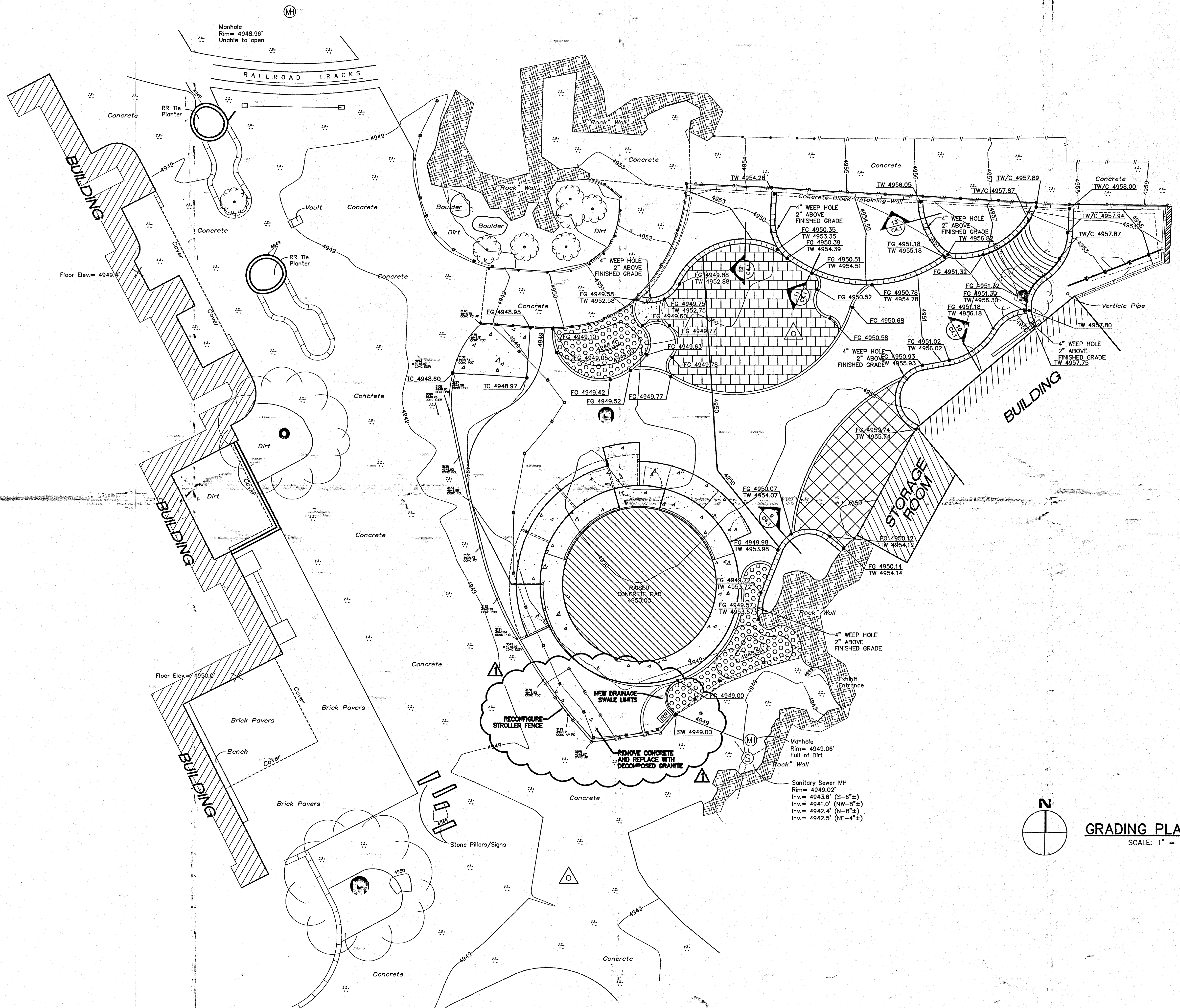


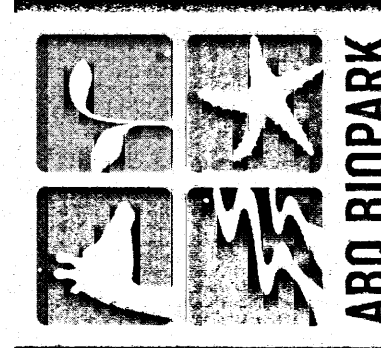
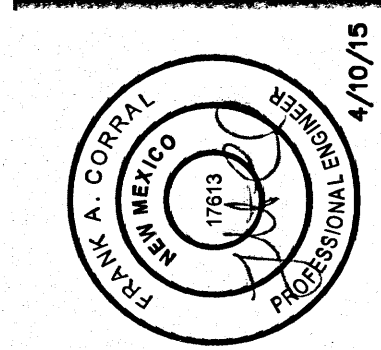


GRADING PLAN
SCALE: 1" = 10'

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CAROUSEL AREA

Albuquerque BioPark

ISSUE DATES:		
NO.	DESCRIPTION	DATE
1	REVISIONS	4/28/15

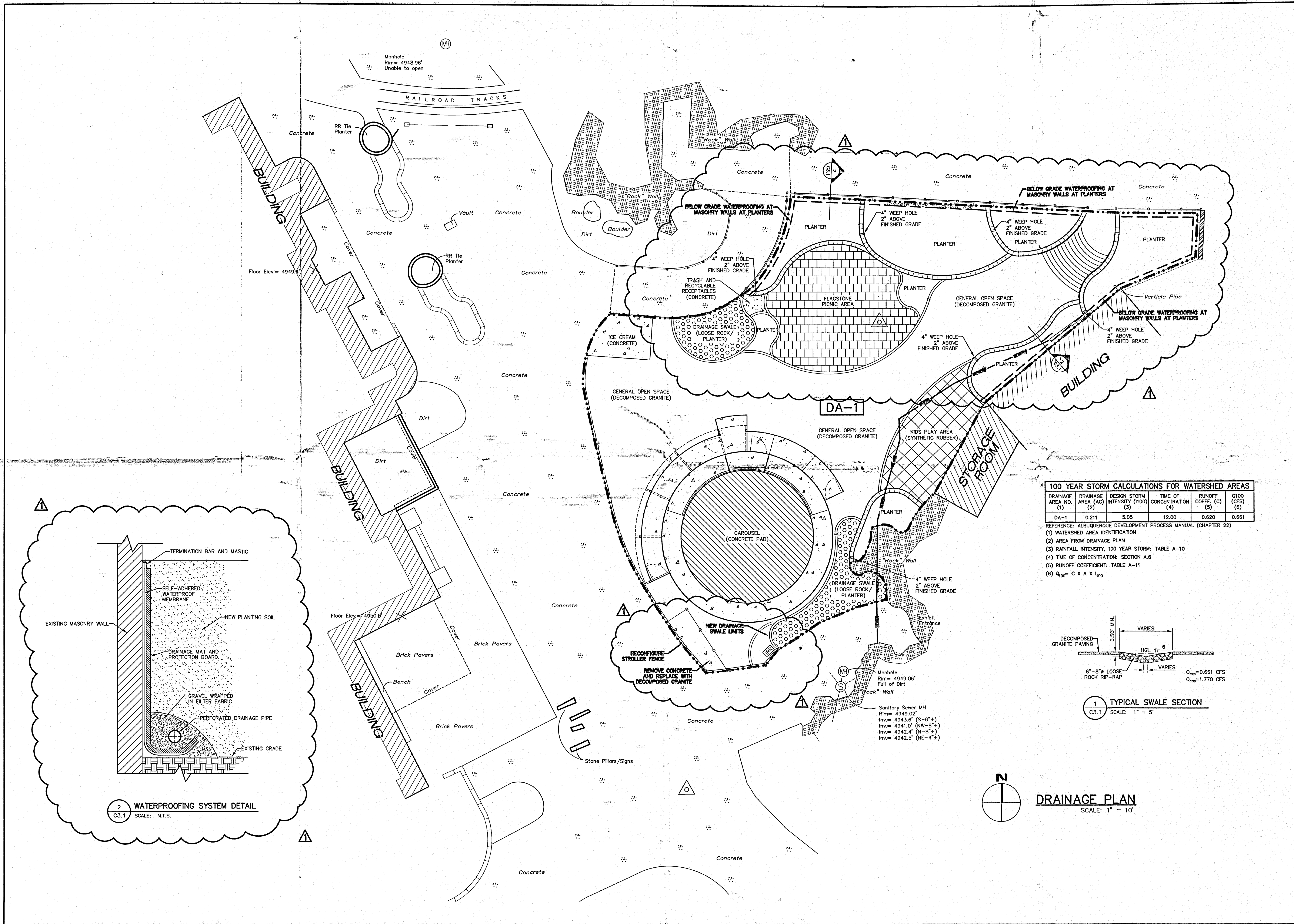
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DATE: 10 APRIL 2015
DRAWN BY: A.B.
CHECKED BY: F.C.
SCALE: AS NOTED

GRADING
PLAN

SHEET NUMBER
C2.1

NO.	DESCRIPTION	DATE
1	REVISIONS	4/28/15

PROJ. #:	2710-001-MG
DATE:	10 APRIL 2015
DRAWN BY:	A.B.
CHECKED BY:	F.C.
SCALE:	AS NOTED





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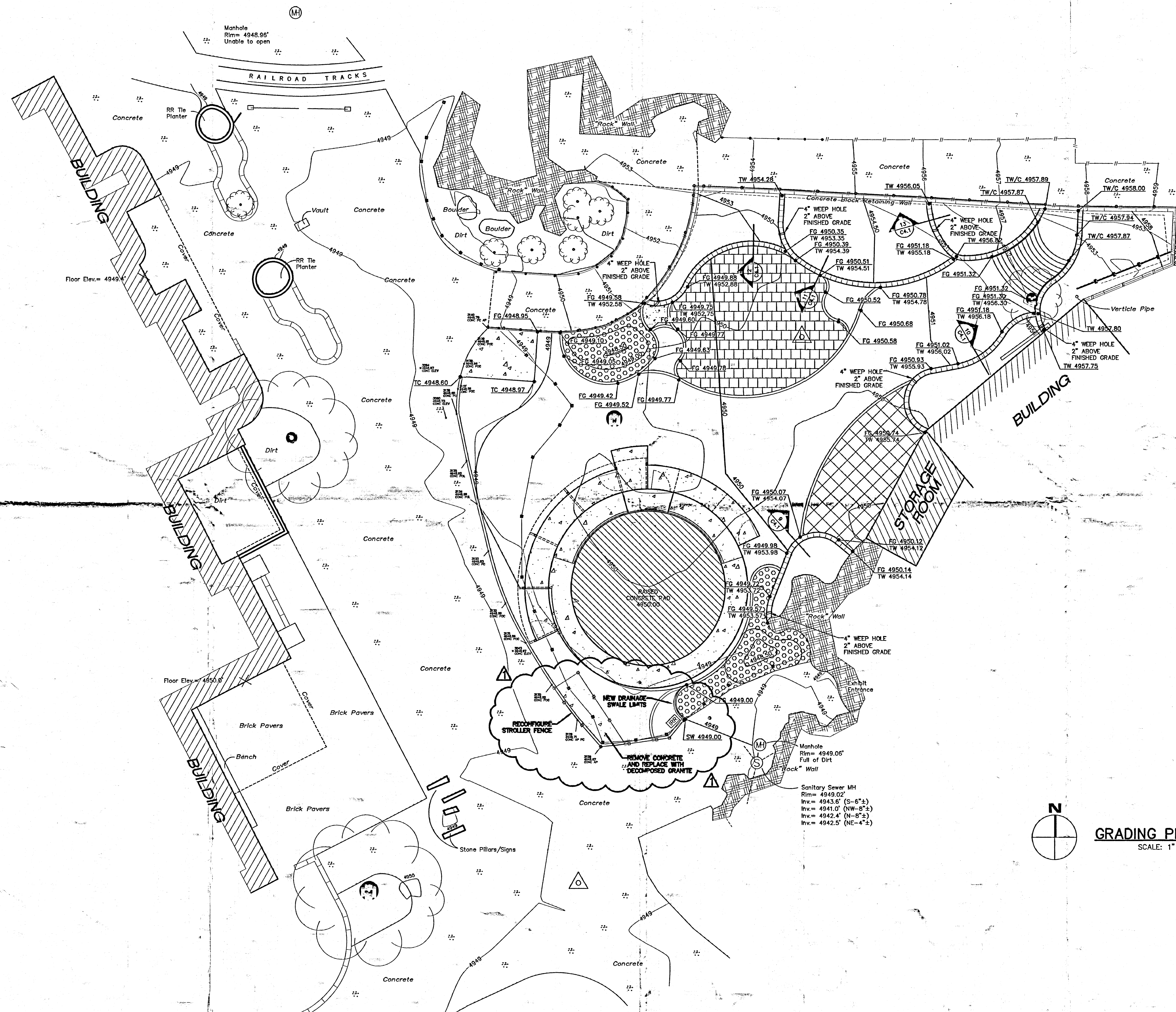
CAROUSEL AREA
Allouquerque Biopark

[illegible]

FILE #:	2710-001-MG
DATE:	10 APRIL 2015
OWN BY:	A.B.
CHECKED BY:	F.C.
REMARKS:	AS NOTED

GRADING PLAN

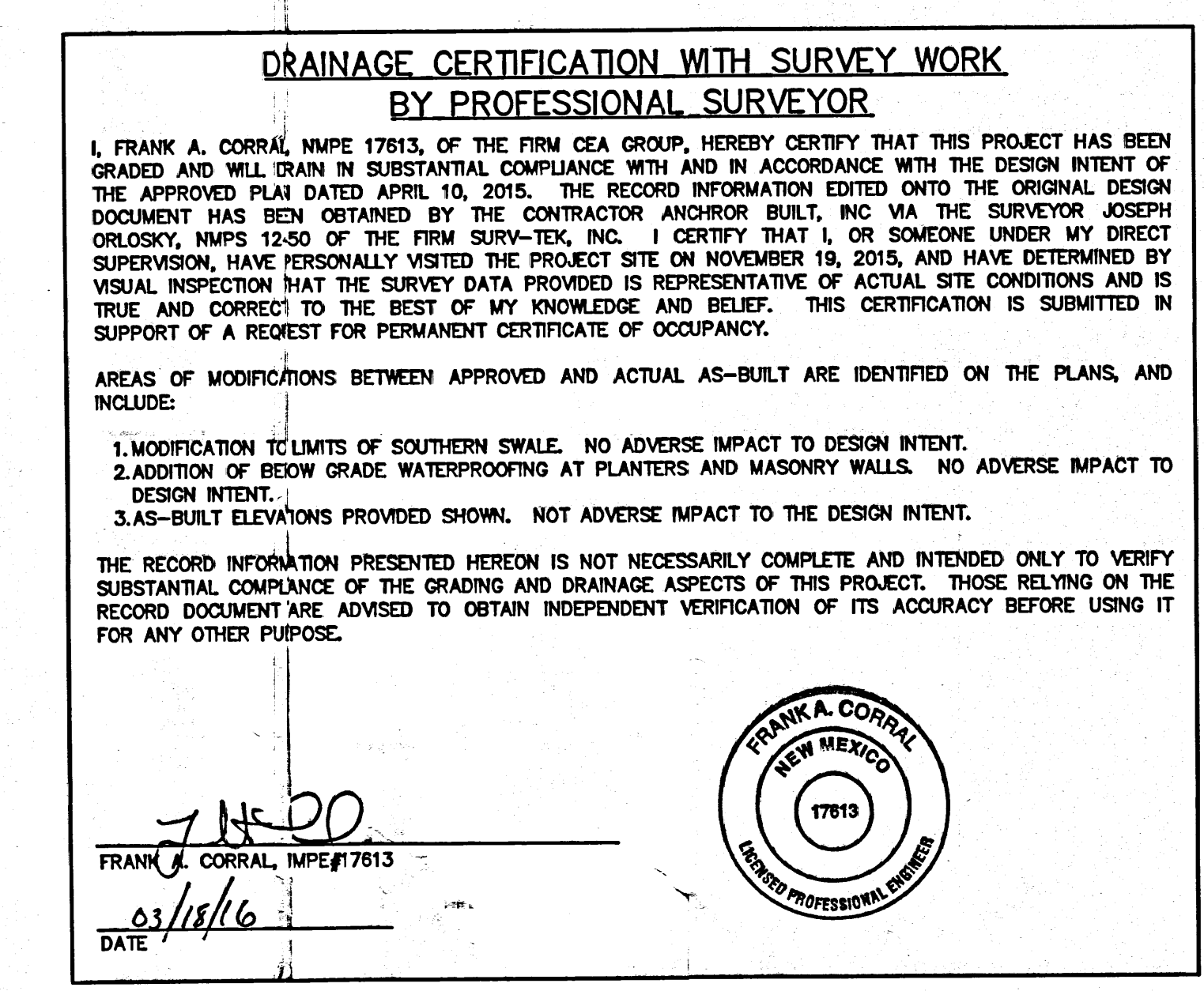
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RECEIVED
JUL - 2 2015
LAND DEVELOPMENT SECTION

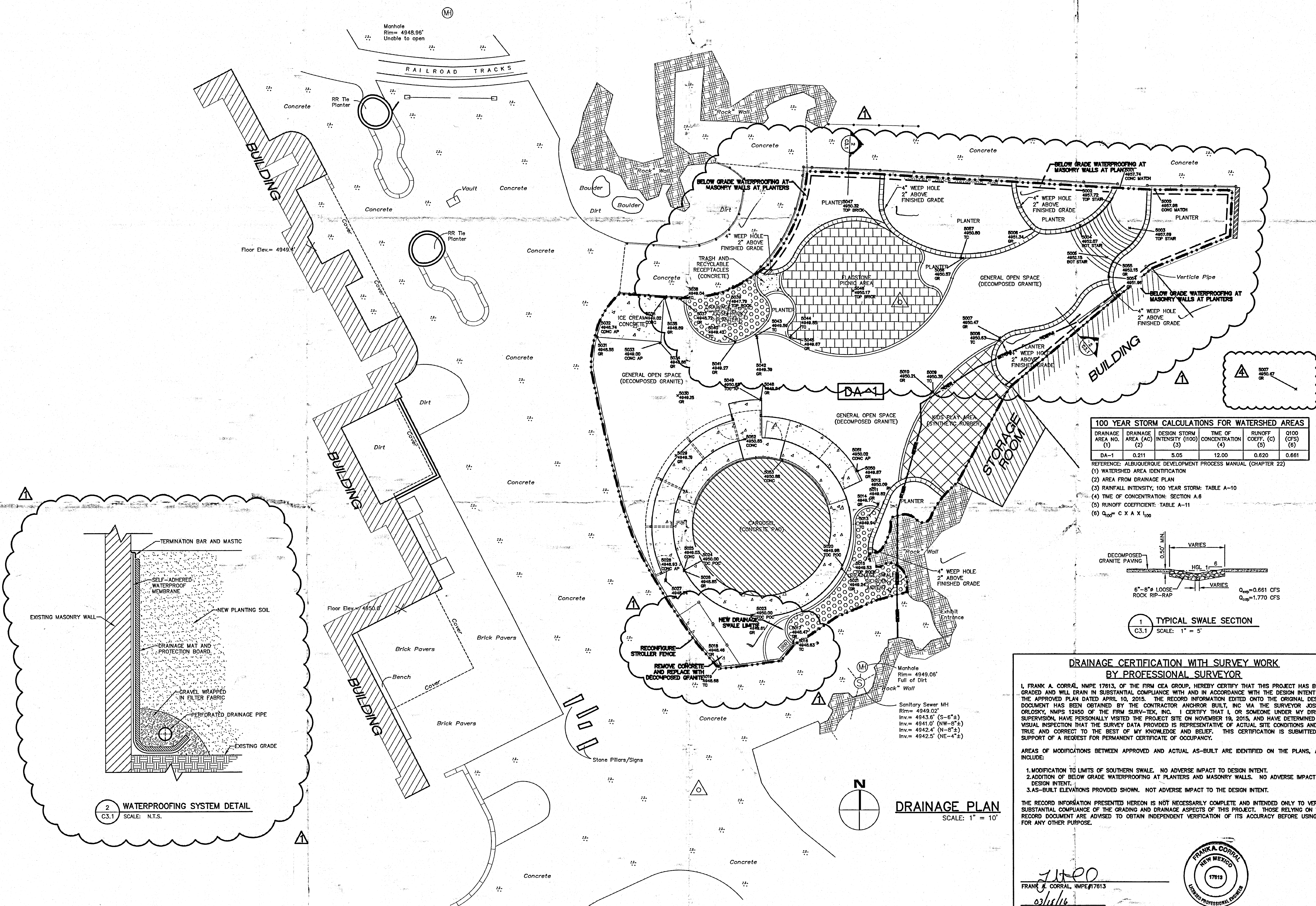
GRADING PLAN

SCALE: 1" = 10'



NO.	DESCRIPTION	DATE
1	REVISIONS	4/28/15
2	AS-BUILTS	3/18/16

PROJ. #:	2710-001-MC
DATE:	10 APRIL 2015
DRAWN BY:	A.B.
CHECKED BY:	F.C.
SCALE:	AS NOTED



DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

I, FRANK A. CORRAL, NMPE 17613, OF THE FIRM CEA GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED APRIL 10, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THE CONTRACTOR ANCHOR BUILT, INC. VIA THE SURVEYOR JOSEPH ORLOSKY, NMPS 12450 OF THE FIRM SURV-TEK, INC. I CERTIFY THAT I, OR SOMEONE UNDER MY DIRECT SUPERVISION, HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 19, 2015, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

AREAS OF MODIFICATIONS BETWEEN APPROVED AND ACTUAL AS-BUILT ARE IDENTIFIED ON THE PLANS, AND INCLUDE:

1. MODIFICATION TO LIMITS OF SOUTHERN SWALE. NO ADVERSE IMPACT TO DESIGN INTENT.
2. ADDITION OF BELOW GRADE WATERPROOFING AT PLANTERS AND MASONRY WALLS. NO ADVERSE IMPACT TO DESIGN INTENT.
3. AS-BUILT ELEVATIONS PROVIDED SHOWN. NOT ADVERSE IMPACT TO THE DESIGN INTENT.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

FRANK A. CORRAL, NMPE 17613
03/18/16
DATE