

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Eight Plex Apartment Building
For Don Keith and Assoc. ZONE ATLAS/DRNG. FILE #: K-13/021
LEGAL DESCRIPTION: Lots 6,7, and 8, Block 39, Reynolds Addition
CITY ADDRESS: 806 Coal Av SW

ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank Lovelady
87110
ADDRESS: 7408 Morrow Road, N.E. Albuquerque, NM PHONE: 883-7973

OWNER: Don Keith and Associates CONTACT: Don Keith
ADDRESS: 7116, Edwina Court, NE 87110 PHONE: 842-1780

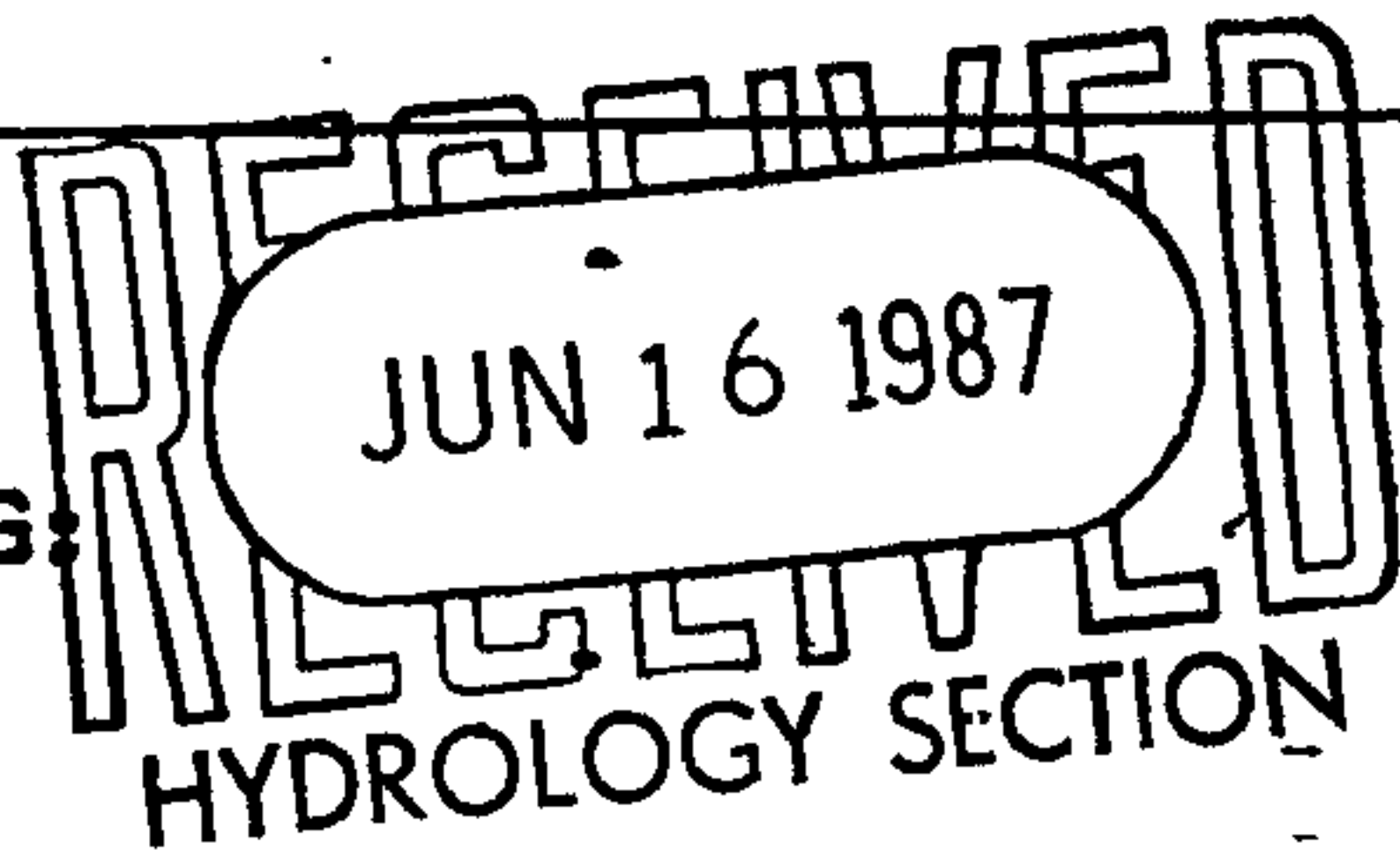
ARCHITECT: Pat Gates, Architect CONTACT: Pat Gates
ADDRESS: 8322 Zuni SE PHONE: 265-6463

SURVEYOR: Hall Surveying CONTACT: Margrette Hall
ADDRESS: 12805 Menaul Blvd. N.E. PHONE: 292-6727

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

- YES
- NO
- COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE DEVELOPMENT PLAN APPROVAL
- FINAL PLAT APPROVAL
- BUILDING PERMIT APPROVAL
- FOUNDATION PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- ROUGH GRADING PERMIT APPROVAL
- GRADING/PAVING PERMIT APPROVAL
- OTHER _____ (SPECIFY)

DATE SUBMITTED: JUNE 15, 1987

BY: Frank D. Lovelady

Frank D. Lovelady, P.E.

DRAINAGE INFORMATION SHEET

DON KEITH & ASSOC.

PROJECT TITLE: 8-plex ZONE ATLAS/DRNG. FILE #: K-13/1021

LEGAL DESCRIPTION: lots 6, 7 & 8 Block 39 Reynolds Add.

CITY ADDRESS: _____

ENGINEERING FIRM: Lovelady & Assoc CONTACT: Frank Lovelady

ADDRESS: 7408 Morrow Road NE PHONE: 883-7973

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

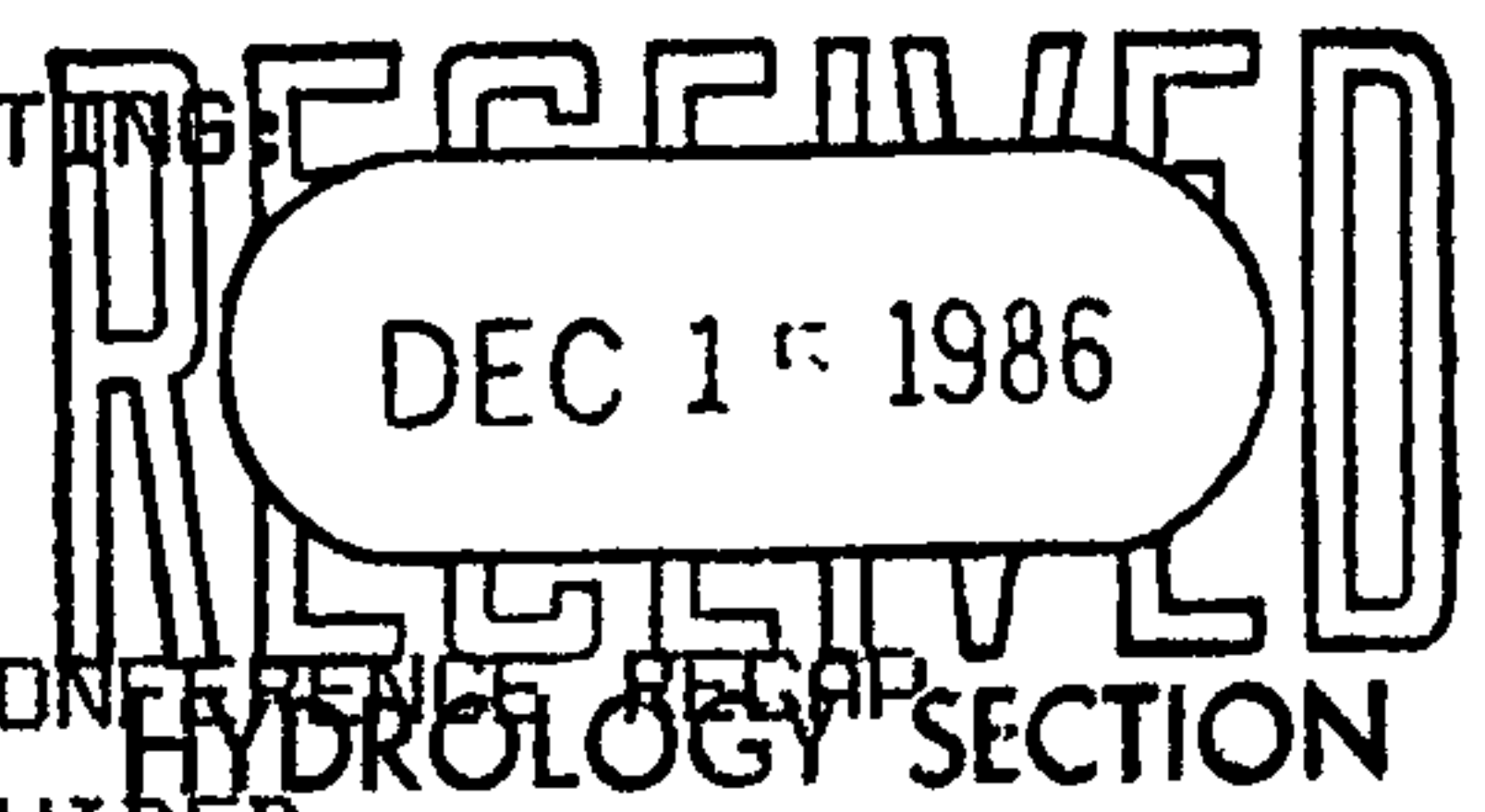
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

YES

NO

COPY OF CONFERENCE RECORD SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

DRAINAGE REPORT

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Copy of approved alley grades as required by Bernie Blontoya's letter.

CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL

PRELIMINARY PLAT APPROVAL

SITE DEVELOPMENT PLAN APPROVAL

FINAL PLAT APPROVAL

BUILDING PERMIT APPROVAL

FOUNDATION PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY APPROVAL

ROUGH GRADING PERMIT APPROVAL

GRADING/PAVING PERMIT APPROVAL

OTHER _____ (SPECIFY)

DATE SUBMITTED: Dec 15, 1986
Frank D. Lovelady

BY: _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 8, 1986

Frank Lovelady
Lovelady & Associates
7408 Morrow Road, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR EIGHT-PLEX APARTMENT BUILDING FOR
DON KEITH AND ASSOCIATES (K-13/D21) ENGINEER'S STAMP DATED
DECEMBER 3, 1986

Dear Frank:

Based on the information provided on your submittal of December 4, 1986,
the above referenced plan is approved.

Please be advised that the Building Permit cannot be released until the
following items are addressed:

1. Concurrence from DRC that proposed alley and storm
sewer improvements are adequate.
2. Approved filed copy of replat must be submitted to
our office for our files.

Please provide this information as soon as it becomes available so that
the construction plans can be signed-off.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

*cmfs
1 & 2
statified
on
3/25/87*

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 17, 1986

Frank Lovelady
Lovelady & Associates
7408 Morrow Road, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR EIGHT PLEX APARTMENT BUILDING FOR DON KEITH
AND ASSOCIATES (K-13/D21) ENGINEER'S STAMP DATED NOVEMBER 12,
1986

Dear Frank:

Based on the information provided on your submittal of November 12, 1986,
the above referenced drainage plan is approved.

Please be advised that the Building Permit cannot be released until the
following concerns are addressed:

1. First review of the alley grades, catch basin and
sewer tap must be conducted by D.R.C. under the
Work Order process.
2. Approved filed copy of the covenant must be
submitted.

Please provide this information as soon as it becomes available so that
the construction plan can be signed-off.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,

A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

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FILE COPY



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Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

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AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

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For Don Keith and Assoc. ZONE ATLAS/DRNG. FILE #: K-13/1021
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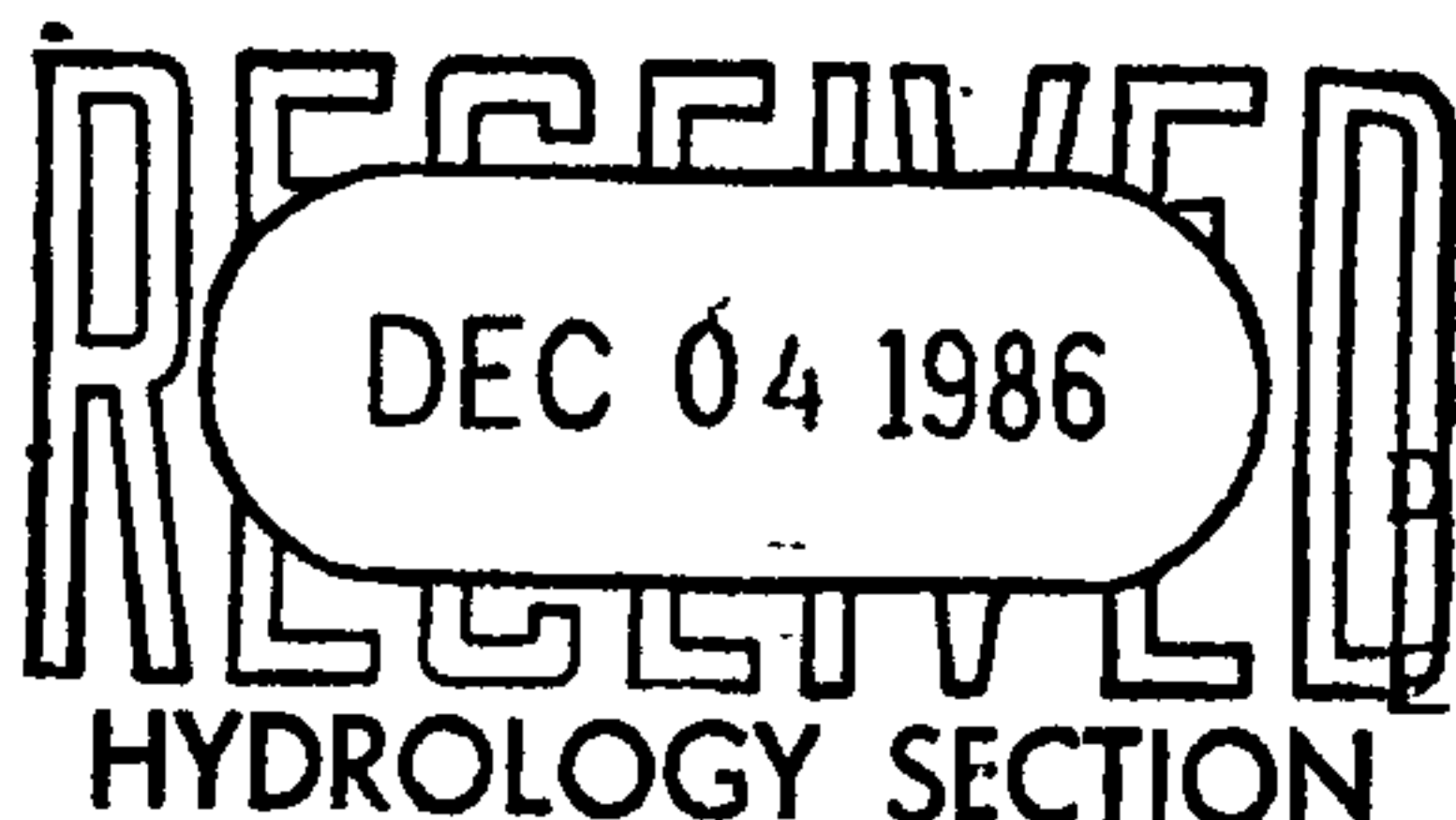
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CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

- YES
- NO
- COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION

Revised drainage plan showing that lots 6,7 and 8 are being replatted into lot 6-A. A drainage covenant is not required.

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
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- CERTIFICATE OF OCCUPANCY APPROVAL
- ROUGH GRADING PERMIT APPROVAL
- GRADING/PAVING PERMIT APPROVAL
- OTHER _____ (SPECIFY)

DATE SUBMITTED: December 4, 1986
~~November 12, 1986~~

BY: Frank D. Lovelady
Frank, D. Lovelady, P.E.

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
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November 17, 1986

Frank Lovelady
Lovelady & Associates
7408 Morrow Road, NE
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR EIGHT PLEX APARTMENT BUILDING FOR DON KEITH
AND ASSOCIATES (K-13/D21) ENGINEER'S STAMP DATED NOVEMBER 12,
1986

Dear Frank:

Based on the information provided on your submittal of November 12, 1986,
the above referenced drainage plan is approved.

Please be advised that the Building Permit cannot be released until the
following concerns are addressed:

1. First review of the alley grades, catch basin and
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2. Approved filed copy of the covenant must be
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the construction plan can be signed-off.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

11/18/86

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: K13 DATE: 9/3/86 9:00AM
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: 8-plex Apts for Don Keith
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: Reynolds Addition, Block 9 Lots 6, 7, & 8

APPROVAL REQUESTED:

<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> SITE DEVELOPMENT PLAN	<input checked="" type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> OTHER	<input type="checkbox"/> ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Frank Lovelady</u>	<u>Lovelady & Assoc</u>
	<u>Bernie Montoya</u>	<u>Hydrology Section</u>

FINDINGS:

1. Drainage Plan per D.P.M. required
2. Right-of-way encroachments required on all lots
3. All encroachments will be required before Building Department is issued. If zoning requires signs it bet they will be required.
4. An easement for discharge

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Bernie Montoya</u>	SIGNED: <u>[Signature]</u>
TITLE: <u>Assistant Engineer</u>	TITLE: _____
DATE: <u>11/18/86</u>	DATE: <u>11/18/86</u>

****NOTE** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL**

04 04
04 04
04 04
04 04

GRADING AND DRAINAGE PLAN

AND

SUPPLEMENTAL INFORMATION

FOR

EIGHT PLEX APARTMENT BUILDING FOR DON KEITH AND ASSOCIATES
COAL AVENUE S.W. BETWEEN 8TH & 9TH STREETS

ZONE ATLAS NO. K-13

Prepared By

Lovelady & Associates

November 12, 1986

RECEIVED
NOV 12 1986
HYDROLOGY SECTION

DRAINAGE INFORMATION SHEET

127

Eight Plex Apartment Building

PROJECT TITLE: For Don Keith and Assoc. ZONE ATLAS/DRNG. FILE #: K-13

LEGAL DESCRIPTION: Lots 6,7, and 8, Block 39, Reynolds Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank Lovelady
87110

ADDRESS: 7408 Morrow Road, N.E. Albuquerque, NM PHONE: 883-7973

OWNER: Don Keith and Associates CONTACT: Don Keith

ADDRESS: 7116, Edwina Court, NE 87110 PHONE: 842-1780

ARCHITECT: Pat Gates, Architect CONTACT: Pat Gates

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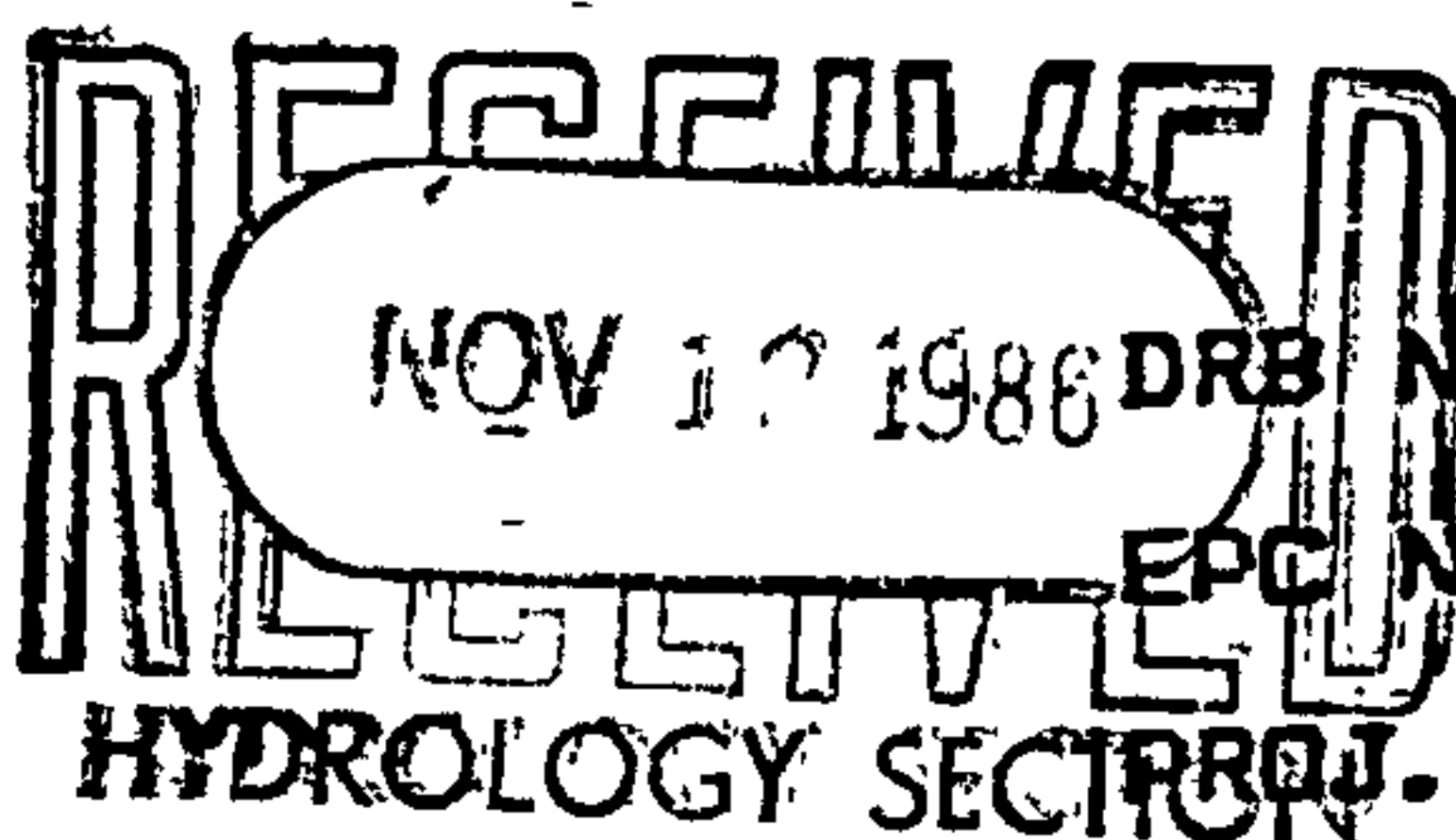
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

YES

NO

COPY OF CONFERENCE RECAP SHEET PROVIDED



TYPE OF SUBMITTAL:

DRAINAGE REPORT

DRAINAGE PLAN

CONCEPTUAL GRADING & DRAINAGE PLAN

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL

PRELIMINARY PLAT APPROVAL

SITE DEVELOPMENT PLAN APPROVAL

FINAL PLAT APPROVAL

BUILDING PERMIT APPROVAL

FOUNDATION PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY APPROVAL

ROUGH GRADING PERMIT APPROVAL

GRADING/PAVING PERMIT APPROVAL

OTHER _____ (SPECIFY)

DATE SUBMITTED: November 12, 1986

BY: Frank D. Lovelady

Frank D. Lovelady, P.E.

DRAINAGE REPORT AND DRAINAGE PLAN CHECKLIST
(Abbreviated)

DON KEITH
EIGHT PLEX

I. GENERAL INFORMATION

- ✓ 1. Information sheet
- N/A 2. Planning history
- N/A a. P&Z action
- N/A b. Relation to approved M.P.
- 3. Site Description
 - ✓ a. Vicinity map
 - ✓ b. Zone atlas number
 - ✓ c. Legal Description, or
 - d. Current Plat
- 4. Bench mark
 - ✓ a. A.C.S. vertical datum
 - ✓ b. T.B.M. on site
- 5. Flood hazard map
- 6. Watershed soils
- 7. Soils report
 - N/A a. Pond < 15' from exist. structure
 - N/A b. Pond < 15' from new structure
 - N/A c. Pond < 15' from P.L., less setback
 - N/A d. Ponds < 18" deep 10' from pvm't.
 - N/A e. Ponds > 18" deep 15' from pvm't.
- 8. Drainage report or plan

- 9. Flow quantities
 - ✓ a. Undeveloped rate
 - ✓ b. Undeveloped volume
 - ✓ c. Developed rate
 - ✓ d. Developed volume
- 10. Flow characteristics
 - ✓ a. Flow depth
 - ✓ b. Flow velocity
 - c. Locations of A & B

- N/A B. Off-site
 - 1. Delineation of W.S. on...
 - a. 1" = 200' orthotopo, or
 - b. 1" = 500' Floodway map
 - 2. Off-site flow quantities
 - a. 10-year flow rate
 - b. 100-year flow rate
 - 3. Off-site flow description
 - a. Flow depth
 - b. Flow velocity
 - c. Locations of a. & b.
 - 4. Other conditions
 - 5. Existing Easements & R.O.W.

II. PLAN DRAWINGS

- 1. Professional Certification
 - ✓ a. Engineer's stamp
 - ✓ b. Engineer's signature
 - ✓ c. Date
 - N/A d. Revision date (when applicable)
- 2. Drafting standards
 - ✓ a. North arrow
 - ✓ b. scales
 - ✓ 1" = 20' < 5 acres
 - N/A 1" = 50' ≥ 5 acres
 - ✓ c. Legend
 - ✓ d. Drawing size 24"x36"
 - ✓ e. notes
- Property line
- Asphalt paving
- Sidewalks
- Planting areas
- N/A Ponding areas
- Other features

III. EXISTING CONDITIONS

- A. On-site
 - 1. Existing Contours
 - ✓ a. 1' interval < 1%
 - N/A b. 2' interval 1%-5%
 - N/A c. 5' interval > 5%
 - 2. Spot Elevations
 - 3. Contours & spot elevations
 - ✓ a. A min of 25' beyond P.L.
 - 4. Existing structures
 - ✓ a. Buildings
 - N/A b. Retaining & garden walls
 - ✓ c. Min. 25' beyond P.L.
 - 5. Identify drainage facilities
 - N/A a. On-site
 - N/A b. On adjacent property
 - 6. Pertinent elev. for 4 & 5 above.
 - N/A a. Finished floor (MSL)
 - N/A b. Invert, grate, etc.(MSL)
 - 7. All existing easements
 - N/A a. Dimensions
 - b. Purpose
 - 8. Existing curb elevations (MSL)
 - ✓ a. Top of curb
 - ✓ b. Flow line

IV. PROPOSED CONDITIONS

- A. On-Site
 - 1. Define Req'd. Drain. Fac.
 - N/A a. Pond Vol. Calculations
 - N/A b. Pond positive discharge
 - N/A c. Pond emergency spillway
 - N/A d. Pond fencing (> 18" deep)
 - N/A e. Pond landscaping
 - N/A f. Pond maintenance
 - ✓ g. Channel depths & Velocities
 - ✓ h. Storm sewer capacities/HGL
 - N/A i. Other facilities (AMAFCA)
 - 2. Proposed Contours
 - ✓ a. 1' interval < 1%
 - N/A b. 2' interval 1%-5%
 - N/A c. 5' interval U 5%
 - 3. Proposed Esm'ts & R.O.W.
 - N/A a. Dimensions
 - N/A b. Purpose
 - 4. Dedicated unpaved R.O.W.
 - ✓ a. Alley grades
 - N/A b. Street grades
 - 5. Drainage Areas Outlined
 - 6. Flow lines
 - ✓ a. Sheet flow
 - ✓ b. Concentrated flow
 - ✓ c. Spot elevations
 - 7. Pond(s) 100-year H.W.L.
 - 8. Building fin. flr. elev
 - 9. Slope limitations
 - N/A a. < 3' - 2:1 max.
 - N/A b. > 3' 3:1 max.
 - 10. Elevations at Prop. Lines
 - N/A a. Above adjacent top of curb
 - N/A b. Ret. Walls, Grades > 18"
 - 11. Details of Drainage Fac.
 - 12. Erosion Control Plan
 - 13. City Drive Pads
 - N/A a. Spot elevations
 - 14. S.O. 19
 - 15. R.O.W./Esmt. for above
 - 16. Nuisance waters
 - N/A B. Off-site
 - 1. Off-site drain. fac.
 - N/A a. Definition
 - N/A b. Locations
 - c. Configuration
 - 2. Verify Downstream Cond.
 - 3. Rights-of-way

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/~~PLANNING~~ HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: K13 DATE: 9/3/86 9:00 A.M.
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: 8-Plex Apts for Don Keith
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: Reynolds Addition, Block 9 Lots 6, 7, & 8

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	<u>x</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Frank Lovelady</u>	<u>Lovelady & Assoc</u>
	<u>Bernie Montoya</u>	<u>Hydrology Section</u>

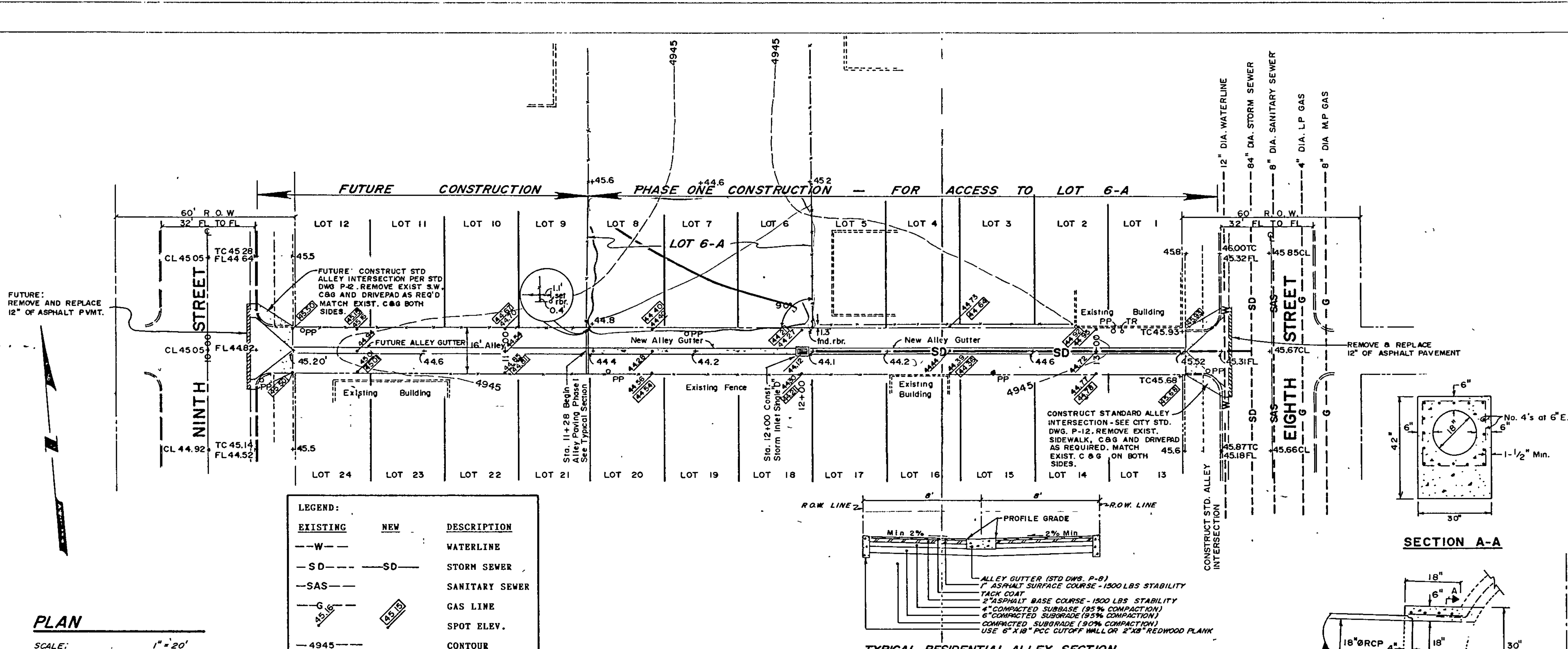
FINDINGS:

1. Drainage Plan per D.P.M. required.
2. Replat, covenants or easements required for flows across lot lines.
3. Alley grades will be required before Building permit is issued. If zoning requires paving it not alley grades will be hold until C.O.
4. Analysis of downstream conditions for free discharge.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Bernie Montoya
TITLE: Engineering Assistant
DATE: 9/3/86

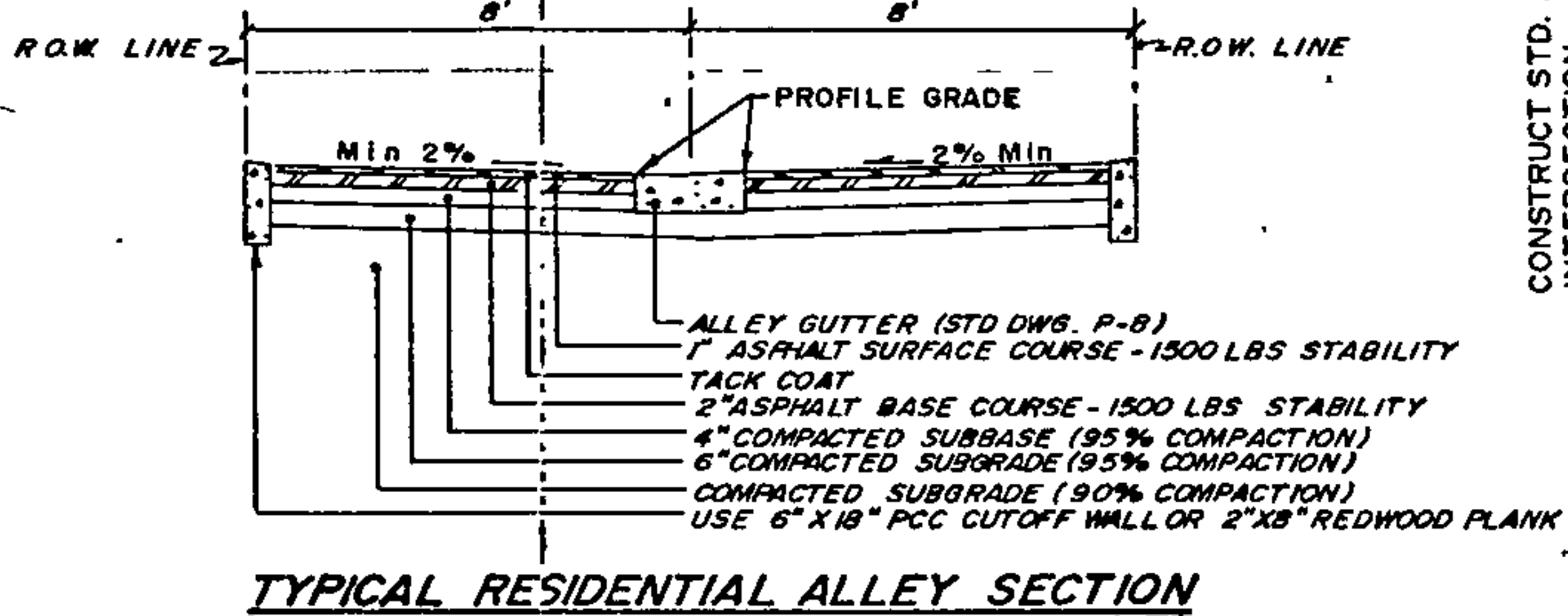
SIGNED: Frank D. Lovelady
TITLE: _____
DATE: 9/3/86



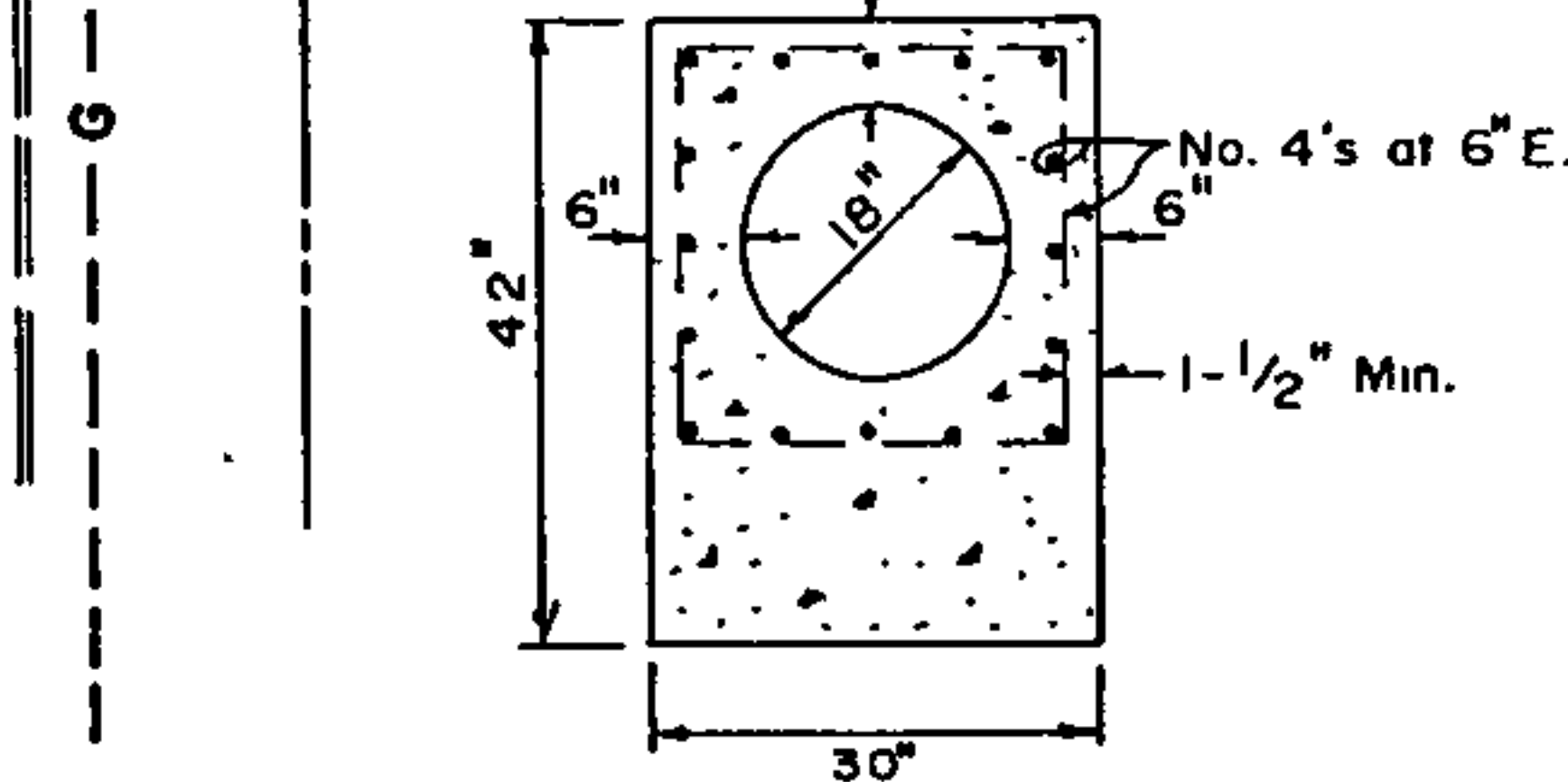
PLAN
SCALE: 1" = 20'

LEGEND:

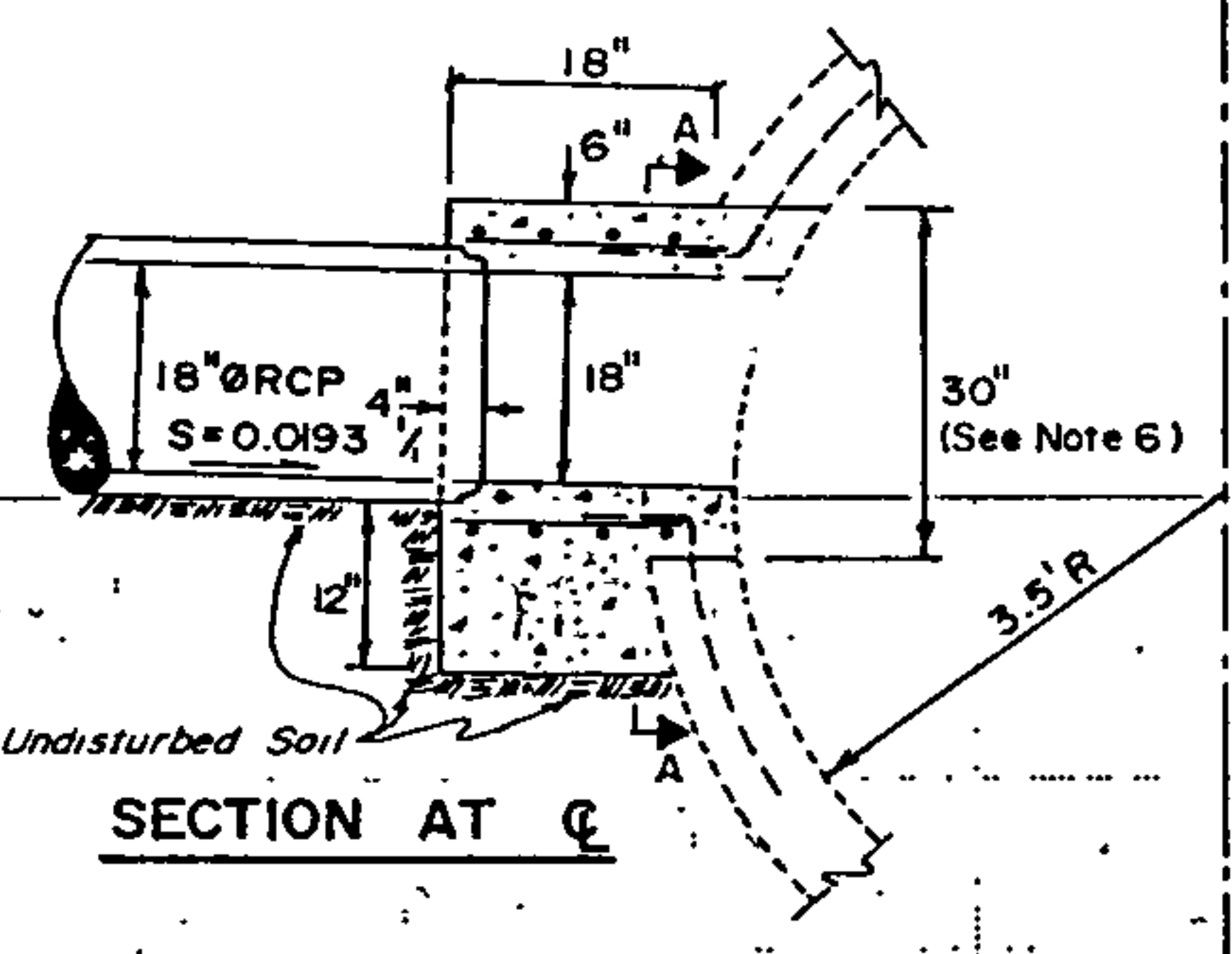
EXISTING	NEW	DESCRIPTION
---	---	WATERLINE
---	---	STORM SEWER
---	---	SANITARY SEWER
---	---	GAS LINE
---	---	SPOT ELEV.
---	---	CONTOUR



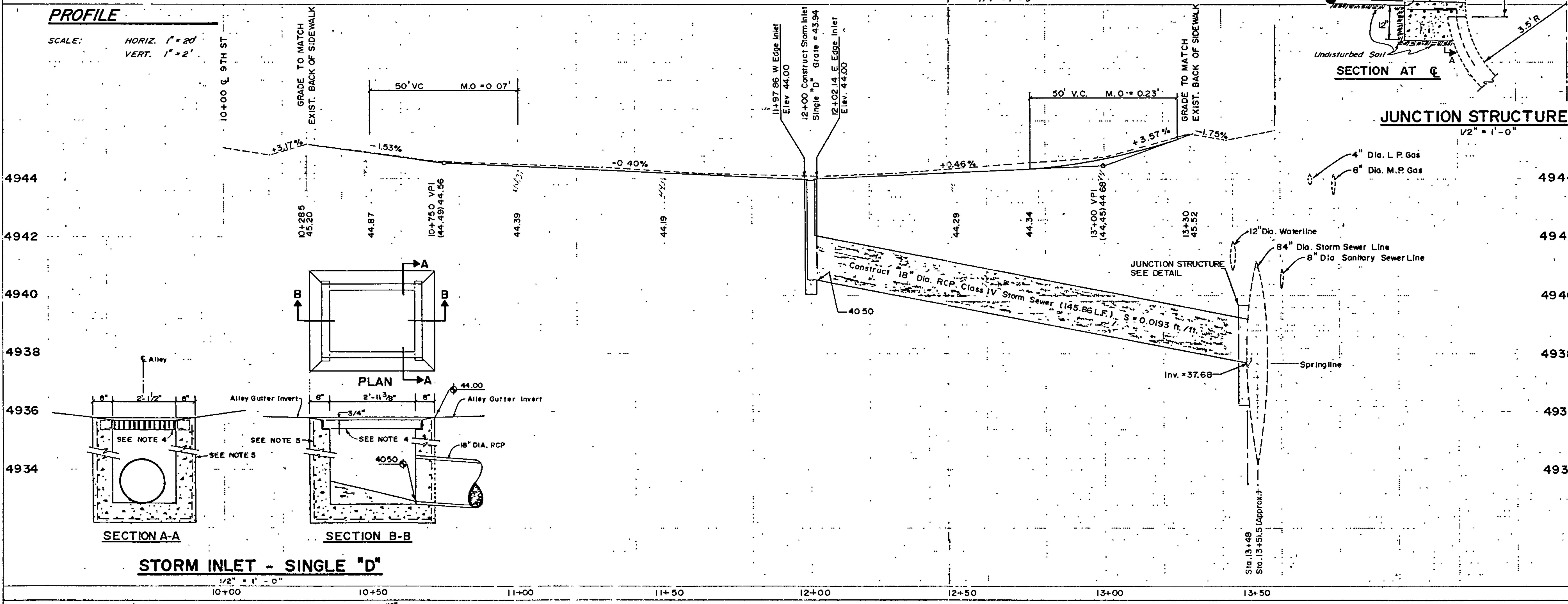
TYPICAL RESIDENTIAL ALLEY SECTION
1/4" = 1' - 0"



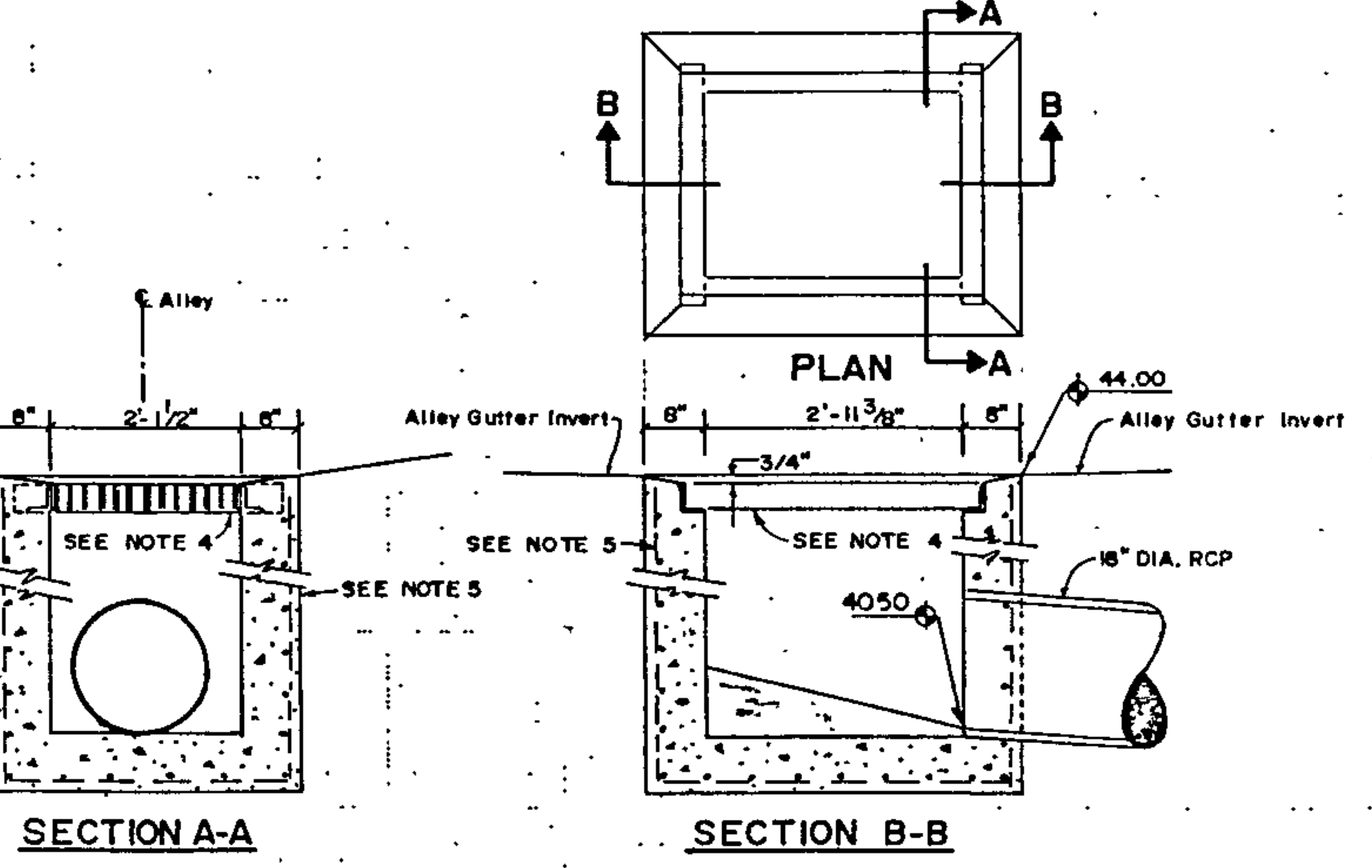
SECTION A-A



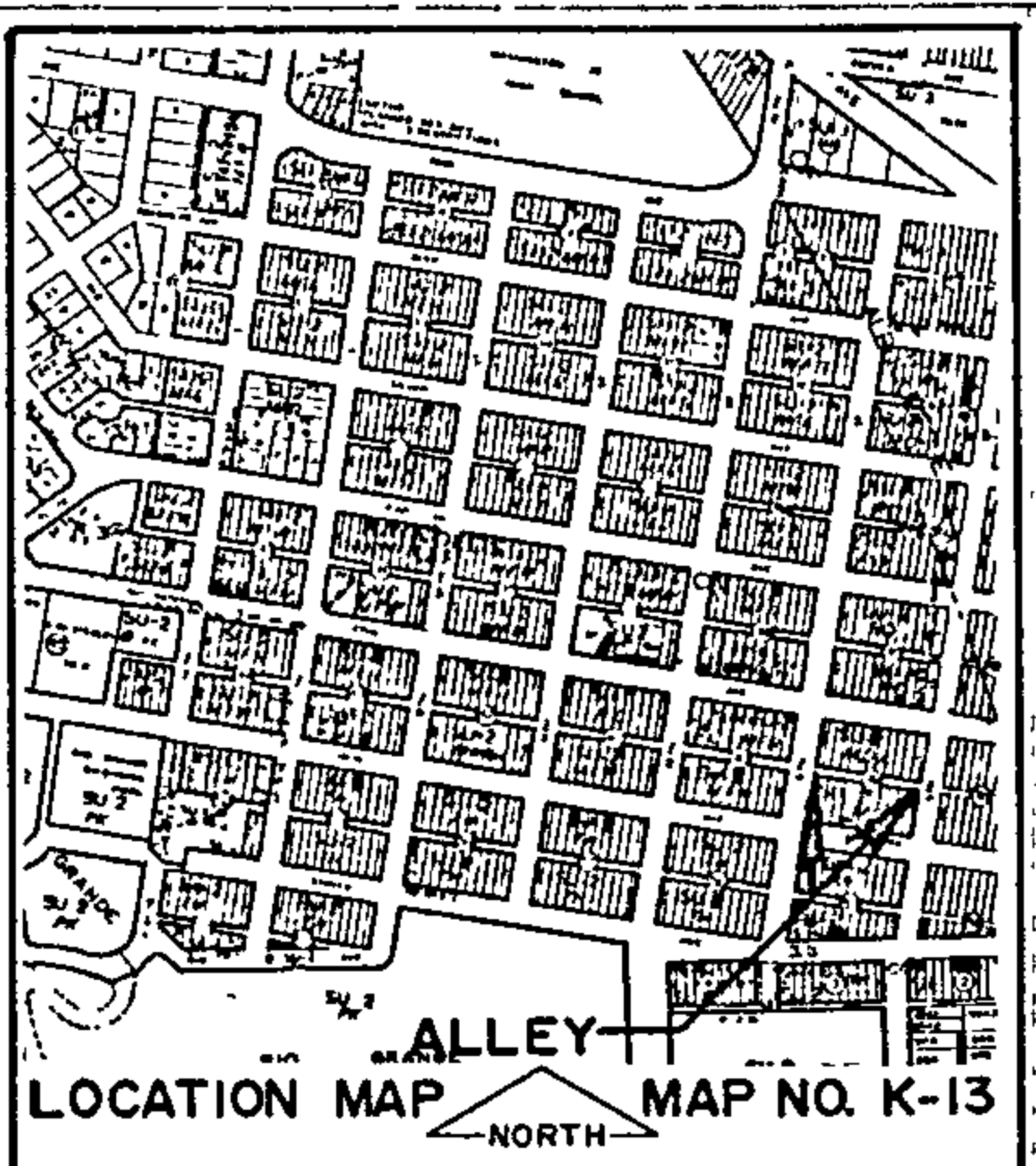
JUNCTION STRUCTURE
1/2" = 1' - 0"



PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'



STORM INLET - SINGLE "D"
1/2" = 1' - 0"



GENERAL NOTES:

- All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided herein, be constructed in accordance with City of Albuquerque Interim Standard Specifications for Public Works Construction, 1985, together with the standard details contained therein.
- Two (2) working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with a minimum amount of delay.
- Storm inlet frame shall be in accordance with Standard Drawing K-8. Storm inlet grate shall be in accordance with Standard Drawing K-9.
- Single "D" storm inlet shall be constructed in accordance with details, general notes and construction notes shown on Standard Drawing K-6.
- Saw cut a 30" square (vertical projection) on outside of 84" RCP to depth of reinforcement. Break out remaining concrete and cut and bend existing reinforcing steel and tie to new reinforcing as shown.
- The cross slope of the alley varies as required to match existing grades at property line. The cross slope at certain key stations are listed below:

STATION	NORTH*	SOUTH*
10+28.5	0.0429	0.0429
10+50.0	0.0400	0.0200
11+00.0	0.0400	0.0600
11+28.0	0.0400	0.0500
11+50.0	0.0300	0.0500
12+00.0	0.0334**	0.0334**
12+50.0	0.0200	0.0600
13+00.0	0.0400	0.0200
13+30.0	0.0586	0.0229

*Cross slope is in feet per foot.
**Calculated from edge of catch basin.

RECEIVED
DEC 15 1986
HYDROLOGY SECTION

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

TITLE: ALLEY GRADES AND CONSTRUCTION OF EAST END ALLEY SOUTH OF COAL AVENUE, S.W. (BETWEEN EIGHTH STREET AND NINTH STREET)

APPROVALS	DATE	APPROVALS	ENGINEER	DATE
City Engineer	12/10/86	Liquid Waste		12-10-86
A.C.E. Design	"	Traffic		"
A.C.E. Hydrology	"	Water		12-10-86

DRAWING NO. 3099 MAP NO. K-13 SHEET 1 OF 1

AS-BUILT INFORMATION

CONTRACTOR: _____ DATE: _____

MARKED BY: _____ DATE: _____

ACCURACY BY: _____ DATE: _____

FIELD MEASUREMENTS BY: _____ DATE: _____

CONTRACTOR'S SIGNATURE: _____

RECORDED BY: _____ DATE: _____

NO. _____

DATE: 10-10-86

BY: H.H. Surveying Co.

NO. 84-4

ENGINEER'S SEAL

DATE: 10/29/86

DATE: 10/29/86

DATE: 10/29/86

DRAWN BY: F.D. LOVELADY

CHECKED BY: F.D. LOVELADY