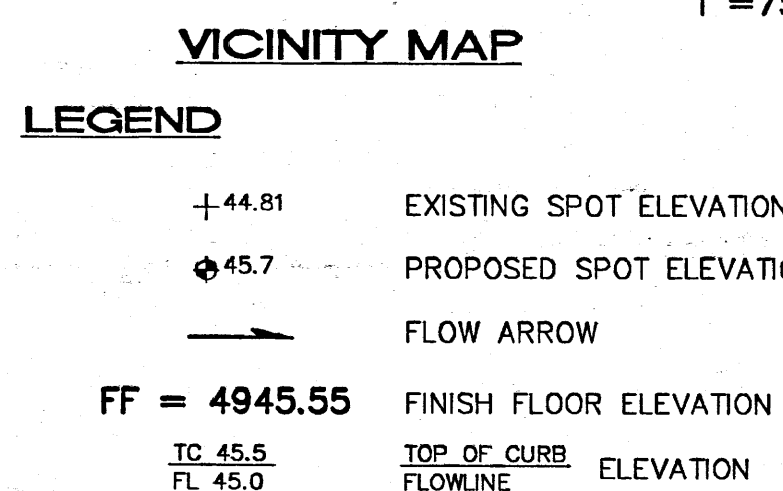
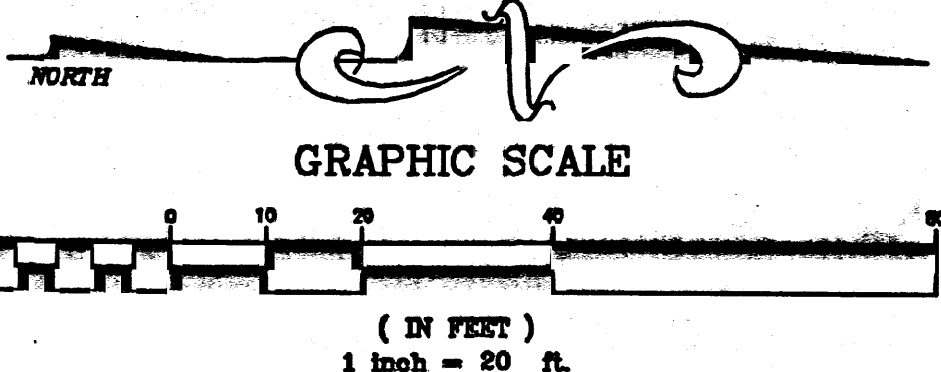




1. MATCH EXISTING GRADE.
2. INSTALL 8" PVC DRAIN LINE AND CONNECT TO EXISTING CATCH BASIN PER COA STANDARD DRAWING #2237.
3. INSTALL SINGLE TYPE "D" CATCH BASIN PER COA STANDARD DRAWING #2206.
4. INSTALL 6" PVC DRAIN LINE BETWEEN NEW CATCH BASINS.
5. EXISTING DRIVE PAD TO REMAIN.
6. CUT NEW-2' WIDE CURB OPENINGS AS SHOWN AND DEPRESS MEDIAN LANDSCAPING 2" BELOW PAVEMENT GRADE.
7. CURB RAMP SLOPE AT 1:12 (MAX).
8. RAISE EXISTING INLET GRATE TO MATCH PROPOSED GRADE, CLEAN STORM DRAIN LINE DOWNSTREAM TO 10TH STREET TO RESTORE CAPACITY.

LEGAL: Easterly portion of Rio Grande Zoo tract
AREA: Approx. 260' x 280' = 72,800 sf (1.67 acre)
PRECIPITATION ZONE: 2

FLOOD HAZARD: From FIRM Panel 333 (9/26/08), this site is identified as being within Zone 'X'; areas of 0.2% annual chance flood, areas of 1% annual chance flood depth of < 1' or with drainage areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is an existing paved parking area with the landscaped medians shown. The site is very flat with historic water ponding on pavement during rain storms.

PROPOSED IMPROVEMENTS: The proposed improvements include a new group entry and a 300 sf building with a 'will call' window along the west side of the parking area. The proposed group entrance replaces some existing concrete sidewalk and flatwork. No additional paved parking is proposed.

DRAINAGE APPROACH: The drainage plan improves the historic conditions by reducing the amount of current ponding on the parking surface. Four new catch basins and a small private storm drain pipe are proposed to drain water from the site. New curb cuts are included in the existing parking medians to allow ponding water to drain off the paving over time.

DRAINAGE CALCULATIONS:
The existing land treatment conditions remain unchanged with the proposed improvements so there is no change in runoff rates. Land treatment for this portion of the site is: 4% 'B' and 96% 'D'.

$$Q = [(0.04)(2.28) + (0.96)(4.70)](1.67) = 7.7 \text{ cfs (UNCHANGED)}$$

DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/09/10. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A MEDINA, NMPS 15702, OF THE FIRM TERRA LAND SURVEYS. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 10/14/11 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE PARKING LOT GRADE MODIFICATIONS AND MEDIAN CURB CUTS WERE NOT BUILT. THE PARKING LOT INLETS AND STORM DRAIN LINES WERE NOT BUILT

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

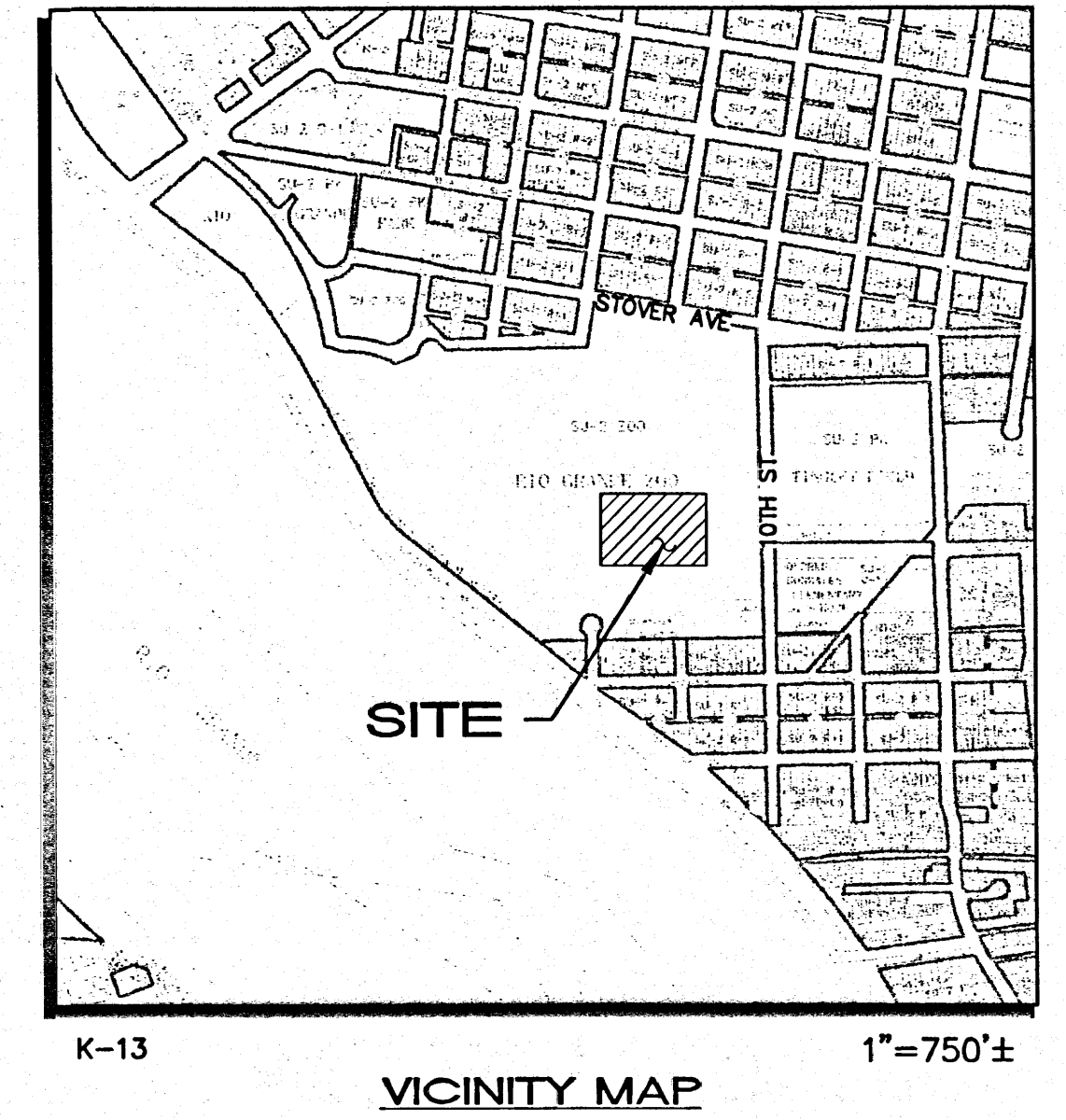
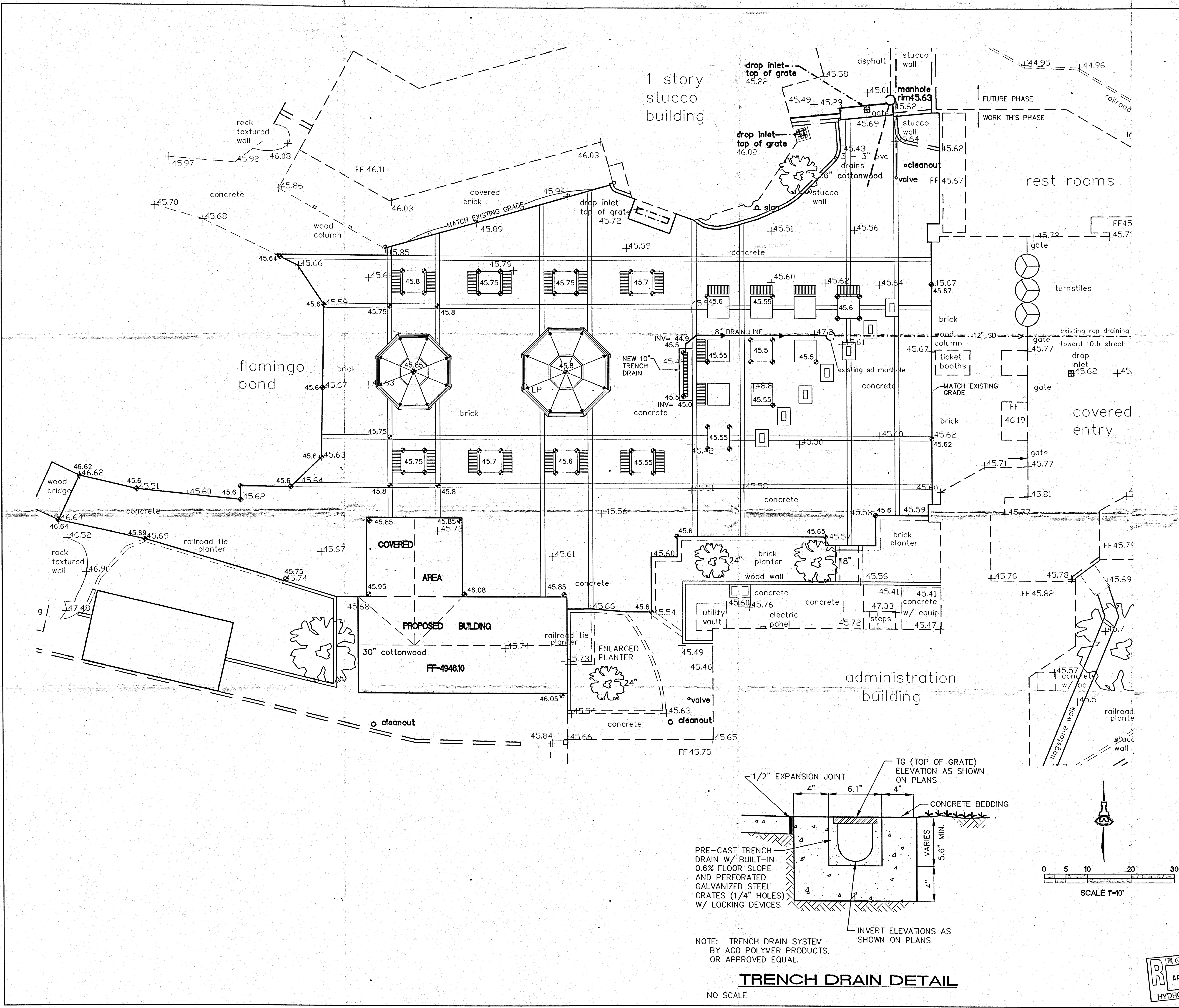
Scott M McFee 10/24/11

SCOTT M McGEE, NMPE 10519

Drainage Facilities within City Right-of-Way Notice to Contractor

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact the line location service at New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		SECTION _____												
TITLE: CITY OF ALBUQUERQUE ZOO														
GRADING AND DRAINAGE PLAN														
Design Review Committee	City Engineer Approval	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">Mo./Day/Yr.</td> <td style="width: 50%; padding: 2px;">Mo./Day/Yr.</td> </tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> </table>	Mo./Day/Yr.	Mo./Day/Yr.										
Mo./Day/Yr.	Mo./Day/Yr.													
		Least Design Update												
City Project No.	Zone Map No.	Sheet												
730701	K-13	C-10												



LEGAL DESCRIPTION: RIO GRANDE ZOO.

SURVEY: TOPOGRAPHIC SURVEY PREPARED BY FORSTBAUER SURVEYING, MARCH 2005.

AREA: 14,070 SF (0.323 ACRES)

FLOODPLAIN: FEMA FLOOD PANEL 0333 SHOWS THE SITE WITHIN ZONE 'X' WHICH IS A 100-YR FLOOD WITH AVERAGE DEPTH LESS THAN 1 FOOT.

EXISTING CONDITIONS INCLUDE A BRICK & CONCRETE PLAZA WITH PLANTERS. RUNOFF IS DIRECTED TO LOCAL INLETS AND IS PIPED TO TENTH STREET- EAST OF THE SITE.

PROPOSED DEVELOPMENT INCLUDES A NEW PLAZA SURFACING ALONG WITH A 1,058 SF BUILDING THAT HAS A COVERED AREA ON THE NORTH SIDE FOR STROLLER RENTALS.

EXISTING HYDROLOGY:
23% B & 77% D
PRECIPITATION ZONE: 2
 $Q_{100} = (0.07)(2.28)(0.25)(4.70) = 1.3cfs$

PROPOSED HYDROLOGY:
3% B & 97% D
 $Q_{100} = (0.01)(2.28)(0.31)(4.70) = 1.5cfs$

THE RUNOFF INCREASE IS MINIMAL AND WILL NOT ADVERSELY AFFECT THE DOWNSTREAM SYSTEM. TEMPORARY SHALLOW PONDING MAY OCCUR IN THE TREE WELL AREAS ON THE PLAZA, BUT WILL BE DRAINED WITHIN A SHORT TIME.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FINISH FLOOR ELEVATION
 - TRENCH DRAIN
 - INVERT ELEVATION
 - DRAIN LINE WITH SIZE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1450GRD.DWGdpl 04.20.05

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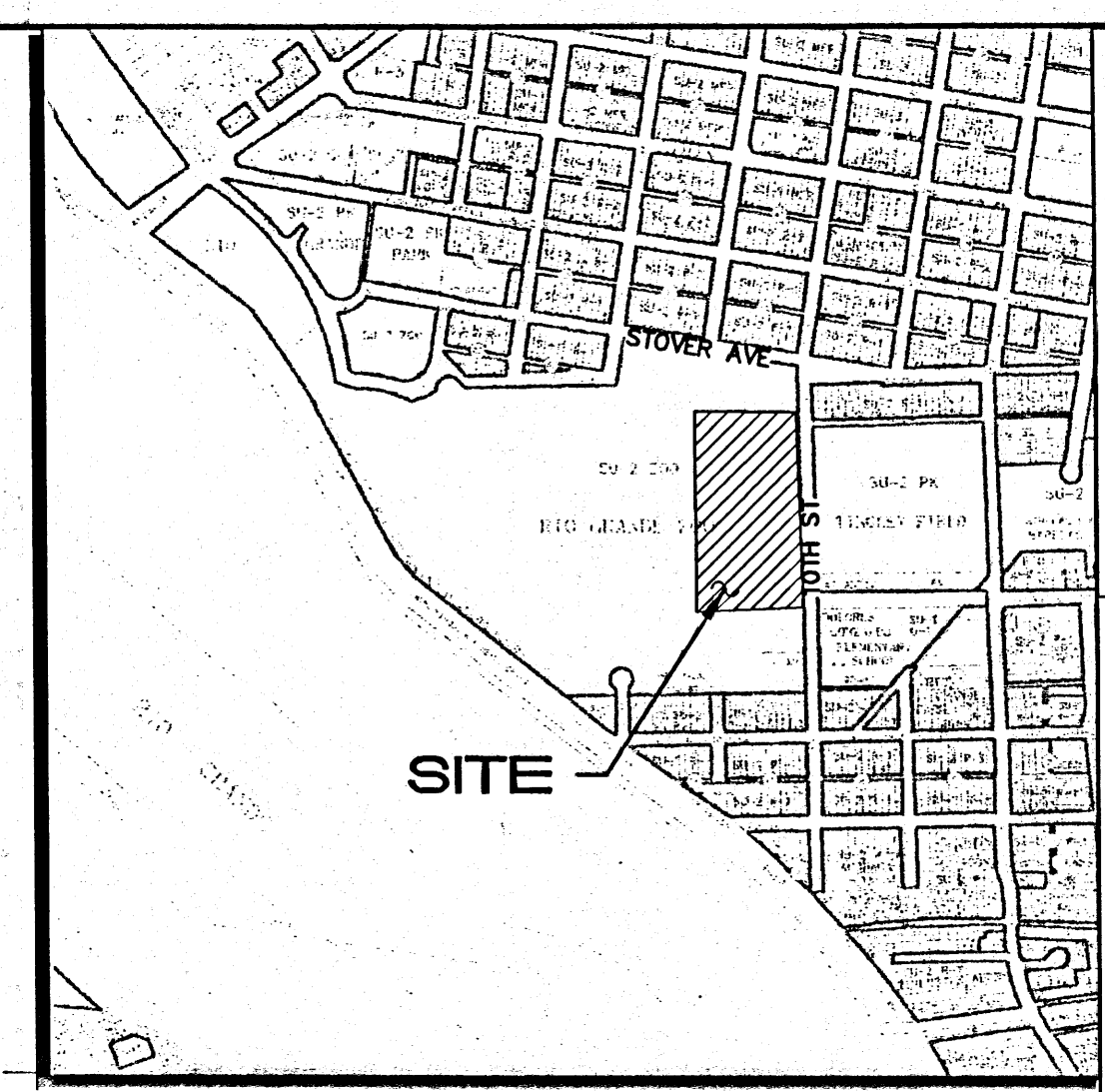
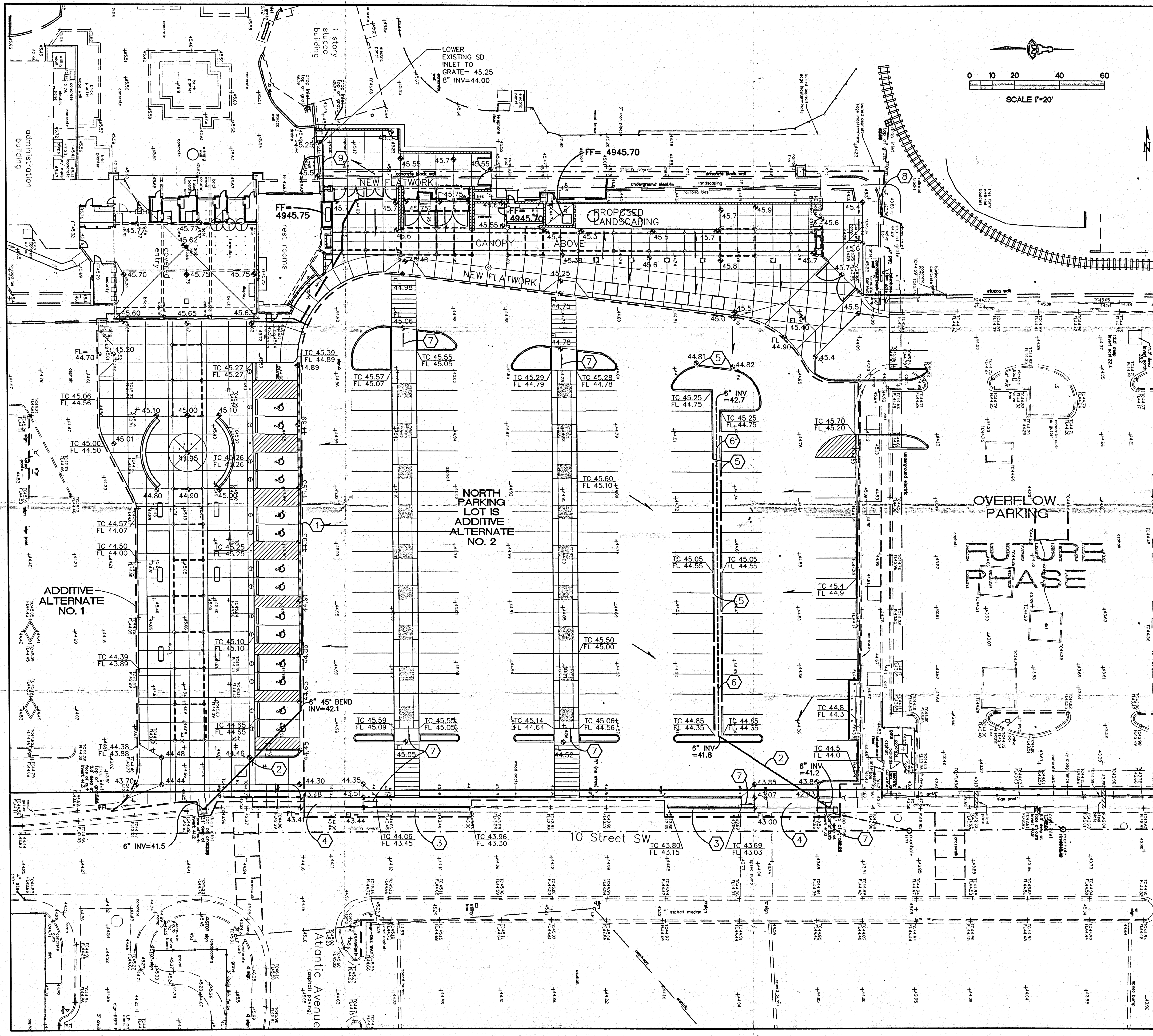
RIO GRANDE ZOO
STROLLER BUILDING / ENTRY PLAZA
GRADING & DRAINAGE PLAN

Checked By: SMM	Drawn By: thor	No. 1450	Revision	PAGE
Date: APR 20 2005	Job Number: 1450			51 OF

NOTE: TRENCH DRAIN SYSTEM BY ACO POLYMER PRODUCTS, OR APPROVED EQUAL.

TRENCH DRAIN DETAIL

NO SCALE



- VICINITY MAP**
- LEGEND**
- +44.81 EXISTING SPOT ELEVATION
 - 45.7 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FF = 4945.70 FINISH FLOOR ELEVATION
 - TC 45.5 TOP OF CURB ELEVATION
 - FL 45.0 FLOWLINE
 - PROPOSED TRENCH DRAIN
 - 2' WIDE CURB OPENINGS
 - ADDITIVE ALTERNATE LIMIT
- KEYED CONSTRUCTION NOTES**
- INSTALL 130 LF TRENCH DRAIN (ADDITIVE ALT. NO. 1)
 - INSTALL 6" PVC DRAIN LINE AND CONNECT TO CATCH BASIN PER COA STD DWG # 2237.
 - REMOVE & DISPOSE EXISTING DRIVEPAD. CONSTRUCT STD-CURB-&GUTTER-AND-CONCRETE-SIDEWALK PER COA STD DWGS #2415 & #2430.
 - BUILD NEW 28' WIDE DRIVEPAD WITH UNI-DIRECTIONAL RAMPS PER COA STD DWGS #2425 & #2426.
 - PROVIDE 2' WIDE CURB OPENINGS AT 20' ON CENTER.
 - INSTALL 6" DIAMETER PERFORATED PIPE WRAPPED WITH FILTER FABRIC (ADS DRAIN GUARD) OR APPROVED EQUAL. BACKFILL TRENCH WITH 3/4" GRAVEL WITHIN 6" ON ALL SIDES OF PIPE. BACKFILL WITH GRAVEL AT CURB OPENINGS TO 8" BELOW PARKING LOT FL ELEVATION.
 - CURB RAMP SLOPE AT 1:12 (MAX).
 - RAISE STORM DRAIN INLET GRATE & CONCRETE COLLAR TO GRATE ELEVATION = 45.20.
 - EXTEND 8" STORM DRAIN PIPE (PVC SDR 35) FROM ROOF DRAIN TO INLET AT INV=44.0.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	STATION	MARK	FIELD NOTES	REMARKS	NO.	DATE
CITY OF ALBUQUERQUE 3-K13.	1-3/05						
A SQUARE CHISEL ON TOP OF CONCRETE CURB AT THE WSW CURB							
RETURN OF THE INTERSECTION OF 12TH STREET AND STOVER AVENUE SW.							
RECORD BY	DATE	DESIGNED BY	DATE	CHECKED BY	DATE	DESIGNED BY	DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8928 Fax. 505-268-2632
1450.IGRD.DWGthor 05.02.06

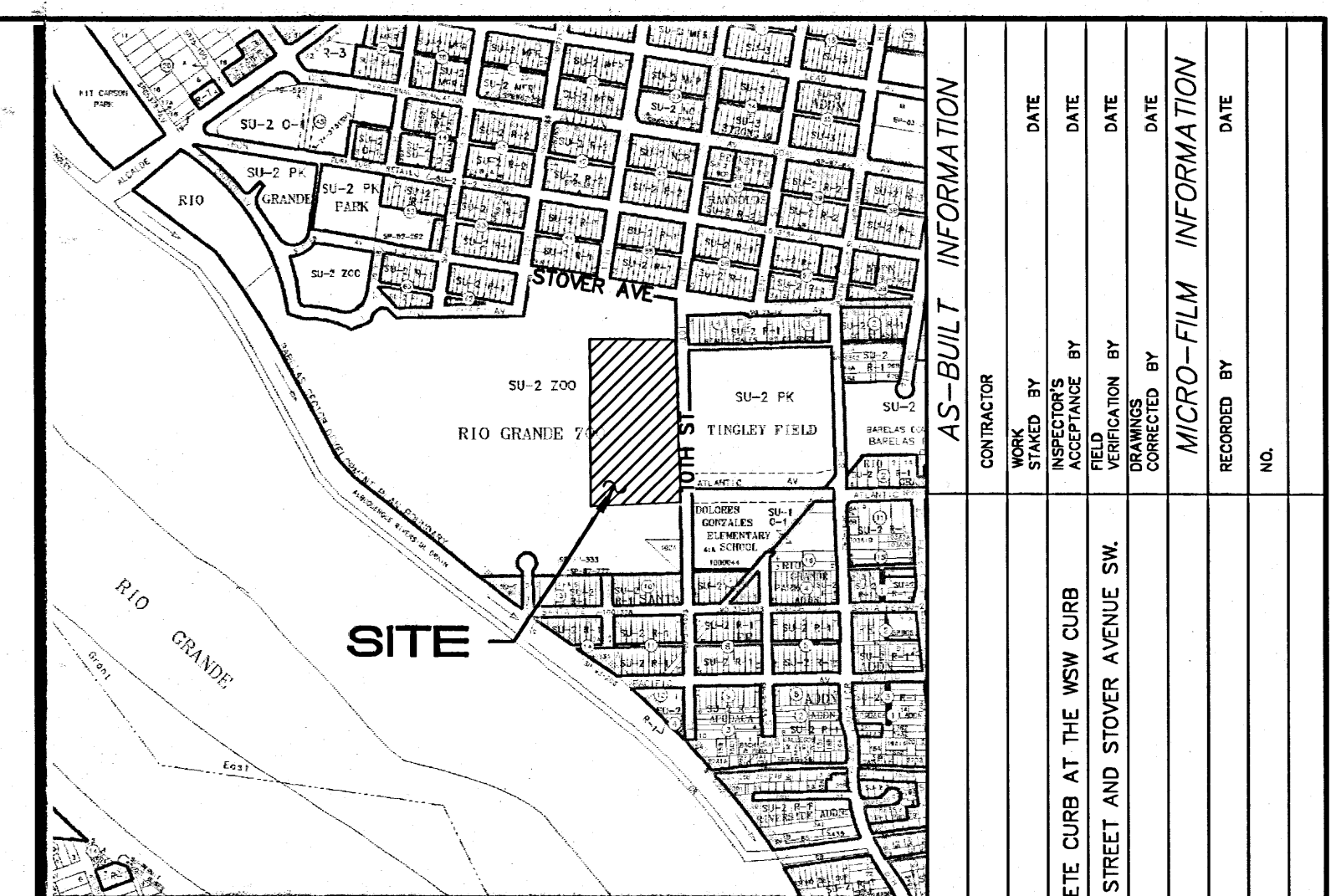
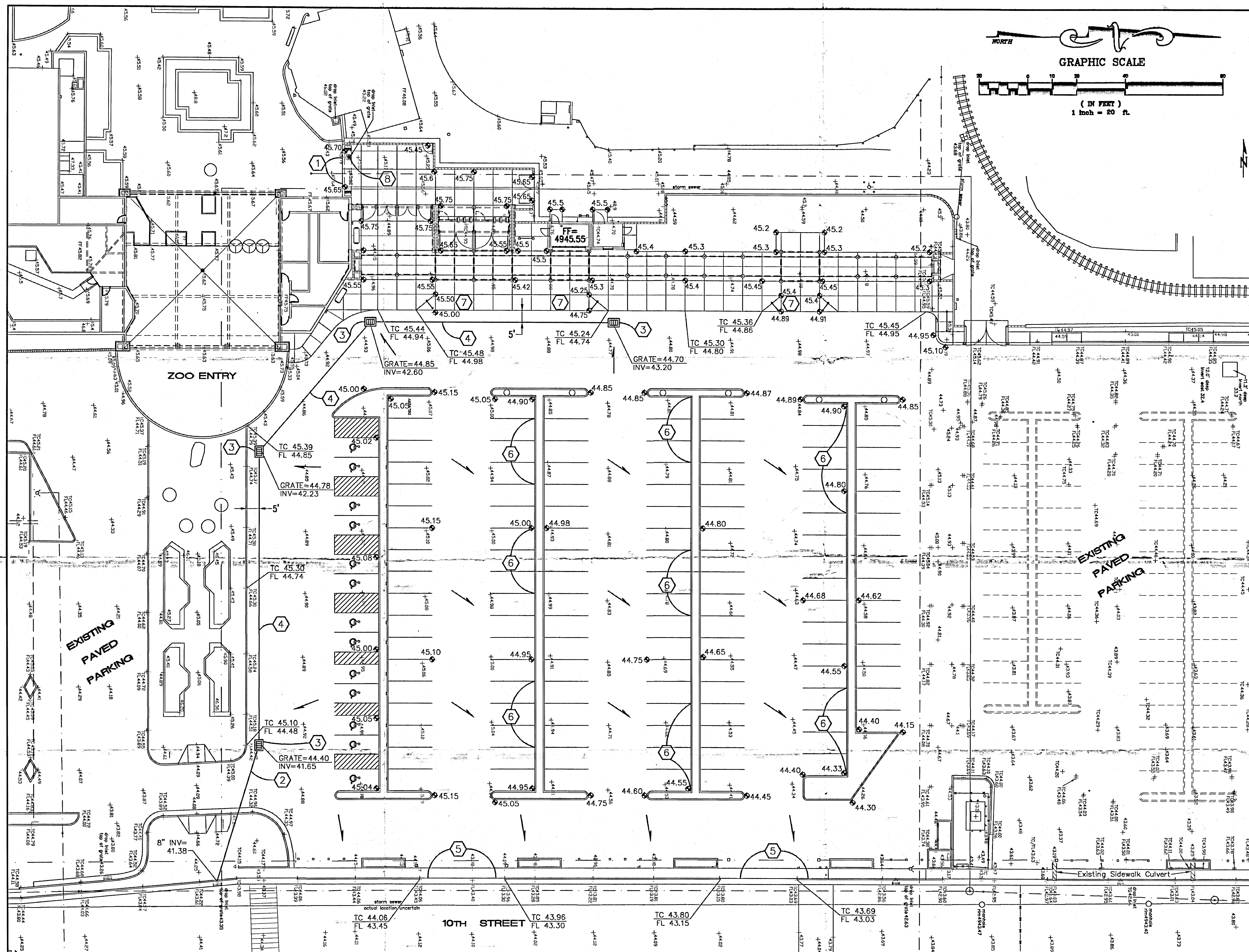
LEE GAMESKY ARCHITECTS P.C.
2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lga@swpc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: CITY OF ALBUQUERQUE ZOO
GRADING AND DRAINAGE PLAN

Design Review Committee City Engineer Approval
RECEIVED
APR 24 2006
HYDROLOGY SECTION

Zone Map No. **K-13** Sheet **C-1.0** Of **10**



LEGEND

+ 44.81 EXISTING SPOT ELEVATION
 45.7 PROPOSED SPOT ELEVATION
 → FLOW ARROW
 FF = 4945.55 FINISH FLOOR ELEVATION
 TC 45.5 TOP OF CURB ELEVATION
 FL 45.0 FLOWLINE

- KEYED NOTES**
- MATCH EXISTING GRADE.
 - INSTALL 8" PVC DRAIN LINE AND CONNECT TO EXISTING CATCH BASIN PER COA STANDARD DRAWING #2237.
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 - EXISTING DRIVE PAD TO REMAIN.
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 - CURB RAMP SLOPE AT 1:12 (MAX).
 - RAISE EXISTING INLET GRATE TO MATCH PROPOSED GRADE, CLEAN STORM DRAIN LINE DOWNSTREAM TO 10TH STREET TO RESTORE CAPACITY.

LEGAL: Easterly portion of Rio Grande Zoo tract

AREA: Approx. 260' x 280' = 72,800 sf (1.67 acre)

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FIRM Panel 333 (9/26/08), this site is identified as being within Zone 'X'; areas of 0.2% annual chance flood, areas of 1% annual chance flood depth of < 1' or with drainage areas protected by levees from 1% annual chance flood.

EXISTING CONDITIONS: The site is an existing paved parking area with the landscaped medians shown. The site is very flat with historic water ponding on pavement during rain storms.

PROPOSED IMPROVEMENTS: The proposed improvements include a new group entry and a 300' of building with a 'will call' window along the west side of the parking area. The proposed group entrance replaces some existing concrete sidewalk and flatwork. No additional paved parking is proposed.

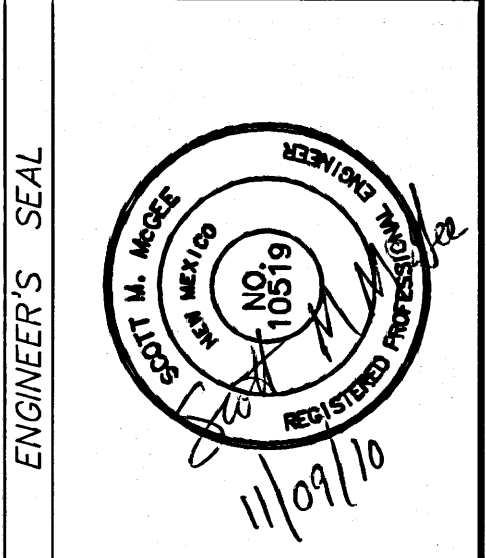
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DRAINAGE CALCULATIONS:
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 $Q = [(0.64)(2.28) + (0.96)(4.70)](1.67) = 7.7 \text{ cfs (UNCHANGED)}$

- Drainage Facilities within City Right-of-Way Notice to Contractor
- An excavation permit it will be required before beginning any work within City Right-Of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets shall be performed on a 24-hour basis.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		NOV 09 2010 HYDROLOGY SECTION	
TITLE: CITY OF ALBUQUERQUE ZOO GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 730701	Zone Map No. K-13	Sheet C-1.0	Of

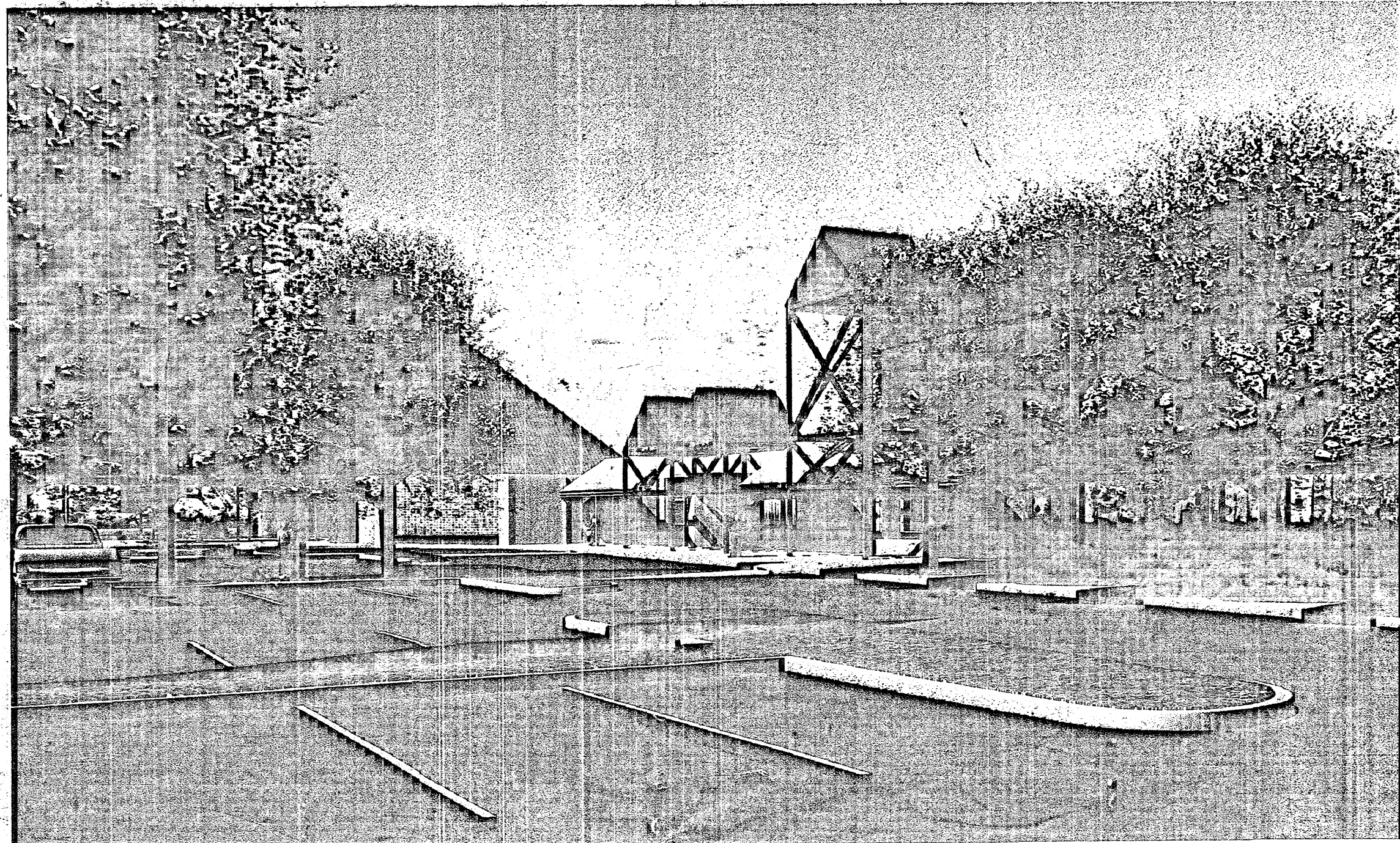
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	CONTRACTOR	DATE	FIELD NOTES	DATE
CITY OF ALBUQUERQUE 3-K13	1-3/05	FORSTBAUER SURVEYS	1-3/05		
A SQUARE CHIEFED ON TOP OF CONCRETE CURB AT THE WSW CURB					
RETURN OF THE INTERSECTION OF 12TH STREET AND STOVER AVENUE SW.					
DESIGNED BY	DATE	DESIGNED BY	DATE		
CHECKED BY	DATE	CHECKED BY	DATE		
RECORDED BY	DATE	RECORDED BY	DATE		
NO.		NO.			



REVISIONS	DATE	BY
DESIGN	11/08/10	
DESIGNED BY	DATE	
DRAWN BY	DATE	
CHECKED BY	DATE	

CITY OF ALBUQUERQUE
RIO GRANDE ZOO ENTRY IMPROVEMENTS

903 TENTH STREET SW
Albuquerque, New Mexico



CITY PROJECT NUMBER: 730391

A/E JOB NUMBER: 04-01-AL

OWNER: CITY OF ALBUQUERQUE
RIO GRANDE ZOO

MAYOR: RICHARD BERRY

DIRECTOR OF RIO GRANDE ZOO: RICK JANSEN

CONSTRUCTION MANAGER: VINCE GALLEGOS

ARCHITECT: LEE GAMELSKY ARCHITECTS P.C. 842.8865 842.1693

Principal: Lee Gamelsky, A.I.A. lee@gamr.com
Project Manager: Steve Osborn

CIVIL ENGINEER: ISAACSON & ARFMAN, P.A. 268.8828 268.2632
Scott M McGee, P.E.

SITE DATA

LOCATION: 903 TENTH STREET S.W.
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: SUMMARY PLAT FOR RIO GRANDE ZOOLOGICAL PARK.

ZONING: SU-2 ZOO

LOT AREA: 63 ACRES.
2,744,280. SQ.FT.

-NEW BUILDING AREA = 287 S.F. (GROUP SALES)
-THE NEW PORTAL STRUCTURE IS OPEN AREA.
-THIS PROJECT DOES NOT AFFECT THE SQUARE FOOTAGE OF ANY EXISTING BUILDINGS.

PARKING REQUIREMENTS:
EXISTING PARKING SPACES:

	FULL SIZE HANDICAP	585 SPACES 17 SPACES
	SUBTOTAL	602 SPACES
SUBTOTAL NO. FULL SIZE PARKING SPACES	585 SPACES	
SUBTOTAL NO. OF HANDICAPPED SPACES	17 SPACES	
TOTAL NO. OF EXISTING PARKING SPACES	602 SPACES	
REQUIRED NO. HANDICAPPED PARKING SPACES PER COA ZONING CODE (14-16.3.1)	= 16,	
17 > 16, THEREFORE OK		
TOTAL NO. PARKING SPACES	602 SPACES	
BICYCLE PARKING: 1 SPACE PER 20 CARS = 31 REQUIRED. 32 BICYCLE SPACES PROVIDED. (EXISTING)		

LANDSCAPE REQUIREMENTS

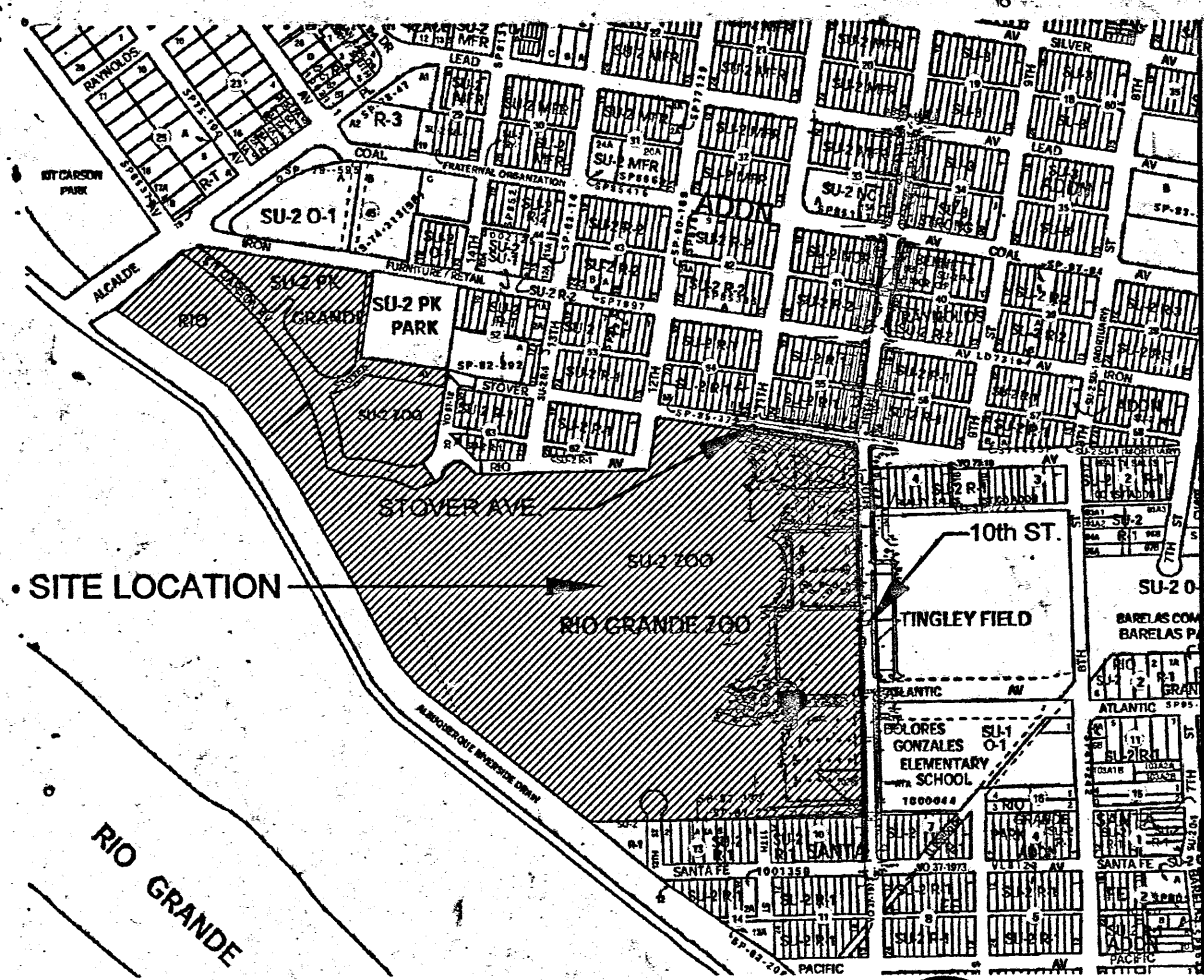


TOTAL LOT AREA = 63 ACRES = 2,744,280. SQ.FT.

BASED ON AERIAL MAP, EXISTING LANDSCAPING IS AT MINIMUM 20% OF THE TOTAL LOT AREA OR 548,856 SQ.FT. (12.8 ACRES) THIS AREA EXCEEDS THE MINIMUM REQUIREMENTS OF 15% OF THE NET LOT AREA.

SCOPE OF WORK

- THIS PROJECT INCLUDES NEW ZOO ENTRY IMPROVEMENTS TO HELP FACILITATE EXITING - EGRESS AND ACCESS - ENTERING THE FACILITY DURING LARGE EVENTS. THESE IMPROVEMENTS ALSO PROVIDE LARGE GATES FOR EMERGENCY VEHICLES TO ENTER THE ZOO. THESE IMPROVEMENTS DO NOT INCREASE THE EXHIBIT AREA OF THE ZOO. IT DOES NOT INCREASE THE PARKING REQUIREMENTS OF THE ZOO. THESE IMPROVEMENTS ARE MERELY DESIGNED TO IMPROVE THE ACCESS - EGRESS OF PEOPLE INTO AND OUT OF THE ZOO AND TO IMPROVE THE EMERGENCY VEHICLE ACCESS TO THE ZOO. THE ZOO WILL REMAIN OPEN DURING CONSTRUCTION.
- A NEW STEEL ENTRY PORTAL STRUCTURE WILL BE INSTALLED IMMEDIATELY NORTH OF THE EXISTING ENTRY PYRAMID STRUCTURE. THE NEW PORTAL STRUCTURE WILL PROVIDE ADDITIONAL EXIT GATES AND A NEW GROUP ENTRY. A SMALL WILL CALL / GROUP SALES BUILDING WITH TICKET WINDOWS (287 SF) WILL BE CONSTRUCTED.
- THE EXISTING ENTRY PYRAMID WILL REMAIN. A NATURAL STONE VENEER (GOLDEN OAK CUT STONE WILL BE ADDED TO THE COLUMN BASES SUPPORTING THE PYRAMID.
- THE NEW PORTAL WILL HAVE PRE FINISHED METAL ROOF PANELS: RED, BLUE, GREEN AND YELLOW COLORS. THE STEEL STRUCTURE WILL BE PAINTED. (POWDER COAT, FINISH IF BUDGET ALLOWS).
- THIS PROJECT ALSO INCLUDES RAISING UP THE EXISTING CMU WALL (WITH STUCCO FINISH) TO 8'-0" HIGH ALONG THE EAST SIDE OF THE ZOO TO MEET AMERICAN ZOOLOGICAL ASSOC. REQUIREMENTS FOR ANIMAL CONTAINMENT.
- SOME OF THE EXISTING STRUCTURES WILL RECEIVE A NEW STUCCO FINISH COAT.
- THE NEW LANDSCAPE AREA NORTH OF THE GROUP SALES BUILDING WILL BE AN ASSORTMENT OF INDIGENOUS XERISCAPE PLANTS AND FLOWERING ANNUALS, CONNECTED TO THE EXISTING IRRIGATION SYSTEM. THE PARKING LOT, EAST OF THE NEW ENTRY PORTAL IS ALREADY LANDSCAPED.
- NEW SIDEWALKS WILL BE PROVIDED AT THE NEW ENTRY PORTAL STRUCTURE.
- THE PARKING IS EXISTING.



Zone Location Map K-13-Z

PREVIOUS PROJECT NUMBERS: 1008056, BA-1073, V-73-14, V-132

CITY OF ALBUQUERQUE PLANNING DEPT. APPROVAL DATE
ADMINISTRATIVE AMENDMENT

INDEX OF DRAWINGS

G-001 COVER / SITE DATA / SCOPE OF WORK
AS-1.0 SITE PLAN: KEY PLAN
AS-1.2 SITE PLAN AND GRADING / DRAINAGE: NEW GROUP ENTRY
AS-1.5 GROUP ENTRY PLAN: SOUTH END
AS-1.6 GROUP ENTRY PLAN: NORTH END
L-1.0 LANDSCAPE PLAN
C-1.0 GRADING & DRAINAGE PLAN
C-2.0 BUILDING EXTERIOR ELEVATIONS

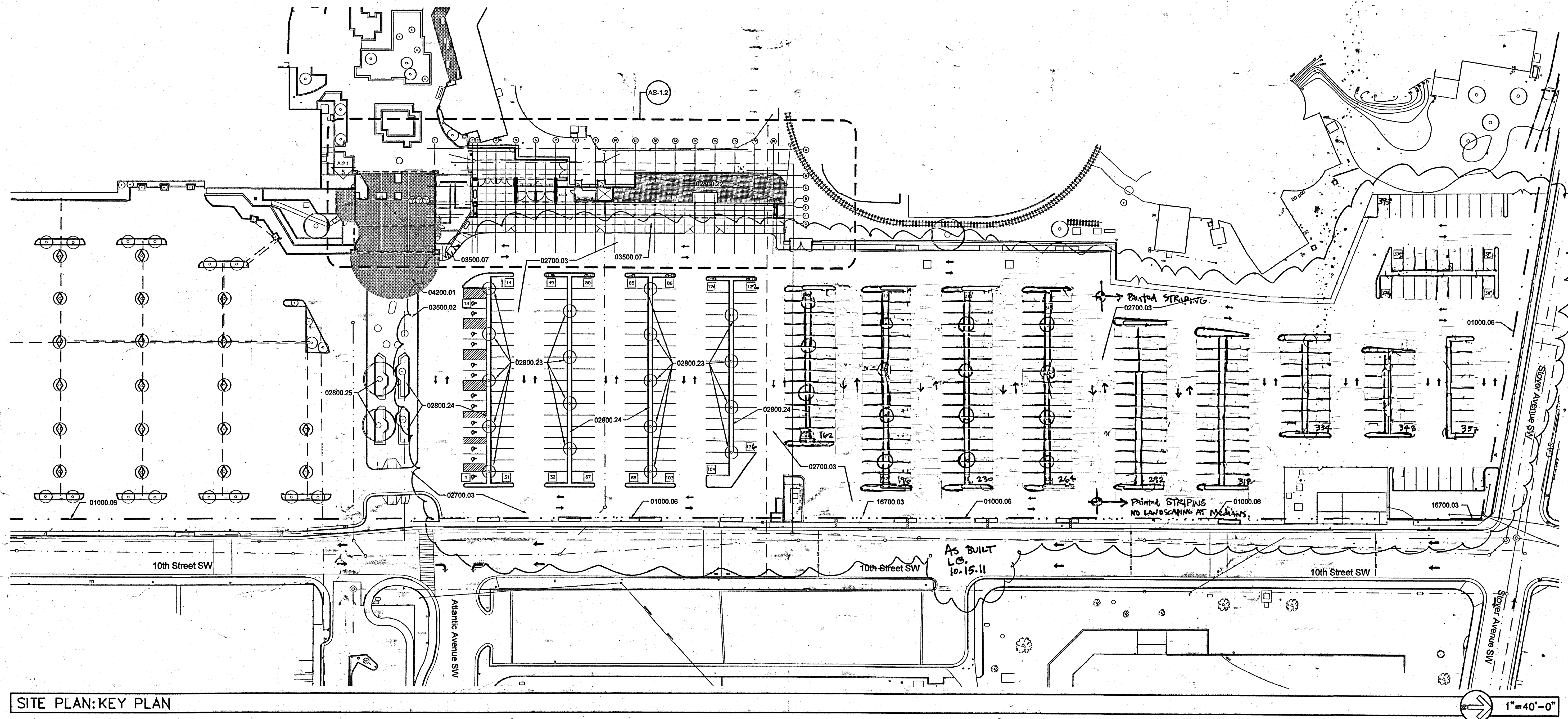
PREVIOUS CASE HISTORY DRAWINGS:
MASTER PLAN: INDICATING ADMINISTRATIVE AMENDMENT
APPROVAL, PROJECT No. 1008056

ADMINISTRATIVE AMENDMENT
FILE # 10-10025 PROJECT # 1008199
new entry portal
Mann 3/10/10
APPROVED BY DATE

ZONING ENFORCEMENT
City of Albuquerque

LEE GAMELSKY ARCHITECTS P.C.
2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.942.8865 FAX 505.942.1693
lee@gamr.com

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ARCHITECTS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman				APPROVED FOR CONSTRUCTION	
		Transportation				City Architect Date	
		Water/Wastewater				City Engineer Date	
		Hydrology					
		C.L.P.					
		Constr. Mngmt.					
		City Project No.				Sheet	
		730391				1 of 9	
						COVER G-001	



SITE PLAN:KEY PLAN

Keyed Notes

01000.06 PROPERTY LINE.
02700.03 EXISTING ASPHALT TO REMAIN.
02800.22 LANDSCAPING AREA BY OWNER. ASSORTMENT OF INDIGENOUS XERISCAPE
PLANTS AND FLOWERING ANNUALS, CONNECTED TO THE EXISTING IRRIGATION
SYSTEM.
02800.23 EXISTING ARIZONA SYCAMORE TO REMAIN.
02800.24 EXISTING LANDSCAPE AREA TO REMAIN.
02800.25 EXISTING LARGE COTTONWOOD TO REMAIN.
03500.02 EXISTING SIDEWALK/SLAB TO REMAIN.
03500.07 NEW 4" THICK AIR ENTRAINED CONCRETE SIDEWALK / SLAB OVER 95%
COMPACTED GRADE. REINFORCE WITH 6X6-10/10 WWM. FLAT SHEETS ON
CHAIRS. INSTALL PER C.O.A. STANDARDS. SEE CIVIL.
04200.01 EXISTING BRICK PAVERS TO REMAIN.
16700.03 DATA / COMM. UNDERGROUND SERVICE.

ZONING ENFORCEMENT
City of Albuquerque

LEE GAMELSKY ARCHITECTS P.C.

2412 MILES ROAD SE
ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1693
lga@swcp.com

CITY OF ALBUQUERQUE
RIO GRANDE ZOO

TITLE: SITE PLAN: KEY PLAN

Design Review Committee

City Engineer Approval

⑥	MO./DAY/YR.	MO./DAY/YR.

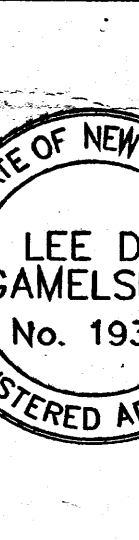
02/17/10	
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City Project No. 730391

Zone Map No.
K-13-Z

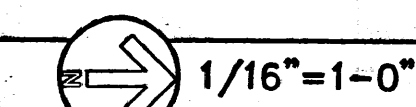
Sheet: 2 Of 9
AS-1.0

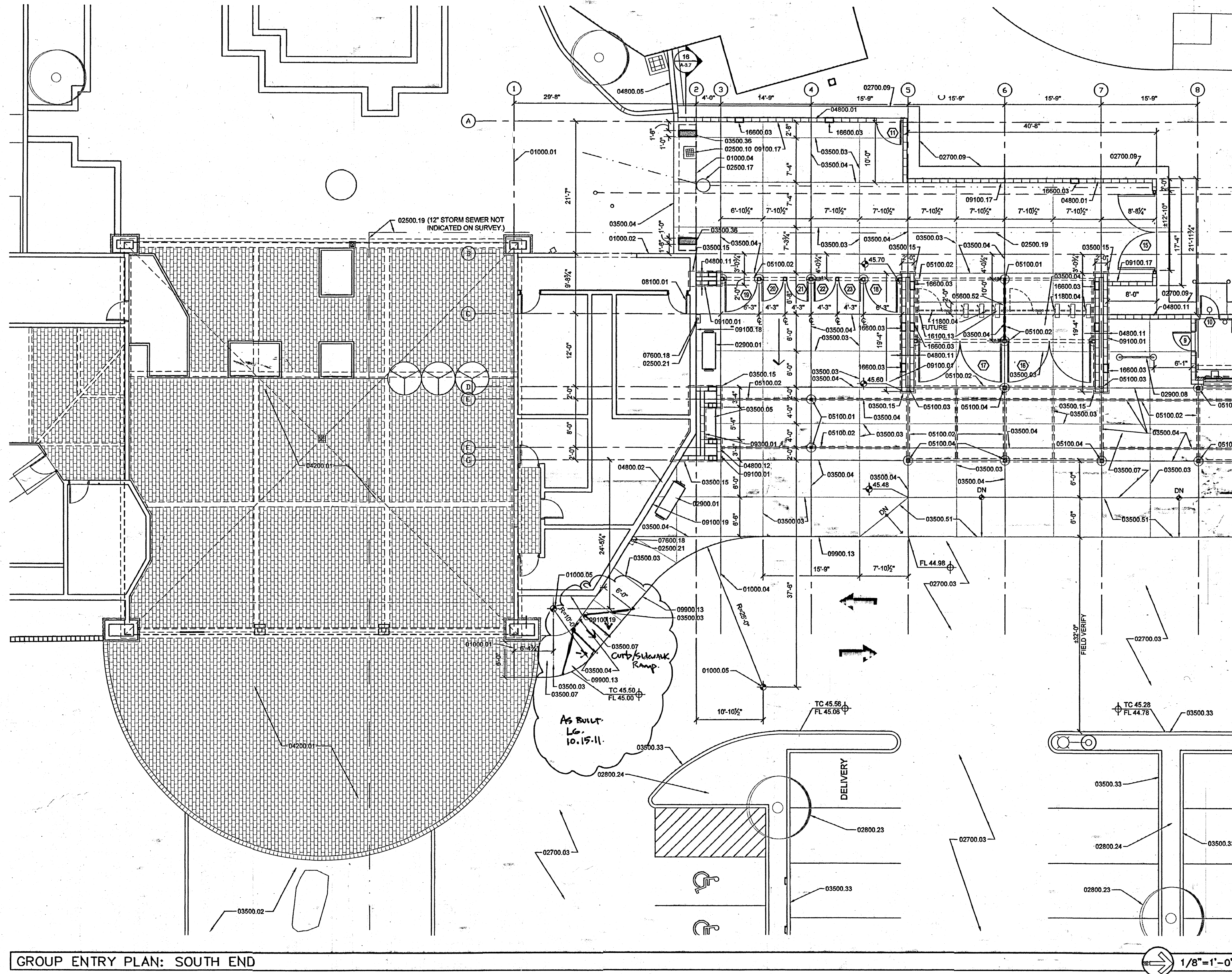
DESIGNED BY: LGA		DATE:	
DRAWN BY:		DATE:	
CHECKED BY: LG		DATE:	



STATE OF NEW MEXICO
LEE D. GAMELSKY
No. 1931
REGISTERED ARCHITECT

BY		SURVEY INFORMATION		FIELD NOTES		BENCH MARK		AS BUILT INFORMATION	
								CONTRACTOR	
		NO.		BY		DATE		DATE:	
								WORK STAMPED BY	
								DATE:	
								INSPECTOR'S APPROVAL	
								DATE:	
								FIELD VERIFICATION BY	
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								DRAWING CORRECTED BY	
								DATE:	
								MICRO-FILM INFORMATION	
								RECORDED BY	
								DATE:	
								NO.	





Keyed Notes

- 01000.01 GRID LINE 1 IS FACE OF EXISTING CMU WALL UNDER PYRAMID.
01000.02 GRID LINE 2 IS FACE OF EXISTING WALL.
01000.04 GRID LINE 2 IS FACE OF EXISTING CMU WALL.
01000.05 SPOT INDICATES START OF RADIUS / TANGENT POINT.
02500.10 EXISTING DRAIN INLET TO BE REMOVED / MODIFIED. SEE CIVIL.
02500.17 EXISTING MANHOLE LOCATION TO BE MODIFIED. TOP OF MANHOLE TO BE FLUSH W/ TOP OF NEW CONCRETE SIDEWALK. SEE CIVIL.
02500.19 EXISTING STORM SEWER TO REMAIN. SEE CIVIL.
02500.21 DOWNLEADER PIPED INTO DRAIN PIPE. SEE CIVIL.
02700.03 EXISTING ASPHALT TO REMAIN.
02700.05 PROVIDE 2'-0" WIDE MINIMUM STRIP OF NEW ASPHALT ALONG THE WEST SIDE OF THE NEW CMU WALL. SEE SITE PLAN.
02800.23 EXISTING ARIZONA SYCAMORE TO REMAIN.
02800.24 EXISTING LANDSCAPE AREA TO REMAIN.
02900.01 PALOMAR BENCH SEAT: MODEL NO. 2643-8. MANUFACTURED BY TIMBERFORM, 503-223-1157, OR EQUAL.
02900.08 EXISTING BICYCLE RACK. REMOVE AND RELOCATE SEE SITE PLAN. ANCHOR W/ 4 - 1/2" X 3" LONG EXPANSION ANCHORS AT EACH BASE PLATE. FIELD VERIFY BASE PLATE SIZE / HOLE DIAMETERS.
03500.02 EXISTING SIDEWALK/SLAB TO REMAIN.
03500.03 CONCRETE-CONTROL JOINT.
03500.04 CONCRETE EXPANSION JOINT.
03500.05 18" RICH BY22" DEEP CAST-IN-PLACE CONCRETE BENCH, 3000 PSI MIN. SEE DETAIL.
03500.06 NEW CONCRETE CURB. PER C.O.A. STANDARD.
03500.07 NEW 4" THICK AIR ENTRAINED CONCRETE SIDEWALK / SLAB OVER 95% COMPACTED GRADE. REINFORCE WITH 6X6-10-10 WWM. FLAT SHEETS ON CHAIRS. INSTALL PER C.O.A. STANDARDS. SEE CIVIL.
03500.15 DASHED LINE INDICATES CONCRETE CAP ABOVE.
03500.33 EXISTING CONCRETE CURB TO REMAIN.
03500.36 NEW CAST-IN-PLACE CONCRETE COLUMN. SEE STRUCTURAL.
03500.51 NEW 4" THICK AIR ENTRAINED CONCRETE RAMP / SLOPED SIDEWALK OVER 95% COMPACTED GRADE. REINFORCE WITH 6X6-10-10 WWM. FLAT SHEETS ON CHAIRS. INSTALL PER C.O.A. STANDARDS. SEE CIVIL.
04200.01 EXISTING BRICK PAVERS TO REMAIN.
04800.01 8"x8"x16" CMU BLOCK. (3) COAT STUCCO SYSTEM FINISH OVER CMU.
04800.02 EXISTING MASONRY WALL TO REMAIN. NEW STUCCO FINISH.
04800.05 EXISTING CMU WALL TO REMAIN. NEW STUCCO FINISH.
04800.11 NEW 12'-0" H CMU WALL. SEE DETAIL. NEW STUCCO FINISH OVER CMU.
04800.12 NEW 14'-0" H CMU WALL. SEE DETAIL. NEW STUCCO FINISH OVER CMU.
05100.01 T.S. 4X4 COLUMN. SEE STRUCTURAL. POWDERCOAT FINISH.
05100.02 DASHED LINE INDICATES T.S. BEAM ABOVE. SEE STRUCTURAL. POWDERCOAT FINISH.
05100.03 DASHED LINE INDICATES T.S. COLUMN ABOVE ON NEW CMU WALL. POWDERCOAT FINISH.
05100.04 T.S. 6X6 COLUMN. SEE STRUCTURAL. POWDERCOAT FINISH.
05600.52 TS 2X2X3/16" RAIL SYSTEM. WELD TO TS COLUMNS. GRIND SMOOTH. PRIME AND PAINT.
07600.18 24 GA. GALVANIZED DOWNLEADER.
08100.01 EXISTING DOOR TO REMAIN. PRIME AND PAINT.
09100.01 NEW 3 COAT STUCCO SYSTEM.
09100.17 3 COAT STUCCO SYSTEM OVER NEW CMU WALL.
09100.18 NEW 3 COAT STUCCO SYSTEM OVER EXISTING CMU WALL.
09100.19 NEW STUCCO FINISH AND BROWN COAT OVER EXISTING STUCCO AND CMU.
09300.01 GLAZED CERAMIC WALL TILES. MANUFACTURED BY AGROB BUCHTAL TILES (OR EQUAL). CHROMA II GLAZED SERIES. THERE SHALL BE UP TO 30 DIFFERENT COLORS SELECTED. COLORS SHALL BE SELECTED FROM FULL RANGE OF COLOR CHART. COLORS FROM THE INTENSE AND CONTRASTING COLORS WILL NOT EXCEED 20% OF ALL TILES. PROVIDE 15 CM X 15 CM TILES. PROVIDE COLORED GROUT. DESIGN / PATTERN TO BE PROVIDED BY ARCHITECT. 15% OF TILES WILL REQUIRE CUTS IN TILE. INSTALL PER TOA NO. W201. IN ADDITION PROVIDE A WATER PROOF MEMBRANE ON FRONT FACE OF MORTAR BED DIRECTLY BENEATH THE TILE.
09900.13 AT THIS LOCATION PAINT THE CURB RED, WITH 4" WHITE LETTERS TO READ "FIRE LANE. NO PARKING". INSTALL LETTERING @40'-0" O.C.
11800.04 DASHED LINE INDICATES FUTURE TURNSTILE.
16100.13 ROUGH-IN CONDUIT. CAP VERTICAL STUB-OUTS BELOW NEW CONCRETE SLAB FOR FUTURE TURNSTILE. SEE ELECTRICAL.
16600.03 RECESSED STEP LIGHT. SEE ELECTRICAL.
16600.09 RELOCATED EXTERIOR LIGHT FIXTURE AND CONCRETE BASE. SEE ELECTRICAL.

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		FIELD NOTES		REVISIONS/REMARKS		BY		DATE		DESIGNED BY		DRAWN BY		CHECKED BY		DATE	
CONTRACTOR	DATE	WORK STAKED BY	DATE	INSPECTOR'S APPROVAL	DATE	FIELD VERIFICATION BY	DATE	DRAWING CORRECTED BY	DATE	MICRO-FILM INFORMATION	RECORDED BY	NO.		LOA	DATE	LG	DATE				



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ZONING ENFORCEMENT
City of Albuquerque

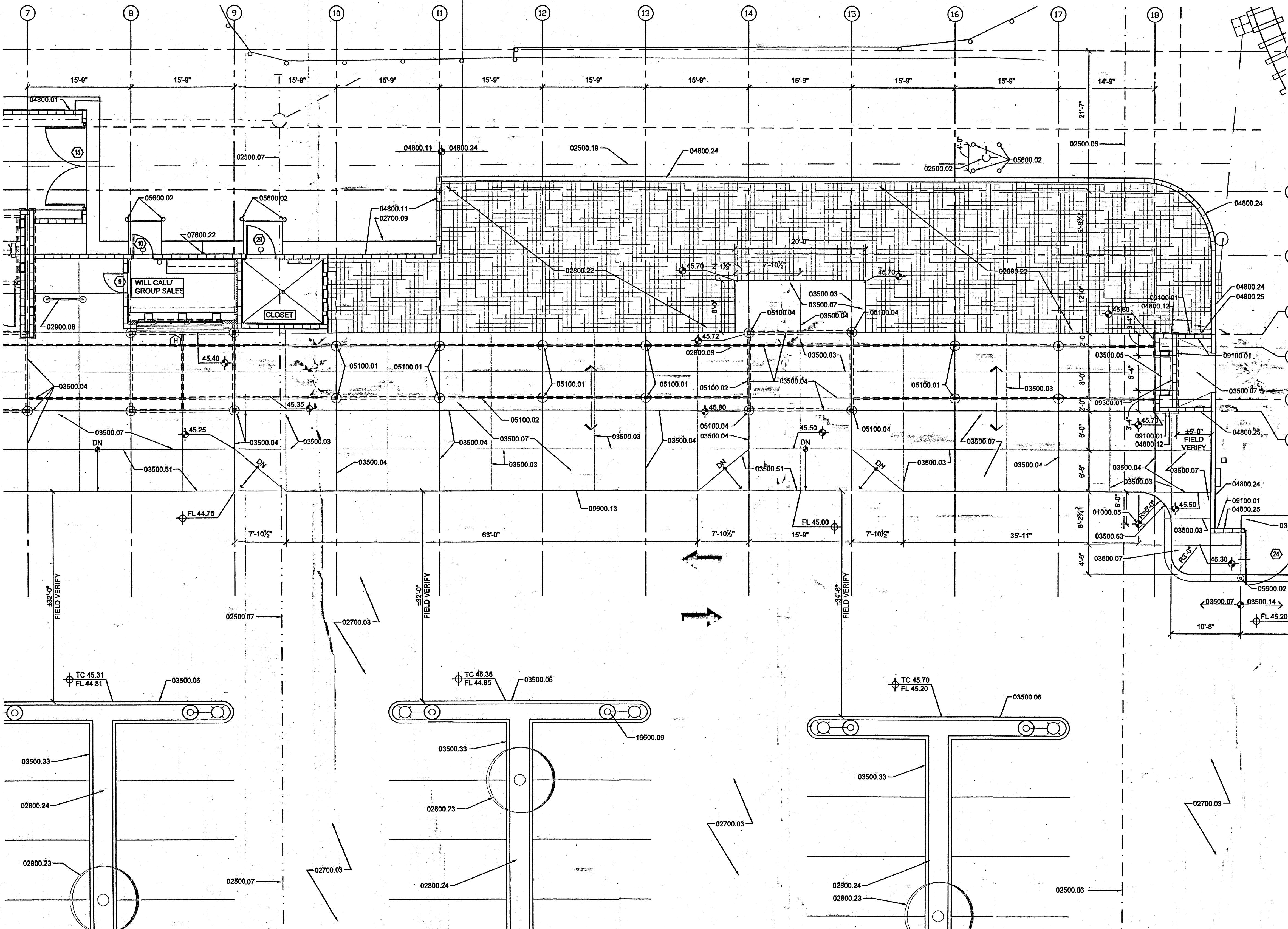
CITY OF ALBUQUERQUE
RIO GRANDE ZOO

TITLE:
GROUP ENTRY PLAN : SOUTH END

Design Review Committee	City Engineer Approval	NO. DATE	02/17/10
City Project No.	730391	Zone Map No.	K-13-Z
Sheet	4 of 9	AS-1.5	

Keyed Notes

- 01000.05 SPOT INDICATES START OF RADIUS / TANGENT POINT.
 02500.02 FIRE HYDRANT TO REMAIN.
 02500.06 EXISTING HIGH PRESSURE GAS LINE TO REMAIN. SEE CIVIL.
 02500.07 EXISTING SANITARY SEWER LINE TO REMAIN. SEE SURVEY / CIVIL.
 02500.19 EXISTING STORM SEWER TO REMAIN. SEE CIVIL.
 02700.03 EXISTING ASPHALT TO REMAIN.
 02700.09 PROVIDE 2'-0" WIDE MINIMUM STRIP OF NEW ASPHALT ALONG THE WEST SIDE OF THE NEW CMU WALL. SEE SITE PLAN.
 02800.06 DASHED LINE INDICATES LOCATION OF NEW IRRIGATION LINE. PROVIDE 2" Ø SCHEDULE 40 P.V.C. PIPE SLEEVE FOR NEW IRRIGATION LINE. EXTEND PIPE 12" MIN. INTO THE PLANTER AREA. SEE LANDSCAPE PLAN FOR NEW IRRIGATION PIPING. COORDINATE SLEEVE PIPING W/ SITE DEMOLITION, NEW SITE CONSTRUCTION AND LANDSCAPE PLAN. INSTALL PIPING 18" BELOW TOP OF GRADE MIN. SEE C.O.A. STANDARD DETAILS.
 02800.22 LANDSCAPING AREA BY OWNER. ASSORTMENT OF INDIGENOUS XERISCAPE PLANTS AND FLOWERING ANNUALS, CONNECTED TO THE EXISTING IRRIGATION SYSTEM.
 02800.23 EXISTING ARIZONA SYCAMORE TO REMAIN.
 02800.24 EXISTING LANDSCAPE AREA TO REMAIN.
 02900.08 EXISTING BICYCLE RACK. REMOVE AND RELOCATE SEE SITE PLAN. ANCHOR W/ 4 - 1/2" Ø X 3" LONG EXPANSION ANCHORS AT EACH BASE PLATE. FIELD VERIFY BASE PLATE SIZE / HOLE DIAMETERS.
 03500.03 CONCRETE CONTROL JOINT.
 03500.04 CONCRETE EXPANSION JOINT.
 03500.05 18" HIGH BY 22" DEEP CAST-IN-PLACE CONCRETE BENCH, 3000 PSI MIN. SEE DETAIL.
 03500.06 NEW CONCRETE CURB. PER C.O.A. STANDARD.
 03500.07 NEW 4" THICK AIR ENTRAINED CONCRETE SIDEWALK / SLAB OVER 95% COMPACTED GRADE. REINFORCE WITH 6X8-10-10 WWM. FLAT SHEETS ON CHAIRS. INSTALL PER C.O.A. STANDARDS. SEE CIVIL.
 03500.14 8" THICK CONCRETE SIDEWALK / SLAB OVER 95% COMPACTED GRADE. REINFORCE WITH #4 REBAR AT 12" O.C. EACH WAY.
 03500.33 EXISTING CONCRETE CURB TO REMAIN.
 03500.51 NEW 4" THICK AIR ENTRAINED CONCRETE RAMP / SLOPED SIDEWALK OVER 95% COMPACTED GRADE. REINFORCE WITH 6X8-10-10 WWM. FLAT SHEETS ON CHAIRS. INSTALL PER C.O.A. STANDARDS. SEE CIVIL.
 03500.53 NEW CONCRETE GUTTER ENDS AT THIS LOCATION.
 03500.54 FLUSH OUT EXISTING AND NEW CONCRETE SIDEWALKS THIS LOCATION.
 04800.01 8"x8"x16" CMU BLOCK. (3) COAT STUCCO SYSTEM FINISH OVER CMU.
 04800.11 NEW 12'-0" H CMU WALL. SEE DETAIL. NEW STUCCO FINISH OVER CMU.
 04800.12 NEW 14'-0" H CMU WALL. SEE DETAIL. NEW STUCCO FINISH OVER CMU.
 04800.24 EXISTING 7'-4" HIGH CMU WALL TO REMAIN. ADD (1) 8" HIGH CMU COURSE TO TOP OF EXISTING CMU WALL. NEW STUCCO FINISH OVER CMU.
 04800.25 NEW 8'-0" H CMU WALL. SEE STRUCTURAL. TIE BACK INTO EXISTING CMU WALL. NEW STUCCO FINISH OVER CMU.
 05100.01 T.S. 4X4 COLUMN. SEE STRUCTURAL. POWDERCOAT FINISH.
 05100.02 CONCRETE LINE INDICATES T.S. BEAM ABOVE. SEE STRUCTURAL. POWDERCOAT FINISH.
 05100.04 T.S. 6X8 COLUMN. SEE STRUCTURAL. POWDERCOAT FINISH.
 05600.02 6" DIA. X 7' LONG STANDARD WGT. STEEL PIPE BOLLARD SET 18" DIA X 3' DEEP CONCRETE FOOTING. CONCRETE FILLED, PRIME AND PAINT.
 07600.22 NEW 8" X 8" X 24 GA. GALV. METAL THRU WALL SCUPPER. EXTEND INTO COLLECTOR BOX. PROVIDE 4" X 4" X 24 GA. GALV. METAL DOWNLEADER. SECURE TO WALL AT 4'-0" O.C. MAX. PRIME AND PAINT.
 09100.01 NEW 3 COAT STUCCO SYSTEM.
 09300.01 GLAZED CERAMIC WALL TILES, MANUFACTURED BY AGROB BUCHTAL (TILES OR EQUAL). CHROMA II GLAZED SERIES. THERE SHALL BE UP TO 30 DIFFERENT COLORS SELECTED. COLORS SHALL BE SELECTED FROM FULL RANGE OF COLOR CHART. COLORS FROM THE INTENSE AND CONTRASTING COLORS WILL NOT EXCEED 20% OF ALL TILES. PROVIDE 16 CM X 16 CM TILES. PROVIDE COLORED GROUT. DESIGN / PATTERN TO BE PROVIDED BY ARCHITECT. 15% OF TILES WILL REQUIRE CUTS IN TILE. INSTALL PER TCA NO. W201. IN ADDITION PROVIDE A WATER PROOF MEMBRANE ON FRONT FACE OF MORTAR BED DIRECTLY BENEATH THE TILE.
 09900.13 AT THIS LOCATION PAINT THE CURB RED, WITH 4" WHITE LETTERS TO READ "FIRE LANE. NO PARKING". INSTALL LETTERING @ 40'-0" O.C.
 16600.09 RELOCATED EXTERIOR LIGHT FIXTURE AND CONCRETE BASE. SEE ELECTRICAL.



GROUP ENTRY PLAN: NORTH END

1/8"=1'-0"

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		FIELD NOTES		REVISIONS/REMARKS		DESIGNED BY: LGA		DRAWN BY: LG		CHECKED BY: LG		DATE:		DATE:		DATE:	
CONTRACTOR	DATE	WORK STAKED BY	DATE	INSPECTOR'S APPROVAL	DATE	FIELD VERIFICATION BY	DATE	DRAWING CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	



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CITY OF ALBUQUERQUE
 RIO GRANDE ZOO

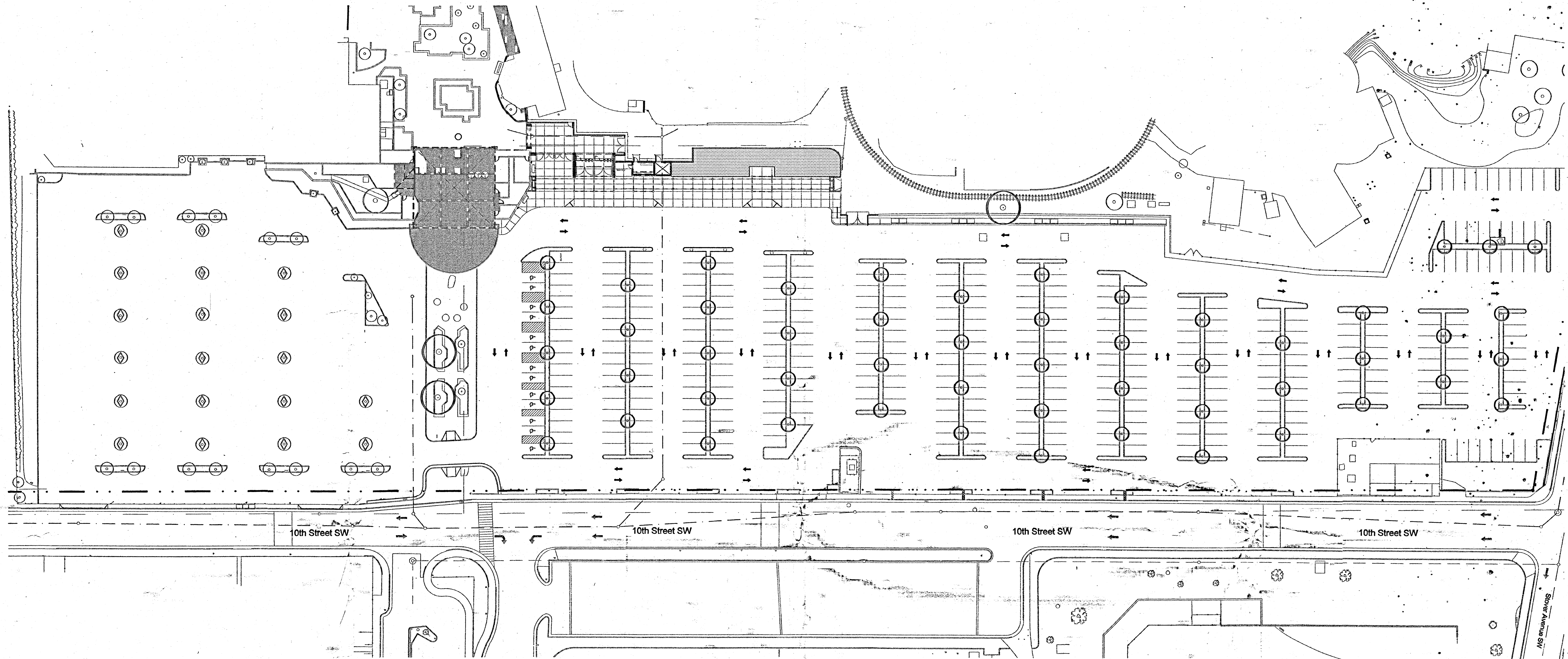
TITLE:
 GROUP ENTRY PLAN : NORTH END

Design Review Committee City Engineer Approval

MO. / DAY. / YR. 02/17/10

City Project No. 730391 Zone Map No. K-13-Z Sheet 5 of 9

AS-1.6



LANDSCAPE PLAN: KEY PLAN: ALL LANDSCAPING IS EXISTING AND SHALL REMAIN. ALL LANDSCAPING IS CONNECTED TO EXISTING IRRIGATION SYSTEM.

NOTE: ALL TREES IN PARKING LOT ARE ARIZONA SYCAMORE

1"=40'-0"

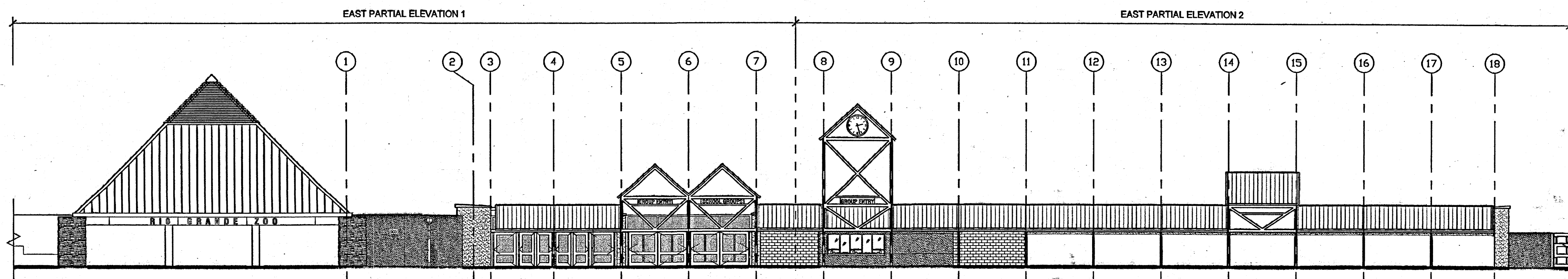
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CONTRACTOR	DATE:	WORK STAKED BY	DATE:	NO.	BY	DATE		NO.	DATE	DATE	DATE	DATE	DATE	DATE	DATE
INSPECTOR'S APPROVAL	DATE:	FIELD VERIFICATION BY	DATE:												
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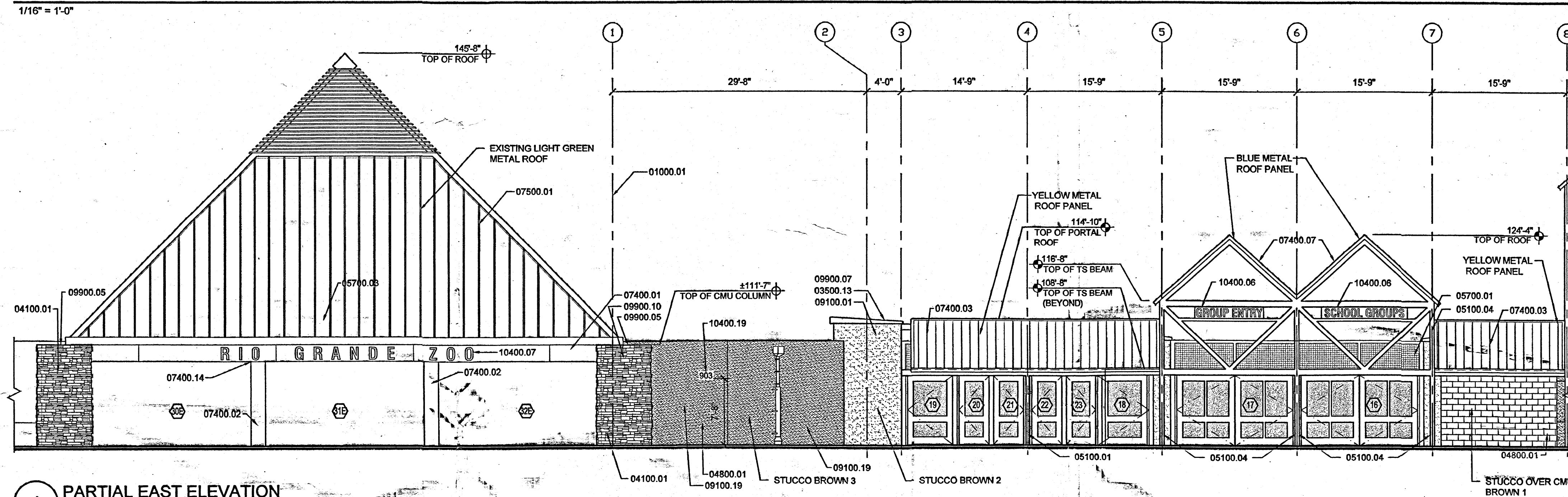
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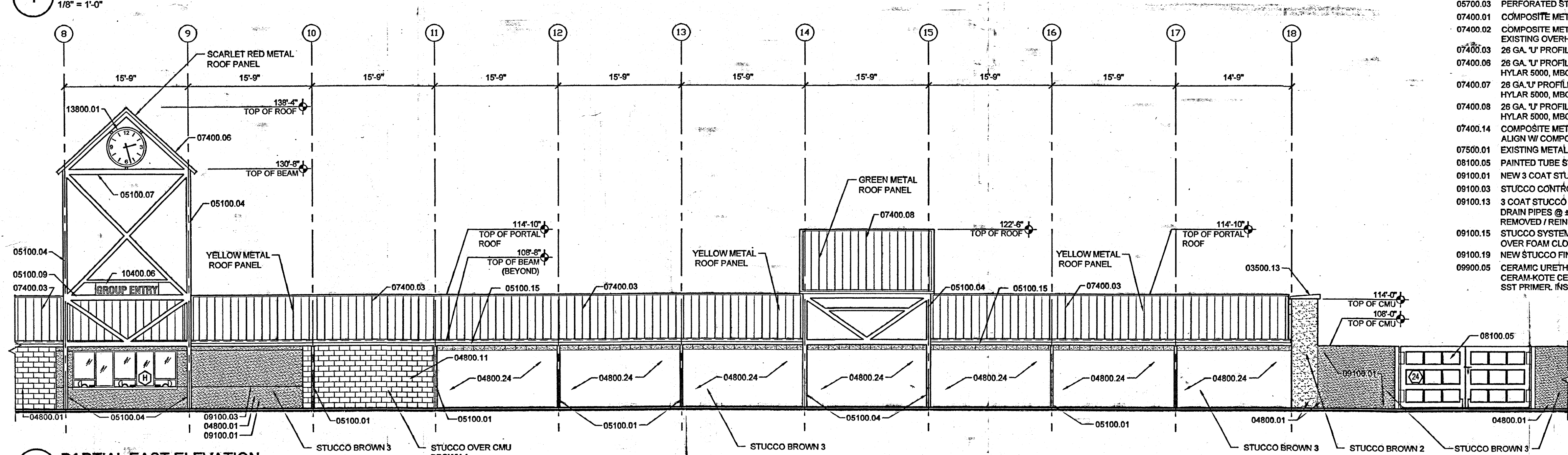
CITY OF ALBUQUERQUE RIO GRANDE ZOO			
TITLE: LANDSCAPE PLAN : KEY PLAN			
Design Review Committee	City Engineer Approval	MO/DA/YR	MO/DA/YR
			02/17/10
City Project No.	Zone Map No.	Sheet	of 9
730391	K-13-Z	L-1.0	



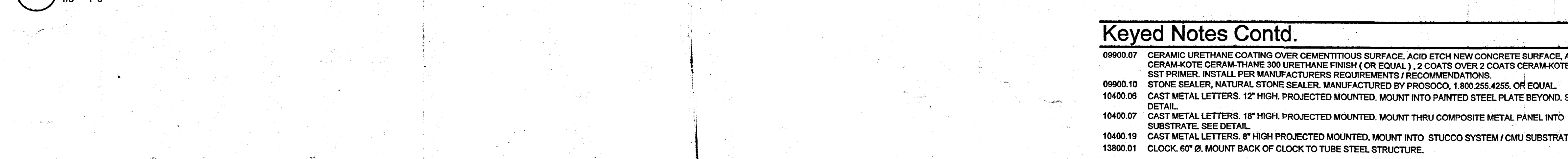
EAST ELEVATION KEY



1 PARTIAL EAST ELEVATION



2 PARTIAL EAST ELEVATION



General Notes

- ALL STRUCTURAL FRAMING MEMBERS TO BE PREPARED TO RECEIVE A POWDER COAT FINISH. POWDER COAT ALL STRUCTURAL STEEL.
- TOP OF PARAPET ELEVATIONS INDICATE TOP OF PARAPET STEEL STUD WALL FRAMING / TOP OF CMU BLOCK.
- THE 26 GAUGE GALVALUME "U" PANEL, PRE-FINISHED ROOF PANELS TO BE PROVIDED BY MBCI OR EQUAL. COLOR OF THE PANELS SHALL BE SCARLET RED, HARBOR BLUE, CLASSIC GREEN, AND A CUSTOM COLOR: YELLOW. THE PAINT FINISH SHALL BE KYNAR 500 / HYLAR 5000 - SIGNATURE 300 FINISH. INSTALL PANELS SUCH THAT THE RIBS SLOPE W/ THE STRUCTURE. PROVIDE ALL TRIM AND ACCESSORIES IN THE SAME FINISH / COLOR AS THE ROOF PANELS. PROVIDE FASTENERS W/ NEOPRENE WASHERS. PRE DRILL HOLES IN PANELS BEFORE INSTALLING FASTENERS. INSTALL PER MANUFACTURERS REQUIREMENTS / RECOMMENDATIONS.
- PROVIDE 1/4" STEEL PLATE IN AREAS BEHIND THE CAST METAL LETTERS FOR MOUNTING THE PROJECTED LETTERS. POWDER COAT FINISH.
- PRIME AND PAINT ALL NON STRUCTURAL EXTERIOR FERROUS METAL, INCLUDING GALVANIZED METAL, ELECTRICAL CONDUIT, ELECTRICAL BOXES, EXPOSED PIPING, DUCTWORK ETC. ALL NEW STEEL PORTAL CANOPY / FRAMING STRUCTURES SHALL BE FINISHED WITH A POWDER COAT SYSTEM FINISH. ALL PAINT TO BE HIGH PERFORMANCE EPOXY PAINT. MATCH POWDER COAT FINISH COLOR OF ADJACENT SURFACES.
- THERE ARE 6 DIFFERENT COLORS FOR THE FERROUS METAL, INCLUDING POWDER COAT COATINGS.
- ELEVATION 100'-00" REFERS TO THE TOP OF INLET DRAIN, CENTERED UNDER THE PYRAMID. THE SURVEY ELEVATION OF THE INLET IS 45.62. ALL ELEVATION TAGS ARE RELATIVE TO FINISH FLOOR ELEVATION OF 100'-00".
- STUCCO SYSTEM GENERAL NOTES:
 - AT NEW STUCCO AREAS OVER CMU, INSTALL A 3-COAT STUCCO FINISH SYSTEM COMPRISED OF AN ACRYLIC FINISH COAT OVER BONDING / PRIMER COAT OVER SCRATCH AND BROWN COATS OVER CMU. PRIOR TO STUCCOING OVER CMU, THE WALL NEEDS TO BE COMPLETELY DRY, MINIMUM 28 DAYS.
 - AT EXISTING STUCCO COVERED WALLS TO REMAIN: RAKE OUT ALL CRACKS, REMOVE DAMAGED STUCCO. REMOVE ANY AND ALL FASTENERS, PROTRUSIONS. PATCH ALL CRACKS, HOLES, DAMAGED WORN STUCCO AREAS. INFILL LOW / DEPRESSED AREAS TO CREATE A SMOOTH PLANAR SURFACE. EMBED FIBERGLASS MESH, EL REY KRAMMASTER OR EQUAL, AND FIBER 47 INTO ALL CRACKS. INSTALL SCRATCH AND BROWN COATS AS REQUIRED. PROVIDE BONDING / PRIMER COAT OVER BROWN COAT AND EXISTING STUCCO TO REMAIN. INSTALL ACRYLIC FINISH COAT OVER BONDING / PRIMER COAT. WET CURE THE PATCHING AND SCRATCH / BROWN COATS FOR 3 DAYS MINIMUM BY MISTING W/ CLEAN POTABLE WATER.
 - PROVIDE AN ALLOWANCE FOR AN ADDITIONAL 200 SF OF STUCCO / PATCH / REPAIR WORK IN ADDITION TO AREAS NOTED IN THE DRAWINGS.
 - THERE SHALL BE 3 DIFFERENT STUCCO COLORS CALLED OUT. COLORS SHALL BE SELECTED FROM THE MANUFACTURERS FULL RANGE OF COLORS INCLUDING CUSTOM SPECIALTY COLORS. ALL STUCCO COLORS SHALL BE A DIFFERENT SHADE OF BROWN.
 - INSTALL ALL STUCCO WORK INCLUDING PREP WORK AND ACCESSORIES STRICTLY PER MANUFACTURERS REQUIREMENTS / RECOMMENDATIONS.
- PROVIDE SEALANT AT ALL PENETRATIONS / JOINTS / STUCCO STOPS, ETC. THERE SHALL BE 4 DIFFERENT EXTERIOR SEALANT COLORS CALLED OUT.
- THE ASHLAR CUT STONE SHALL BE GOLDEN OAK CUTSTONE, SUPPLIED BY ROCKY MOUNTAIN STONE. 345-8518. OR EQUAL.
- COMPOSITE METAL PANEL SYSTEM MANUFACTURED BY ALPOLIC / MITSUBISHI CHEMICAL AMERICA OR EQUAL. FACE SHEET TO BE COPPER SHEET METAL, 4MM THICK, WITH A MANUFACTURER APPLIED CLEAR COATING. NOTE: COPPER IS A CUSTOM FINISH METAL. CORE PANEL TO BE THERMOPLASTIC MATERIAL.

Keyed Notes

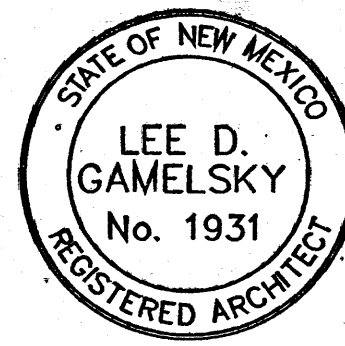
- GRID LINE 1 IS FACE OF EXISTING CMU WALL UNDER PYRAMID.
- NEW VERTICAL RAILROAD TIE. CUSTOM CUT TO CONTOUR STONE VENEER THIS LOCATION ONLY.
- IN-GROUND RESERVOIR. SEE DETAILS ON WF-SHEETS.
- CAST-IN PLACE CONCRETE CAP. 3000 PSI CONCRETE MIN. 1/2" CHAMFER EDGES. STAIN AND SEAL CONCRETE. WATER CURE. DO NOT CHEMICAL CURE.
- ASHLAR / CUT STONE PATTERN, COLOR: GOLDEN OAK CUTSTONE, SUPPLIER - ROCKY MOUNTAIN STONE. 345-8518, OR EQUAL. STONE VENEER OVER EXISTING 8" CMU. INSTALL WITH BRICK TIES AT 16" O.C. EACH WAY. SEE DETAILS. PROVIDE PIGMENTED MORTAR COLOR.
- 8"x8"x16" CMU BLOCK. (3) COAT STUCCO SYSTEM FINISH OVER CMU.
- NEW 12'-0" H CMU WALL. SEE DETAIL. NEW STUCCO FINISH OVER CMU.
- EXISTING 7'-4" HIGH CMU WALL TO REMAIN. ADD (1) 8" HIGH CMU COURSE TO TOP OF EXISTING CMU WALL. NEW STUCCO FINISH OVER CMU.
- T.S. 4X4 COLUMN, SEE STRUCTURAL. POWDERCOAT FINISH.
- T.S. 6X8 COLUMN, SEE STRUCTURAL. POWDERCOAT FINISH.
- T.S. 8X4 BEAM, SEE STRUCTURAL. POWDERCOAT FINISH.
- T.S. 6X8 BEAM, SEE STRUCTURAL. POWDERCOAT FINISH.
- T.S. 6X4 BEAM, SEE STRUCTURAL. POWDERCOAT FINISH.
- GALVANIZED WELDED WIRE CLOTH. 2" SQUARE OPENINGS, 0.135" Ø WIRE, MANUFACTURED BY McNICHOLS 1.800.237.3820. OR EQUAL. POWDERCOAT FINISH.
- PERFORATED STAINLESS STEEL SHEETING. TYPE 316, 16 GA., SCREW TO T.S. STRUCTURE.
- COMPOSITE METAL PANEL SYSTEM. COPPER SHEETING OVER THERMOPLASTIC CORE PANEL.
- COMPOSITE METAL PANEL SYSTEM. COLUMN COVER OVER EXISTING COLUMN. BUTT TIGHT AGAINST EXISTING OVERHEAD DOOR TRACKS. ALIGN W/ COMPOSITE METAL PANEL SYSTEM AT SOFFIT ABOVE.
- 26 GA. "U" PROFILE ROOF PANEL, SIGNATURE 300 CUSTOM COLOR, YELLOW, KYNAR 500 / HYLAR 5000, MBCI.
- 26 GA. "U" PROFILE ROOF PANEL, SIGNATURE 300 STANDARD COLOR, SCARLET RED COLOR, KYNAR 500 / HYLAR 5000, MBCI.
- 26 GA. "U" PROFILE ROOF PANEL, SIGNATURE 300 STANDARD COLOR, HARBOR BLUE COLOR, KYNAR 500 / HYLAR 5000, MBCI.
- 26 GA. "U" PROFILE ROOF PANEL, SIGNATURE 300 STANDARD COLOR, CLASSIC GREEN COLOR, KYNAR 500 / HYLAR 5000, MBCI.
- COMPOSITE METAL PANEL SYSTEM, COPPER SHEETING OVER THERMOPLASTIC CORE PANEL AT COLUMN. ALIGN W/ COMPOSITE METAL PANEL SYSTEM ABOVE AT SOFFIT.
- EXISTING METAL ROOF SYSTEM W/ INTEGRAL GUTTER TO REMAIN.
- PAINTED TUBE STEEL DOUBLE GATE.
- NEW 3 COAT STUCCO SYSTEM.
- STUCCO CONTROL JOINT.
- 3 COAT STUCCO SYSTEM OVER EXISTING RAILROAD TIE RETAINING WALL. PROVIDE 2" Ø SCHEDULE 20 PVC DRAIN PIPES @ ± 30" O.C. STRAIGHTEN RAILROAD TIES AS REQUIRED. BUDGET FOR 30 RAILROAD TIES TO BE REMOVED / REINSTALLED PLUMB.
- STUCCO SYSTEM OVER RAILROAD TIE TO BUTT INTO NEW STONE VENEER @ COLUMN. PROVIDE SEALANT OVER FOAM CLOSURE ROD WHERE STONE MEETS STUCCO.
- NEW STUCCO FINISH AND BROWN COAT OVER EXISTING STUCCO AND CMU.
- CERAMIC URETHANE COATING OVER CEMENTITIOUS SURFACE. CLEAN EXISTING SURFACE, APPLY CERAM-KOTE CERAM-THANE 300 (OR EQUAL) URETHANE FINISH, 2 COATS OVER 2 COATS CERAM-KOTE 54 SST PRIMER. INSTALL PER MANUFACTURERS REQUIREMENTS / RECOMMENDATIONS.

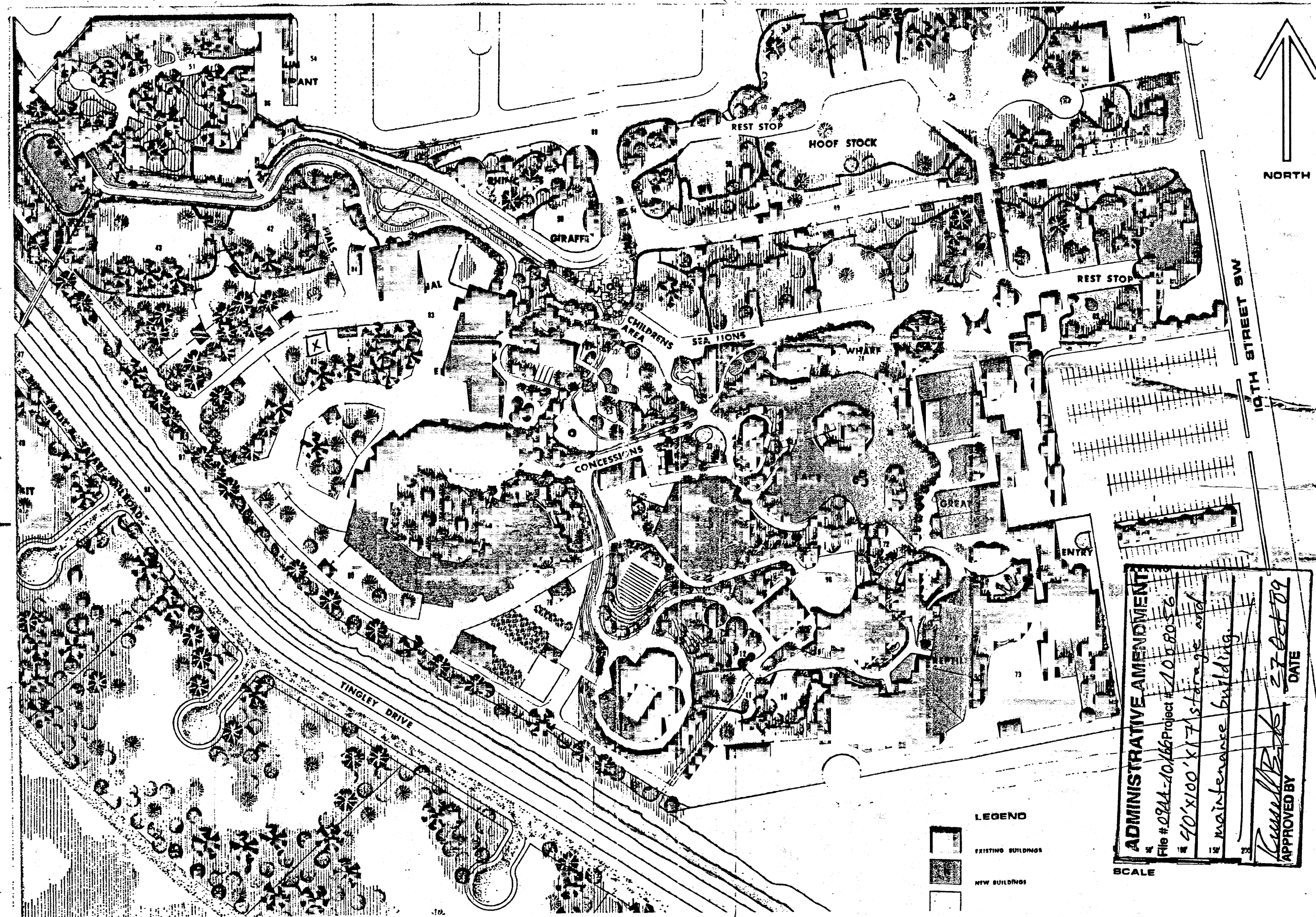
Keyed Notes Contd.

- CERAMIC URETHANE COATING OVER CEMENTITIOUS SURFACE. ACID ETCH NEW CONCRETE SURFACE, APPLY CERAM-KOTE CERAM-THANE 300 URETHANE FINISH (OR EQUAL), 2 COATS OVER 2 COATS CERAM-KOTE 54 SST PRIMER. INSTALL PER MANUFACTURERS REQUIREMENTS / RECOMMENDATIONS.
- STONE SEALER, NATURAL STONE SEALER, MANUFACTURED BY PROSOCO, 1.800.255.4255, OR EQUAL.
- CAST METAL LETTERS. 12" HIGH, PROJECTED MOUNTED. MOUNT INTO PAINTED STEEL PLATE BEYOND, SEE DETAIL.
- CAST METAL LETTERS. 18" HIGH, PROJECTED MOUNTED. MOUNT THRU COMPOSITE METAL PANEL INTO SUBSTRATE. SEE DETAIL.
- CAST METAL LETTERS. 8" HIGH PROJECTED MOUNTED. MOUNT INTO STUCCO SYSTEM / CMU SUBSTRATE.
- CLOCK. 60" Ø. MOUNT BACK OF CLOCK TO TUBE STEEL STRUCTURE.

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CITY OF ALBUQUERQUE RIO GRANDE ZOO			
TITLE: ELEVATIONS			
Design Review Committee	City Engineer Approval	Last Design Update	MOY / DAY / YR 02 / 17 / 10
City Project No. 730391	Zone Map No. K-13-Z	Sheet A-2.0	of 9

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		FIELD NOTES		REVISIONS/REMARKS	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK STAKED BY	DATE	INSPECTOR'S APPROVAL	DATE	BY	DATE	BY	DATE	BY	DATE
FIELD VERIFICATION BY	DATE	DRAWING CORRECTED BY	DATE						
MICRO-FILM INFORMATION	DATE								
RECORDED BY	DATE								
NO.									





LEGEND

- EXISTING BUILDINGS
- NEW BUILDINGS

ADMINISTRATIVE AMENDMENT

File # 0244-10-106 Project # 10-100-10-106

40 x 100 x 17.5 ft. Storage and maintenance building

APPROVED BY *[Signature]* DATE 5-7-00

MASTER PLAN

THE RIO GRANDE ZOOLOGICAL PARK

JERRY TORR AND ASSOC. ARCHITECT PLANNERS

ZONING ENFORCEMENT
City of Albuquerque