- CONCRETE CURB RAMP, RE: A1/C501
- DETECTABLE WARNING SURFACE, RE: A3/C501
- CONCRETE STAIR, RE: E5/C502
- METAL HANDRAIL, RE: A3/C502
- GRAVEL PARKING LOT WITH GRAVEL PAVE 2, RE: E4/C501
- CONCRETE PAVEMENT, RE: E3/C501
- MINIMUM 12" WIDE STRIP OF ASPHALT PER COA STD DWG 2465
- UTILITY PATCH ASPHALT PER COA STD DWG 2465
- CONTROLLED ACCESS MAN GATE, RE: A6/C503
- 16" WIDE CONTROLLED ACCESS SLIDING GATE, RE: E4/C503
- 16" WIDE CONTROLLED ACCESS SWING GATE, RE: E4/C503
- DECORATIVE WROUGHT IRON FENCE 6' TALL, RE: D1/C503
- LOOP DETECTOR PER ELECTRICAL PLANS
- KEY PAD FOR ACCESS CONTROL GATE PER ELECTRICAL PLANS
- DECORATIVE MASONRY PRIVACY WALL, 1'-8" HIGH FROM FINISH FLOOR
- REFUSE AREA WITH MASONRY ENCLOSURE, SEE ENLARGED PLAN ON SHEET C504 AND SECTION C2/C504
- ADA ACCESSIBLE CONCRETE RAMP, RE: B4/C501
- LANDSCAPE AREA
- METAL PICKET FENCE 4'-0" TALL, COLOR: DARK GRAY, ALSO REFER TO AE201, AE202, AE203, AND SPEC SECTION 05-213
- BICYCLE RACK, 7 BIKE CAPACITY, RE: D3/C503
- 4'-8" TALL BURNISHED CLOCK CMU SCREEN WALL, SIMILAR TO DETAIL D1/C502 WITH TOP COURSE TO ALIGN WITH 6' TALL SECTION ALONG STREET EDGE
- 2'X2' GABION BASKET, FILLED WITH 3" COBBLES, TOP OF BASKET SET AT TOP OF PARKING LOT CURB
- CONCRETE PATIO SLAB, 3/8" SLOPE AWAY FROM BUILDING AT 1/2" PER FOOT
- 6' TALL BURNISHED BLOCK CMU SCREEN WALL, RE: C5/C502
- REFUSE ENCLOSURE GATES, RE: A4/C502
- CONCRETE PARKING BLOCK, RE: D3/C501
- RESERVED PARKING SYMBOL, RE: E3/C501
- DOMESTIC WATER METER, SEE SHEET C301
- VAN ACCESSIBLE RESERVED PARKING SIGN AND POST, RE: E5/C501 AND A1/C502
- STRIPED UNLOADING ZONE FOR RESERVED PARKING STALLS
- 12" TALL WHITE LETTERS "NO PARKING"
- 12" TALL WHITE LETTERS "ONLY"
- TRANSFORMER, SEE ELECTRICAL PLANS
- IRRIGATION BACKFLOW PREVENTER AND INSULATED ENCLOSURE, SEE SHEET C301 FOR CONSTRUCTION DETAILS
- DOMESTIC WATER BACKFLOW PREVENTER AND INSULATED ENCLOSURE, SEE SHEET C301 FOR CONSTRUCTION DETAILS
- 4" WIDE WHITE TRAFFIC MARKING
- 4" STEEL BOLLARD, RE: D4/C502
- NATURAL GAS METER, SEE SHEET C301 FOR CONSTRUCTION DETAILS
- 8" TALL HEADER CURB TO CONFINE DRAINAGE AND 6" TALL AMERISTAR DECORATIVE WIRE FENCE, RE: D4/C502
- 6" WIDE PEDESTRIAN GATE SIMILAR TO DETAIL A5/C502, FRAME ATTACHED IS CMU WALL, LATCH WITH PAD LOCK, PERFORATED PANEL NOT REQUIRED
- EXISTING 18 MPH SPEED LIMIT SIGN TO REMAIN
- EXISTING STOP SIGN TO REMAIN
- 6'-8" TALL CMU SCREEN WALL AROUND REFUSE ENCLOSURE, RE: D3/C502
- 3'-4" TALL BURNISHED BLOCK CMU SCREEN WALL, RE: D5/C502
- 12" WIDE SIDEWALK CULVERT, RE: E3/C502
- 12" WIDE CONCRETE RUNDOWN, RE: A4/C502
- PROVIDE 8" TALL X 12" WIDE OPENING IN BLOCK WALL FOR SIDEWALK CULVERT
- PROVIDE 12" X 12" BAR GRATE AT SIDEWALK CULVERT UNDER DOWNSPOUT
- LANDSCAPING SCREEN, SEE SHEET LP101
- CONCRETE STAIR WITH REFLECTIVE METAL NOSING SIMILAR TO DETAIL B3/C502
- NOT USED
- WALL MOUNTED SIGN, SEE SHEETS AE201 AND AE203, ADDITIVE ALTERNATE #1
- PROVIDE 4" ROUND REFLECTOR ATTACHED TO THE CONCRETE AS PARKING SPACE INDICATOR
- PROVIDE 4" ROUND REFLECTOR ATTACHED TO FACE OF THE HEADER CURB AS PARKING SPACE INDICATOR
- LIGHT POLE AND FOUNDATION, SEE ELECTRICAL SHEET ES101
- 16" TALL, 8" WIDE BONCO WALL, RE: E1/C501
- SPHERE BOLLARD, RE: B6/C504
- PROVIDE STRIPING AT WALL INDICATOR VALVE, FIRE DEPARTMENT CONNECTION AND FIRE HYDRANT, VERIFY EXACT LIMITS WITH FIRE DEPARTMENT PRIOR TO APPLICATION, INCLUDE 12" TALL RED NO PARKING LETTERS ON ASPHALT AND 6" TALL "NO PARKING FIRE LANE" ON FACE OF CURB
- TYPE "A" STORM DRAIN CATCH BASIN PER COA STD DWG 2201, SEE UTILITY SHEET C301 FOR MORE INFORMATION
- 6" TALL RED "NO PARKING FIRE LANE" ON FACE OF CURB PER FIRE DEPARTMENT REQUIREMENTS
- HEADER CURB UP TO 12" TALL ABOVE GRADE, SEE SHEET C201 FOR TOP OF CURB AND FLOW LINE INFORMATION, HEADER CURB SIMILAR TO DETAIL A4/C501
- PROVIDE 12" WIDE OPENING IN CURB TO ALLOW DRAINAGE FROM STREET TO ENTER LANDSCAPING STRIP.

VICINITY MAP



D1 ENLARGED PLAN 1" = 10'-0"

D2 ENLARGED PLAN 1" = 10'-0"



A4 OVERALL SITE PLAN 1" = 20'-0"



SITE INFORMATION

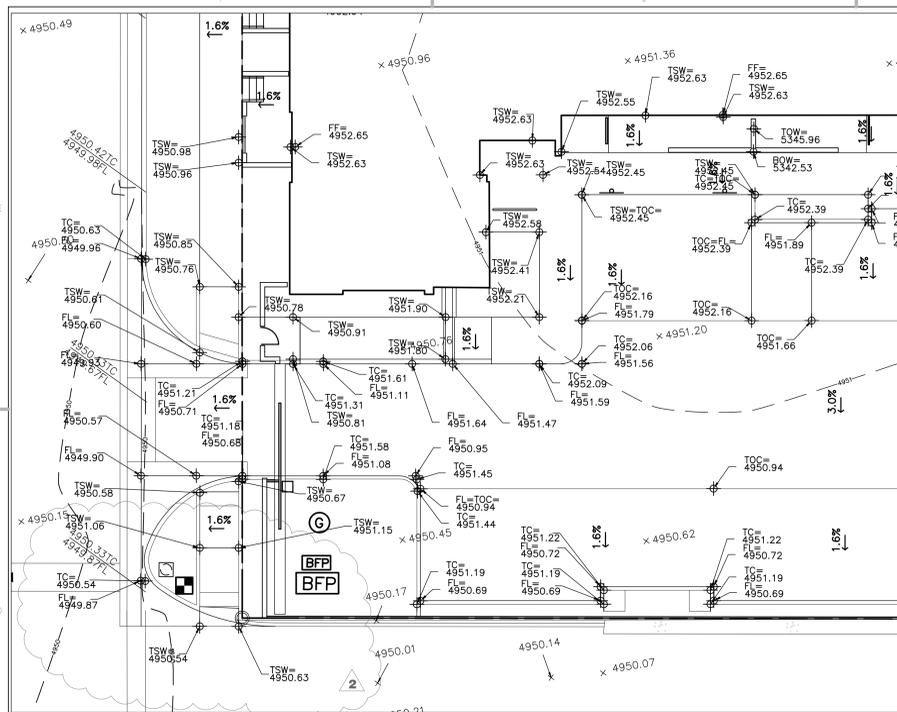
LEGAL DESCRIPTION
060N M T ADD LOTS 1 AND 2, 1.8NM X 4 BLK 60 FRACTIONAL OF LOT 3 X 4 BLK 18 RAYNOLDS ADDITION, LOTS 5 & 6 BLK 60 NEW MEXICO TOWN CO ORIGINAL TOWNSHIP & LOTS 5 & 6 BLK 18, 018 RAYNOLDS LITS TWP/PORT LIT BLK 60 NMT ADDITION, 009 018 RAYNOLDS X LOT 10, 011 018 RAYNOLDS N PORT L11 L12, 018 RAYNOLDS ADDITION SO PORT OF LOTS 11X12

GENERAL SHEET NOTES

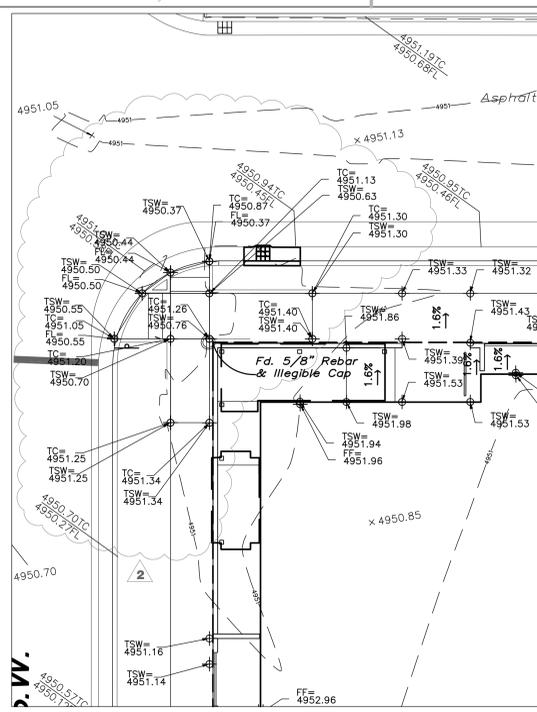
1. REFER TO CIVIL PAVING DRAWINGS FOR ON-SITE BUILDING LOCATION, CURBS AND GUTTERS DIMENSIONS, AND OTHER DIMENSIONS NOT SHOWN ON THIS SHEET.

Table with 5 columns: Stair, Risers, Number at Bldg, Top Elev, Bot Elev, Riser Height. Lists stairs A\* through Q\* with their respective elevations and riser heights.

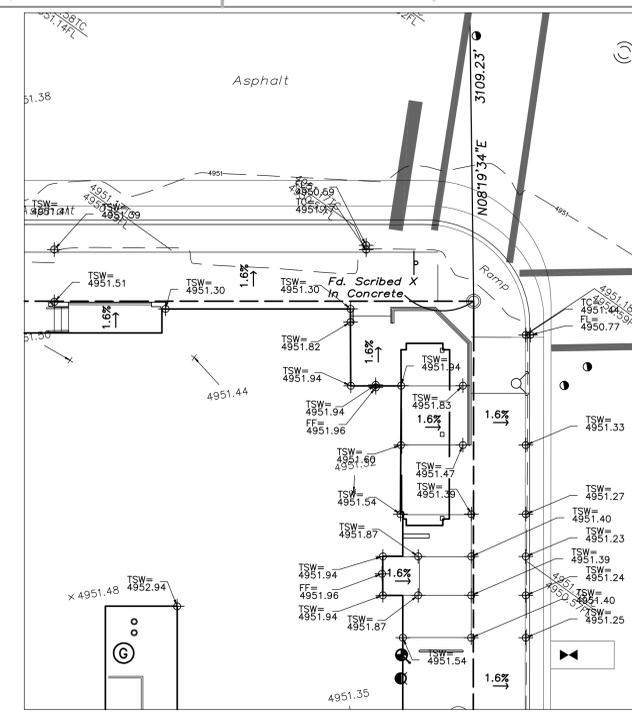
Notes:
1. Typical stair treads follow the slope of the lower sidewalk slope toward street of 1.6%.
2. Stairs with \*\*\* have level treads.



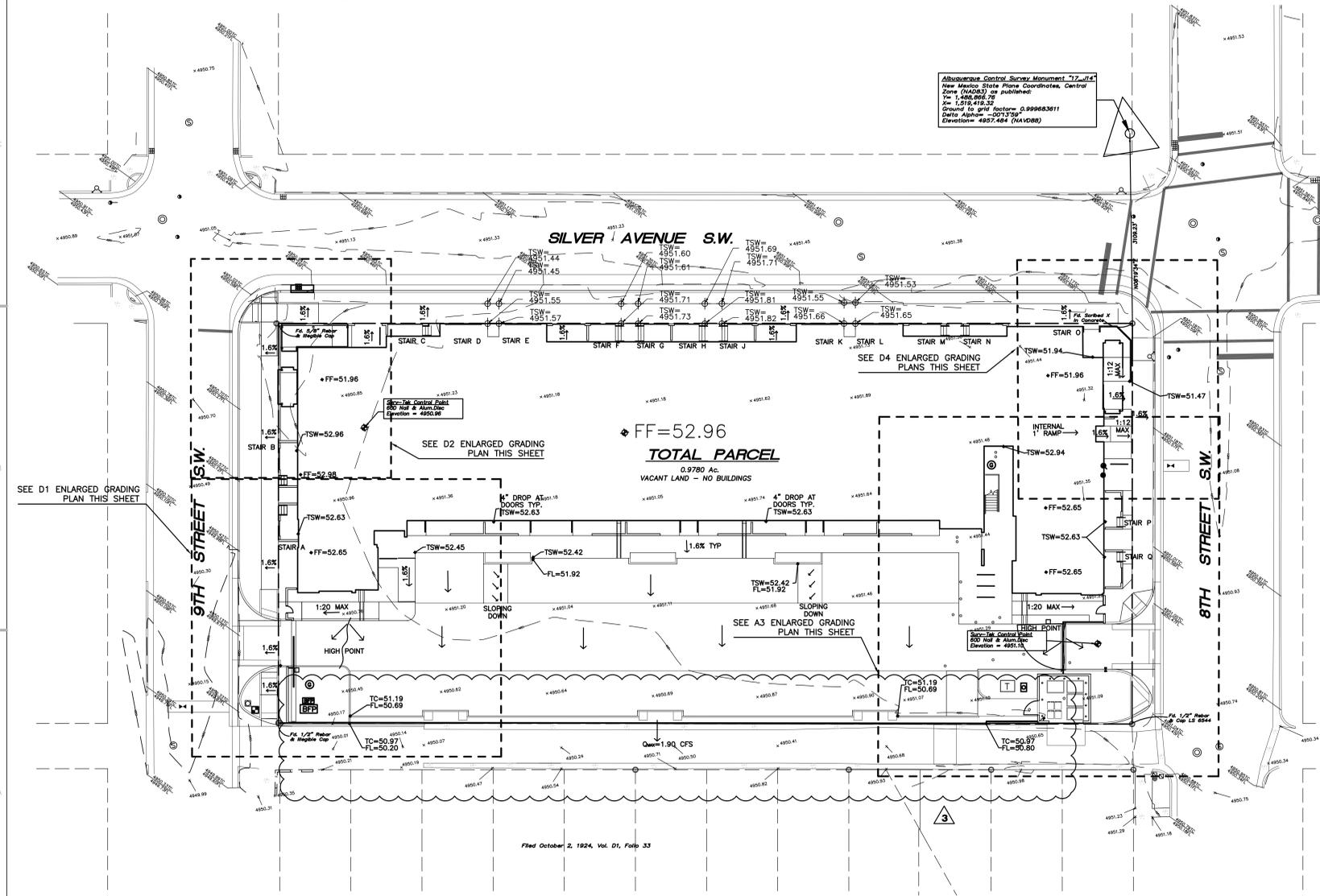
D1 ENLARGED GRADING PLAN 1" = 10'-0"



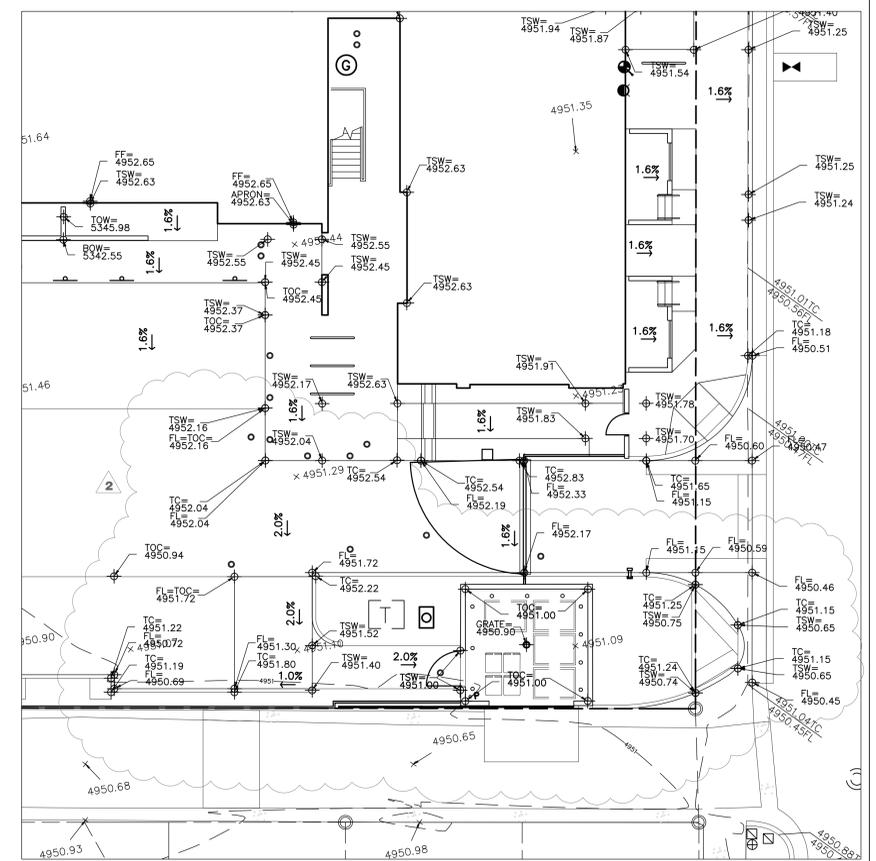
D2 ENLARGED GRADING PLAN 1" = 10'-0"



D4 ENLARGED GRADING PLAN 1" = 10'-0"



A4 OVERALL GRADING PLAN 1" = 20'-0"



A5 ENLARGED GRADING PLAN 1" = 10'-0"

STERLING | DOWNTOWN
800 SILVER AVENUE SW
ALBUQUERQUE, NM

100% CONSTRUCTION DOCUMENTS

Revisions table with columns for revision number, description, and date.

DRAWN BY DAA
REVIEWED BY DAA
DATE November 18, 2016
PROJECT NO. 16-0078
DRAWING NAME OVERALL GRADING PLAN

