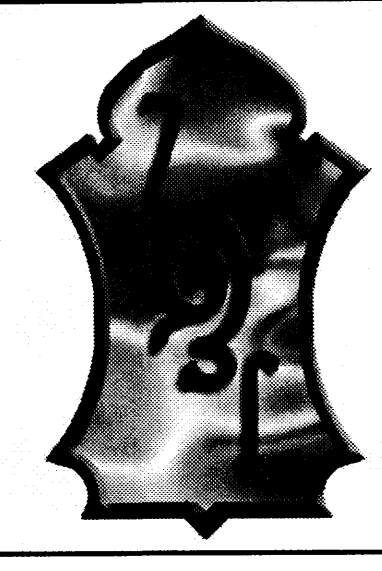




JFB & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 87112
P: 505-797-1318



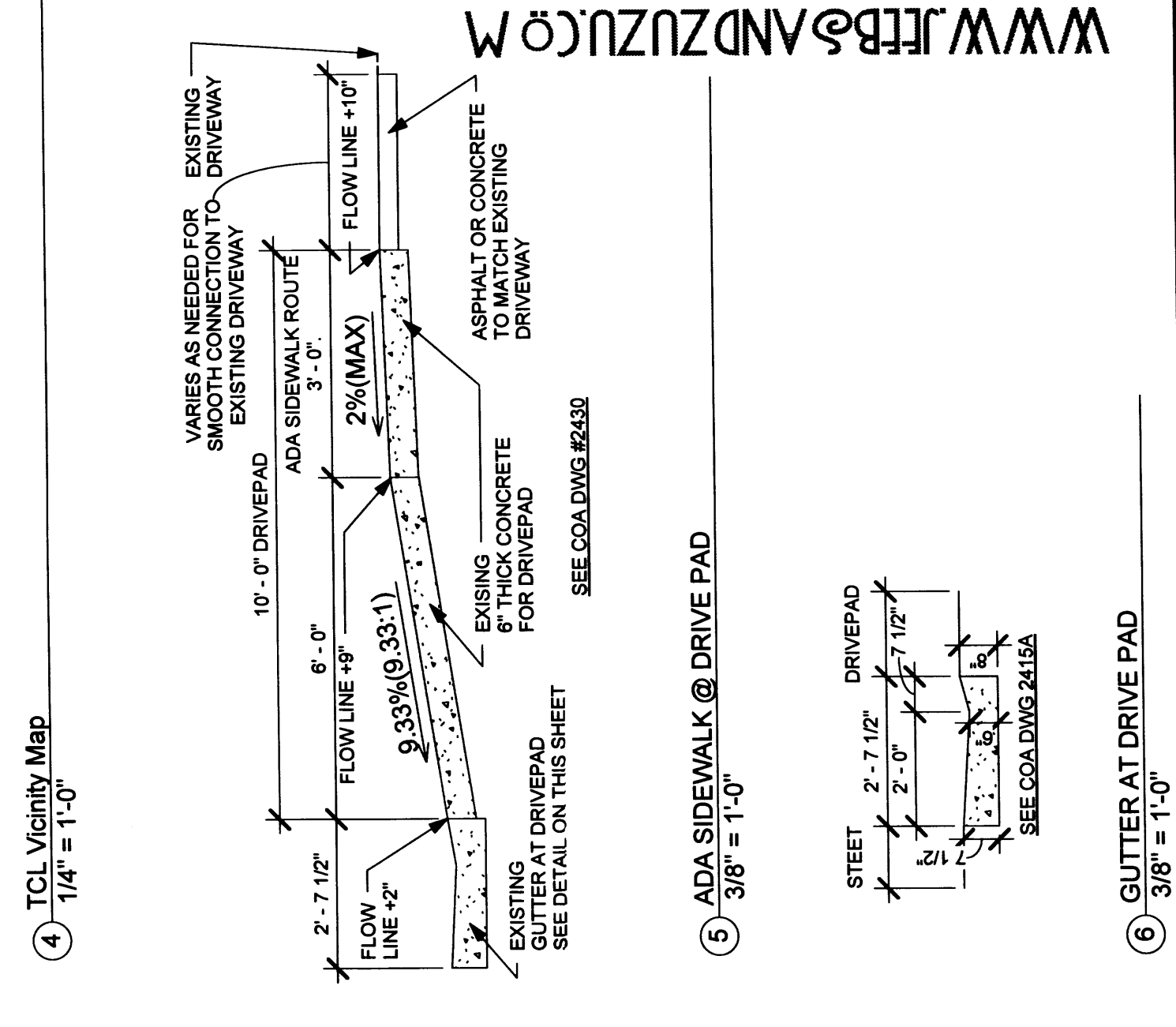
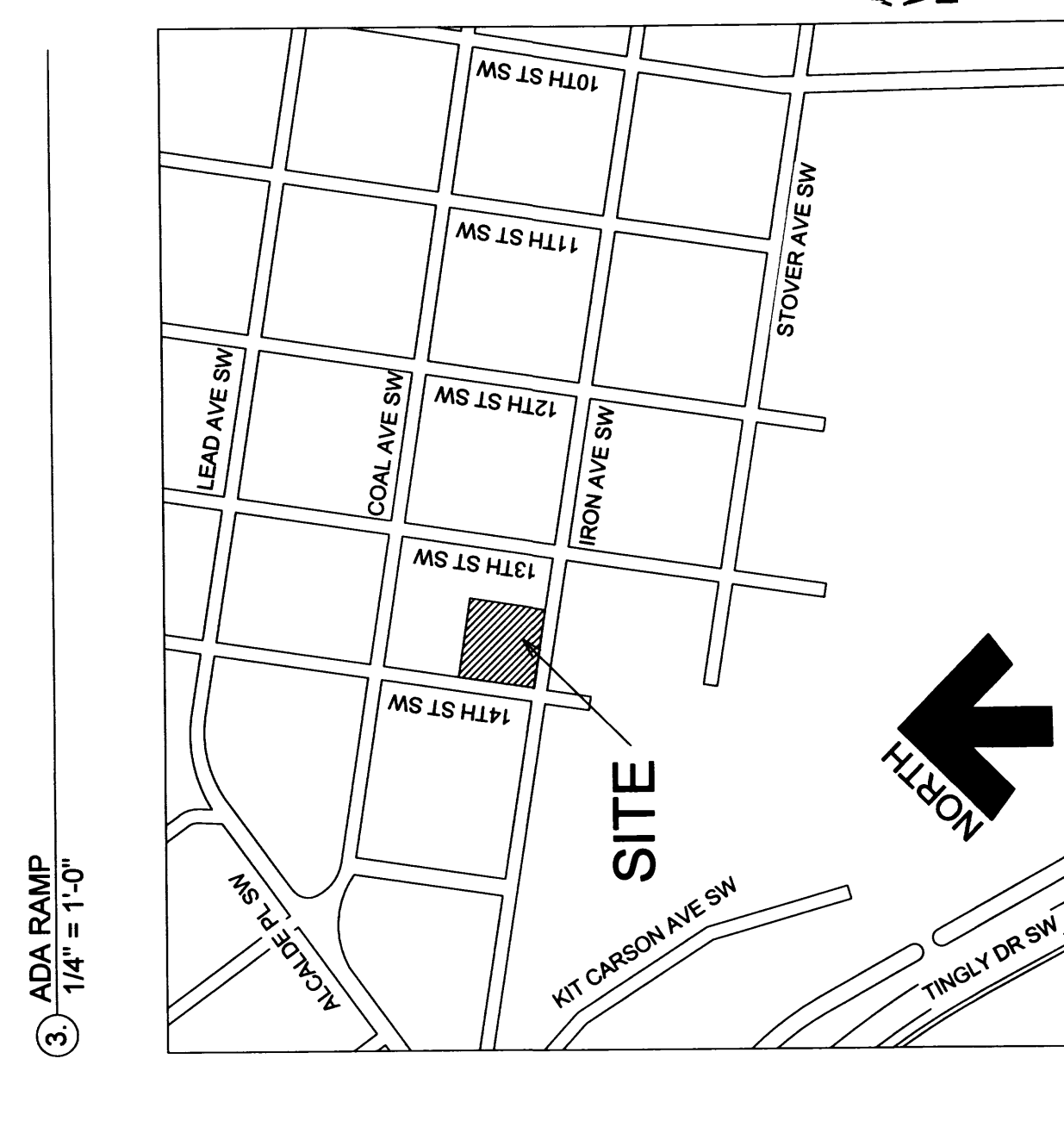
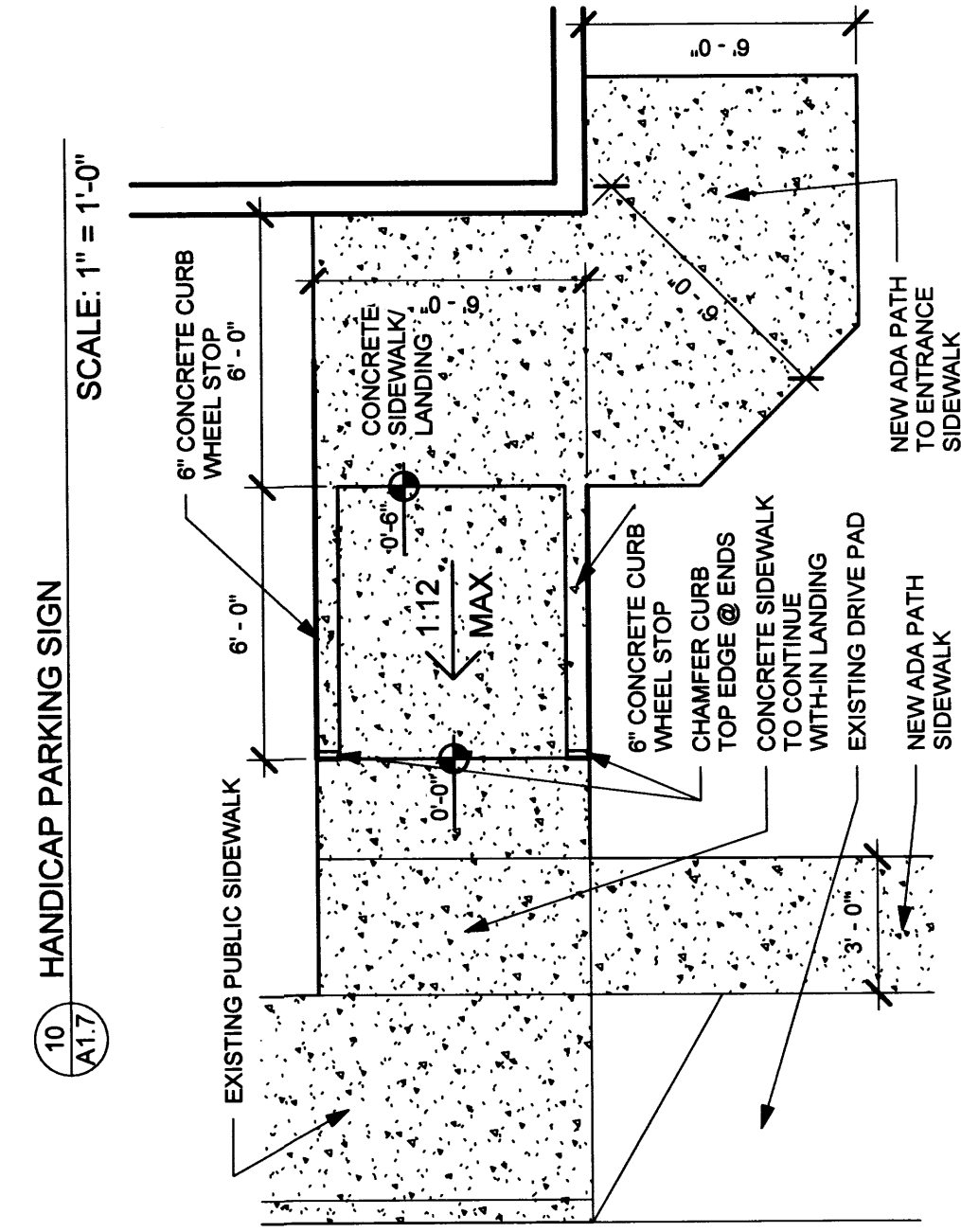
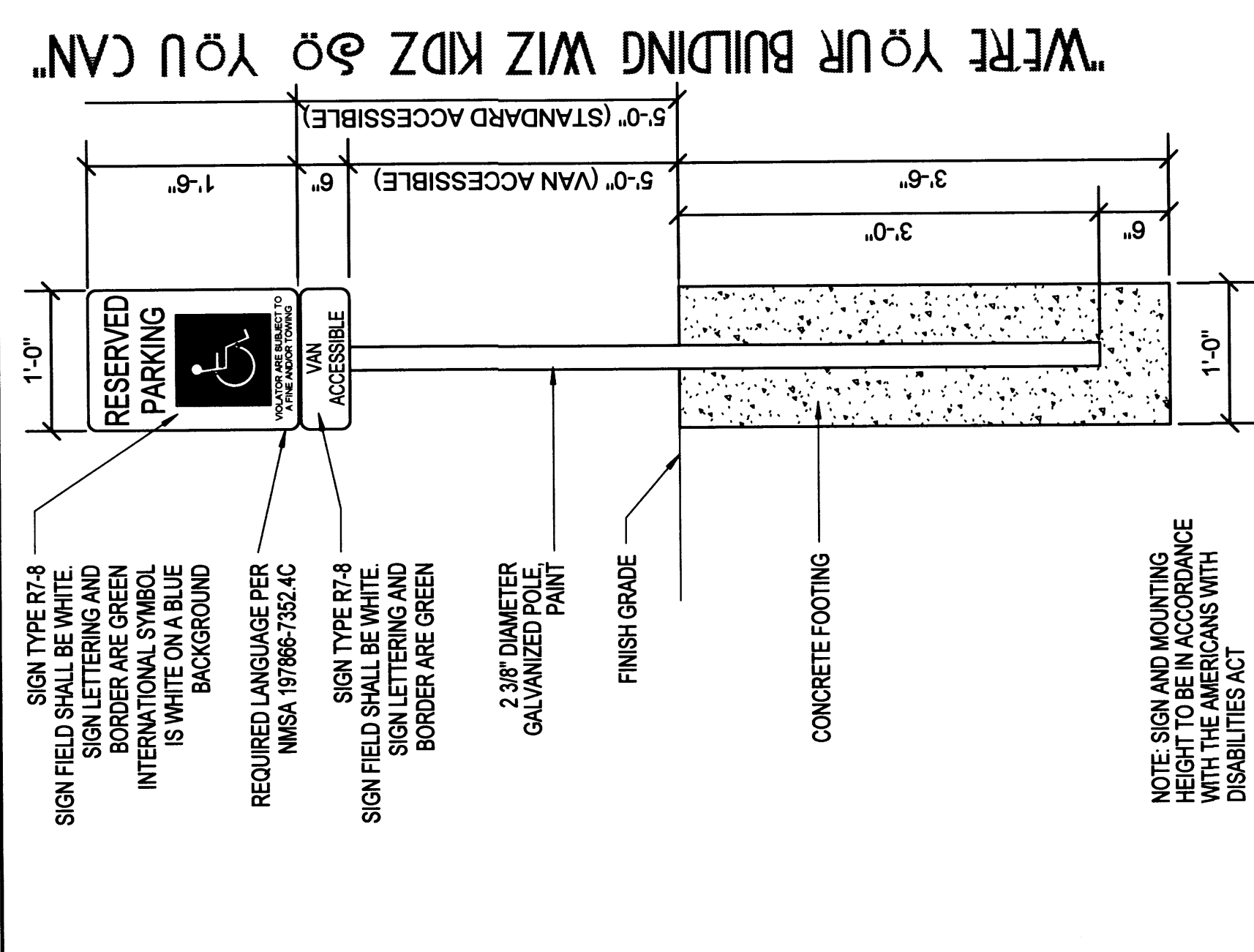
PROJECT NO.	13-036
DATE	UM
DESIGNED BY	JDH
CHECKED BY	
DATE	1/2/2014

TRAFFIC CIRCULATION LAYOUT
APPROVED
1-22-14

Public Infrastructure shown
shall not be construed as
guarantee of information
and not part of approval.
Separate DR/CR/PR approval
and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

HARTMAN PUBLISHING
ALBUQUERQUE, NM 87102
Sheet No. **TCL**



- EXISTING SITE ELEMENTS TO REMAIN:
1. REFUSE ENCLOSURE
 2. 3' CONCRETE SIDEWALK
 3. NOT USED
 4. CONCRETE SIDEWALK
 5. CONCRETE CURB
 6. DRIVE PAD
 7. SIDEWALK
 8. CONCRETE ACCESS SIDEWALK
 9. CONCRETE ADA ISLE
 10. PARKING BLOCK
 11. CRUSHER FINES
 12. NOT USED
 13. FIRE HYDRANT
 14. ASPHALT
 15. CMU WALL

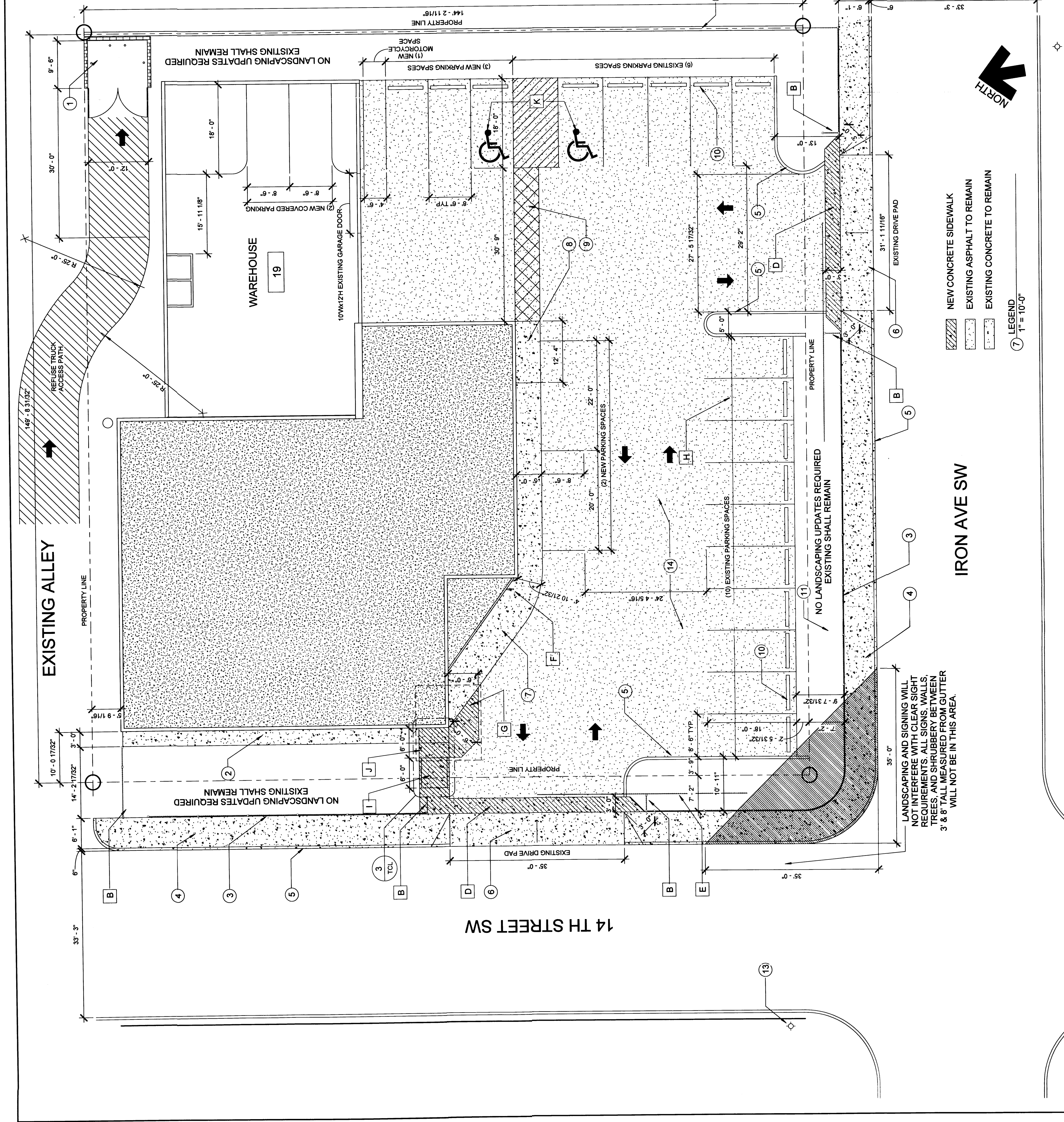
- NEW WORK AS PART OF THIS PROJECT:
- A. NEW PARKING BLOCKS.
 - B. EXISTING FENCING TO BE REMOVED.
 - C. NOT USED
 - D. NEW 3' SIDEWALK SET BACK FOR ADA ACCESSIBILITY.
 - E. NOT USED
 - F. MOVE EXISTING BIKE RACK TO THIS NEW LOCATION.
 - G. NEW CONCRETE PAD TO ALLOW FOR ADA ACCESS.
 - H. EXISTING ACCESS ISLE TO BE RESTRIPPED AND CONVERTED TO STANDARD PARKING SPACE.
 - I. NEW 6' CONCRETE RAMP FOR ADA ACCESS INTO SITE - SEE DETAIL 3 ON THIS SHEET
 - J. DEMOLISH AND POUR NEW 6'-0" CONCRETE SIDEWALK FOR ADA ACCESS INTO BUILDING.
 - K. NEW RELOCATED HANDICAP PARKING SPACES TO LINE UP WITH EXISTING CONCRETE WALKWAY FOR ADA ACCESS TO EXISTING 5' SIDE WALK. SIDE WALK NOT TO HAVE 1:20 SLOPE OR GREATER - SEE DETAIL 9 ON THIS SHEET

GENERAL NOTES:
CURB RAMPS SHALL MAINTAIN MAXIMUM 1:12 SLOPE WITH 1:10 SLOPE AT SIDE FLARES.
ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF 1:20 MAX WITH CROSS SLOPE NOT TO EXCEED 1:48. ALL LANDINGS AND CURB RAMPS SHALL HAVE A CROSS SLOPE OF 1:48 MAX.
PROVIDE BROOM FINISH AT CONCRETE SIDEWALKS ALONG ACCESSIBLE ROUTE INCLUDING CURB RAMPS IN ORDER TO ACCOMPLISH SLIP RESISTANT FINISH.
ALL ACCESSIBLE SPACES ARE TO BE DESIGNATED AS "VAN ACCESSIBLE" WITH APPROPRIATE SIGNAGE AND STRIPING

ALL EXISTING VEGETATION SHALL REMAIN IN PLACE. OWNER/MANAGER SHALL MAINTAIN EXISTING PLANTINGS TO ENSURE HEALTH AND VITALITY.
EXISTING REFUSE ENCLOSURES IS CONSTRUCTED IN CONFORMANCE WITH CITY OF ALBUQUERQUE SOLID WASTE REQUIREMENTS. ENCLOSURES SHALL BE CONSTRUCTED WITH ENCLOSURE GATES AS PER DETAIL.
VAN ACCESS ASLE FOR THE ADA ACCESSIBLE PARKING DOES NOT COUNT AS PARKING SPACE. THE MINIMUM WIDTH AND LENGTH FOR ALL PARKING SPACES ARE 8'-6" X 18'.
WIDTH OF SIDEWALKS ON BOTH PROPOSED AND EXISTING SHALL BE 3'-0" MINIMUM IN WIDTH.

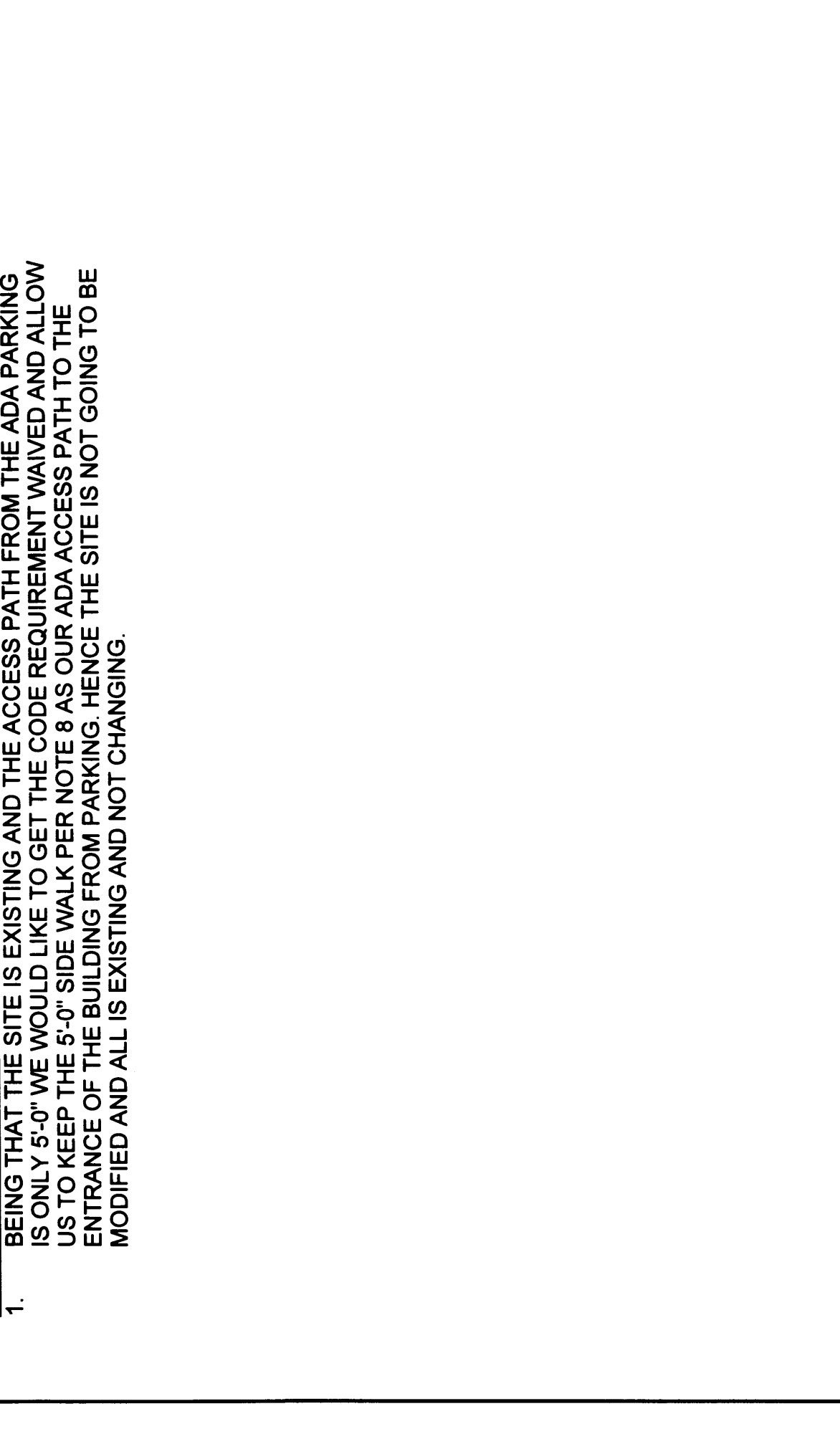
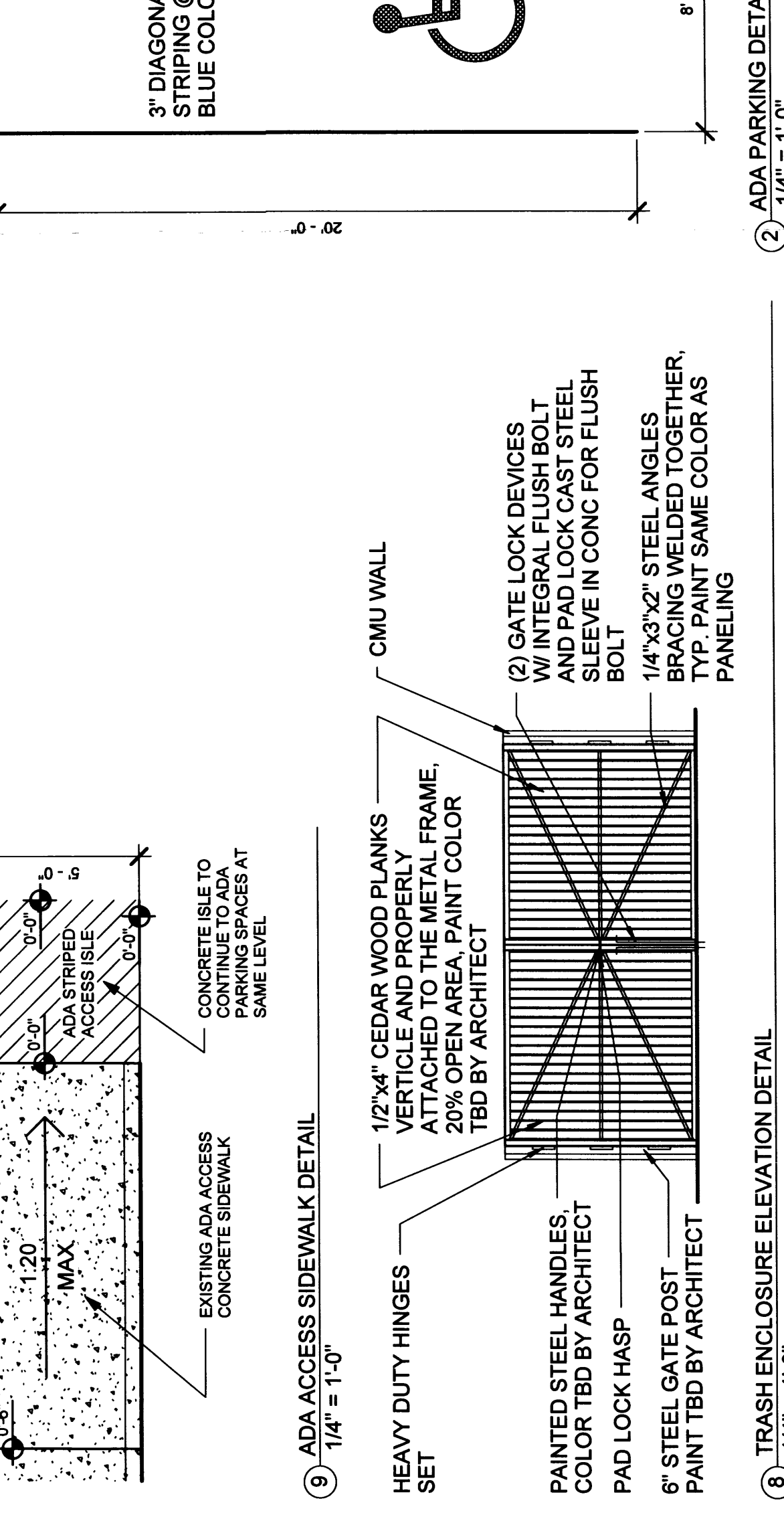
PARKING CALCULATIONS

STANDARD PARKING SPACES REQUIRED PER ZONING CODE 14-16-3-1	
OFFICE 3,841 SF / 200 = 19.7	20 SPACES
WAREHOUSE 3,831 SF / 2000 = 1.8	2 SPACES
TOTAL SPACES REQUIRED	22 SPACES REQUIRED
1 ADA SPACE PER 25	1 ADA REQUIRED
1 MOTORCYCLE PER 25	1 SPACE REQUIRED
PARKING PROVIDED:	
14 STANDARD EXISTING SPACES	
4 OFF-STREET NEW PARKING SPACES	
2 NEW COVERED PARKING SPACES	
2 ADA NEW PARKING SPACES	
TOTAL SPACES PROVIDED	22 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED	1 SPACE

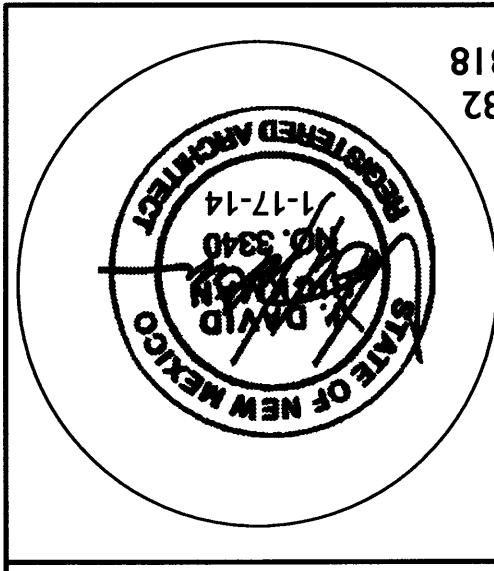


1" = 10'-0"

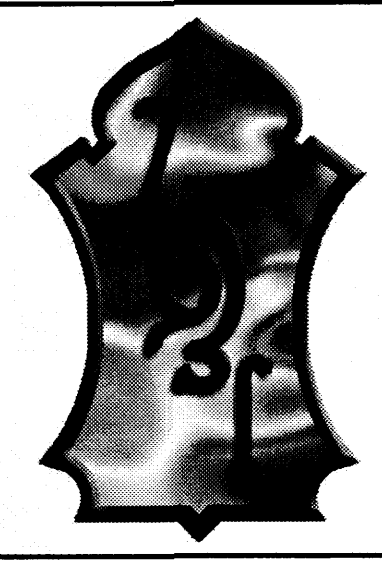
WAIVING REQUESTS:
BEING THAT THE SITE IS EXISTING AND THE ACCESS PATH FROM THE ADA PARKING SPACES TO THE BUILDING IS NOT CHANGING, THE REQUEST FOR THE 3' SIDE WALK PER ADA ACCESS PATH TO THE ENTRANCE OF THE BUILDING FROM PARKING, HENCE THE SITE IS NOT GOING TO BE MODIFIED AND ALL IS EXISTING AND NOT CHANGING.



1" = 10'-0"



JEDS & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS
11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 87113
P: 505-797-1318

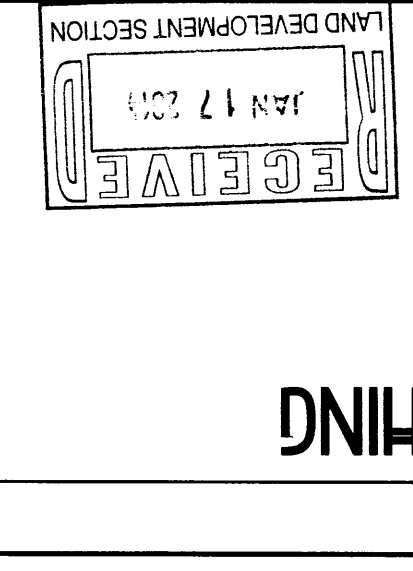


Job No: 13-036
Client: UM
Architect: JDH
Date: 1/2/2014

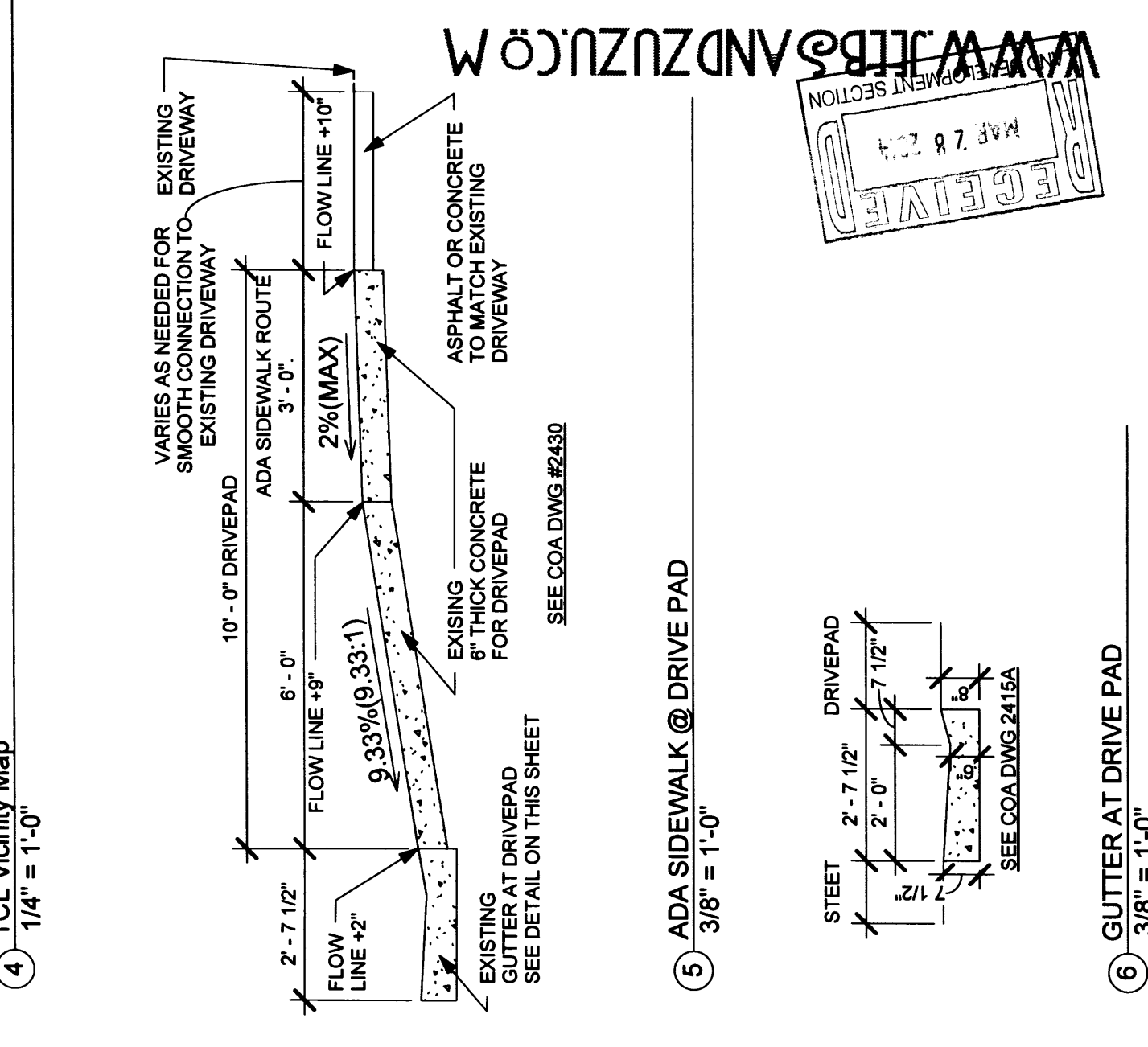
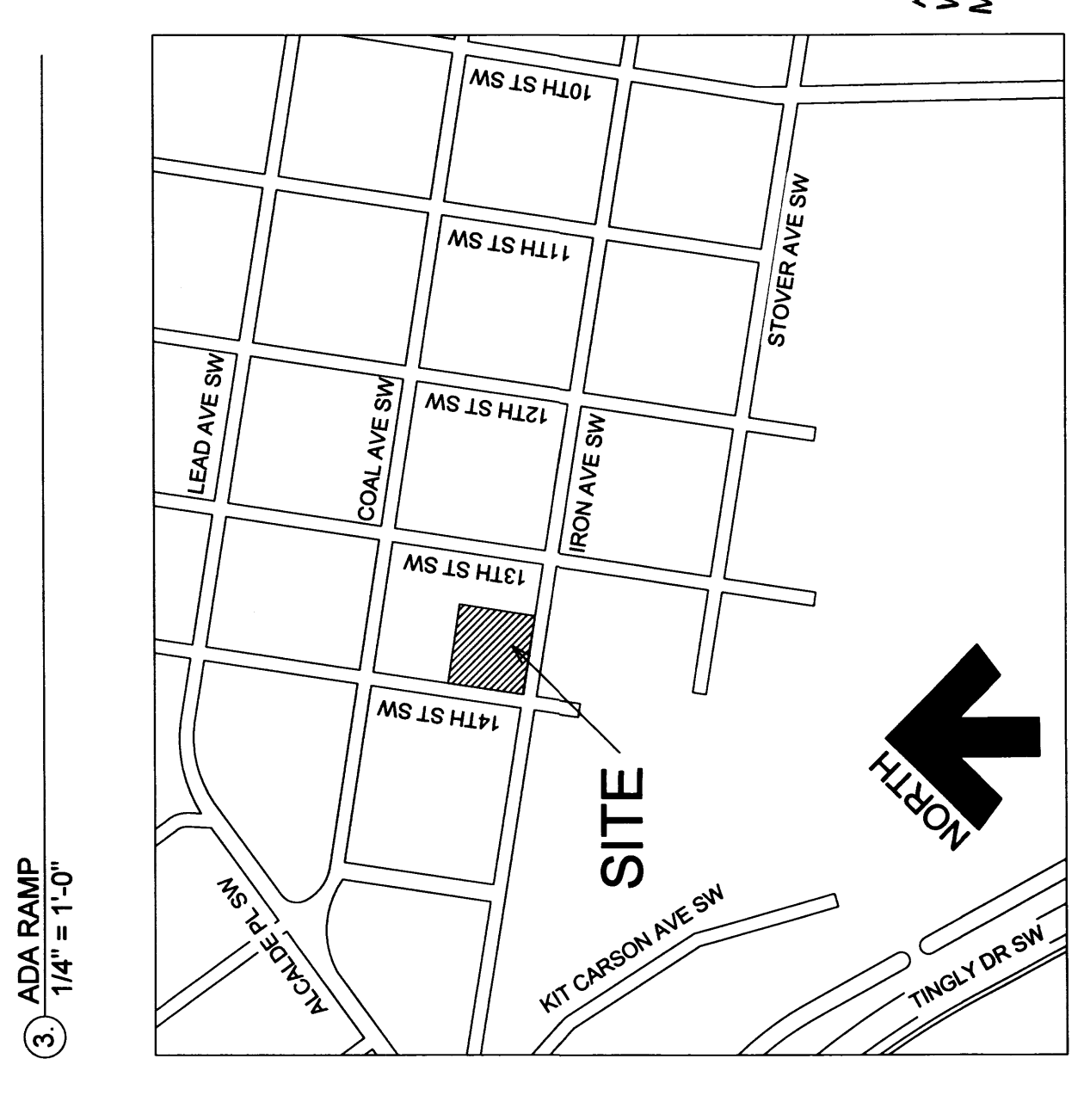
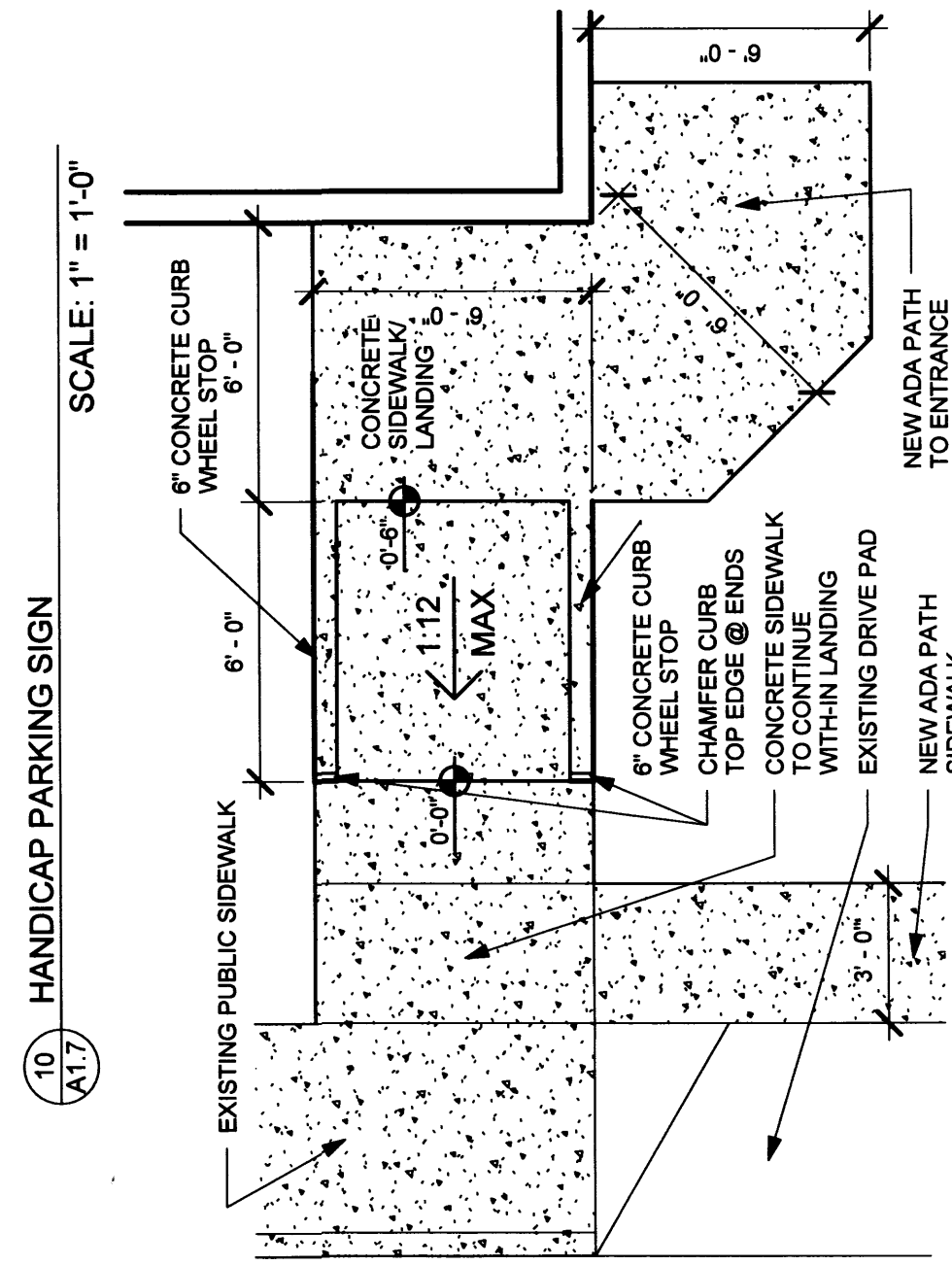
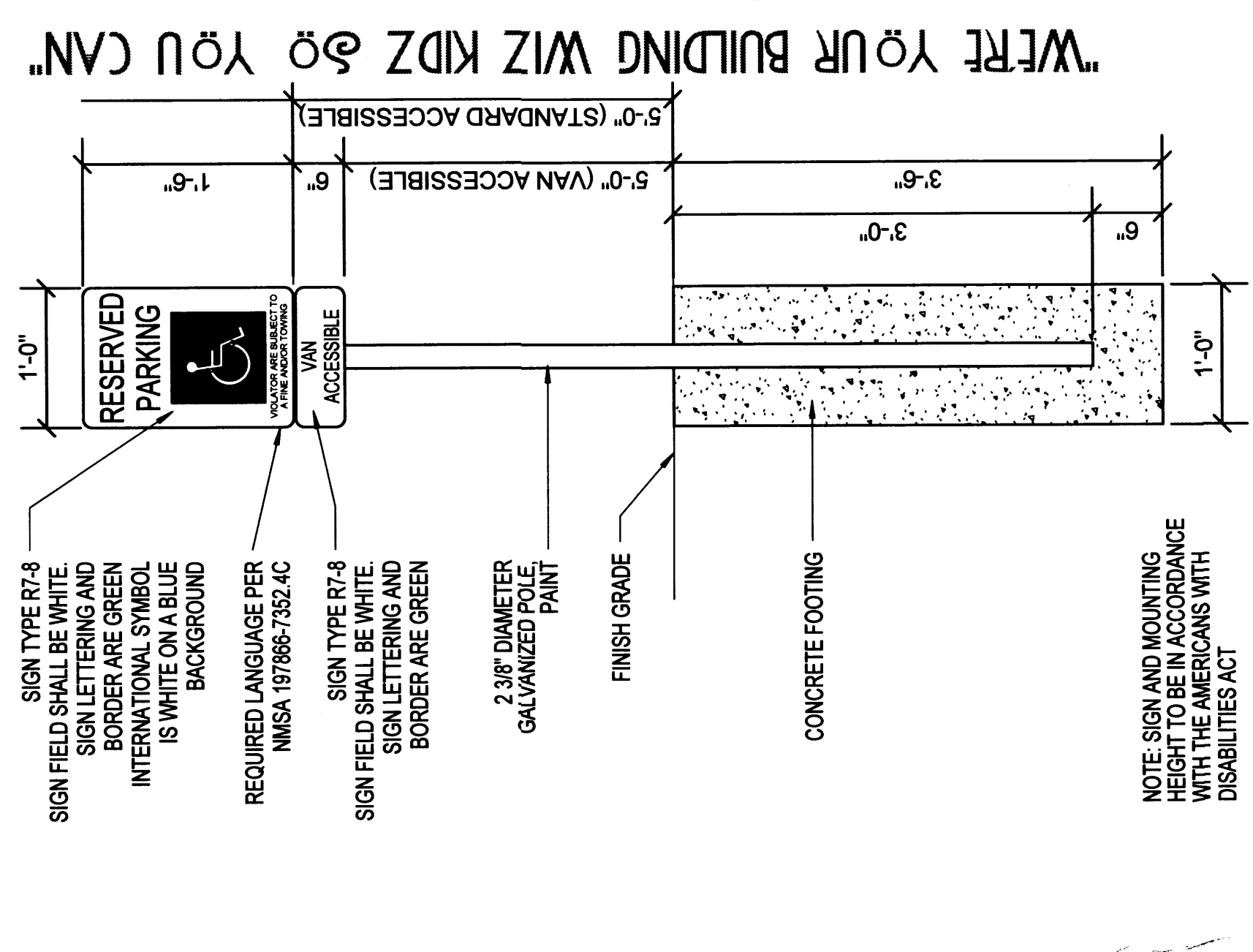
TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature]
Date: 1-22-14

Public Infrastructure shown on this drawing is for informational purposes only and not part of the contract. Separate DRCP/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



HARTMAN PUBLISHING
1015 IRON SW
ALBUQUERQUE, NM 8702
Sheet No: TDL



- EXISTING SITE ELEMENTS TO REMAIN:**
1. REFUSE ENCLOSURE
 2. 3 CONCRETE SIDEWALK
 3. NOT USED
 4. CONCRETE SIDEWALK
 5. CONCRETE CURB
 6. DRIVE PAD
 7. SIDEWALK
 8. CONCRETE ACCESS SIDEWALK
 9. CONCRETE ADA ISLE
 10. PARKING BLOCK
 11. CRUSHER FINES
 12. NOT USED
 13. FIRE HYDRANT
 14. ASPHALT
 15. CMU WALL

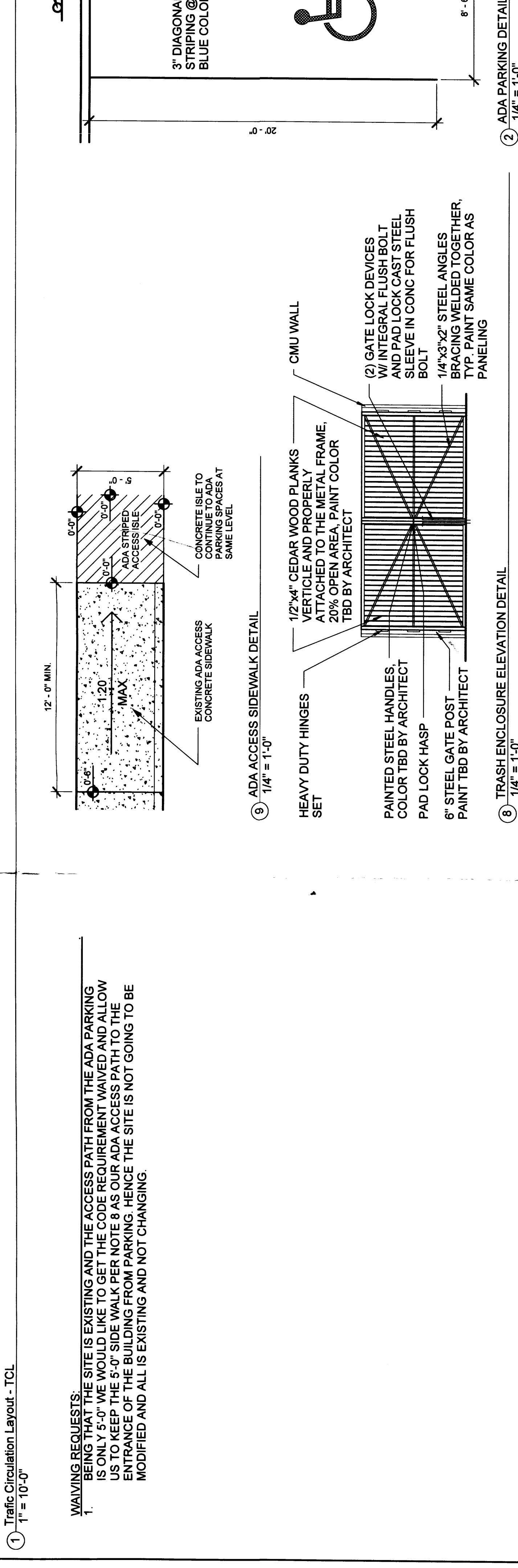
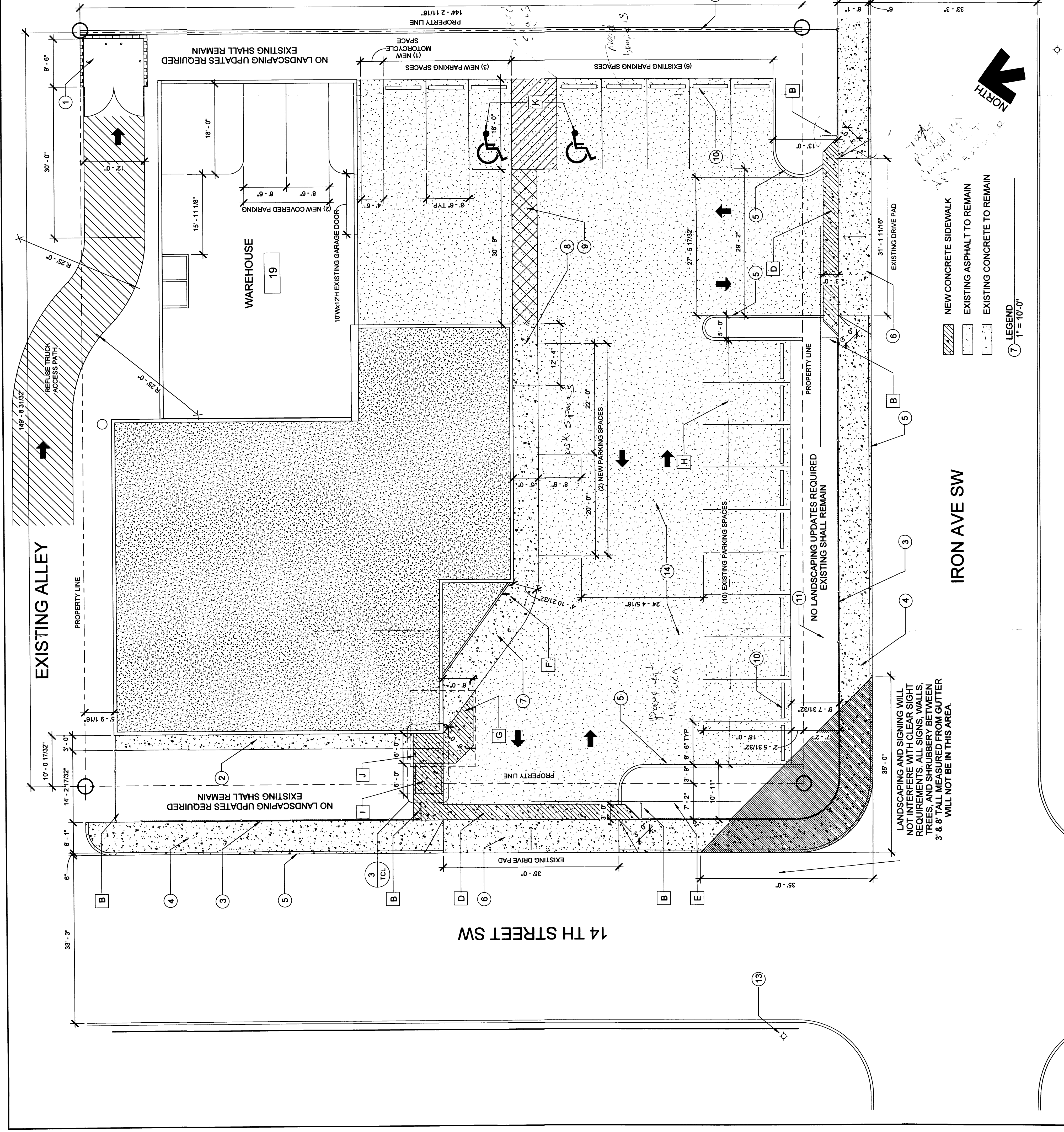
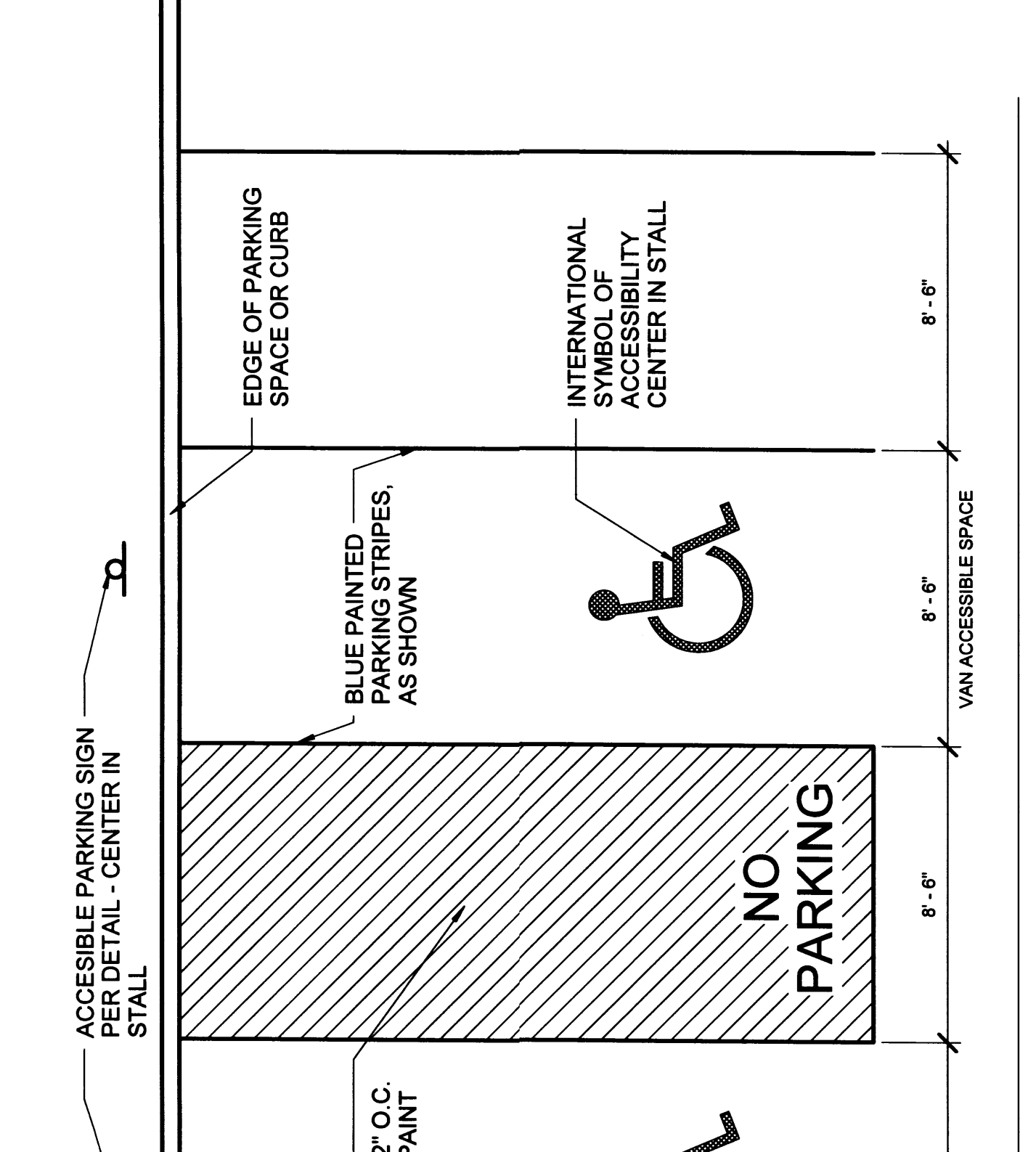
- NEW WORK AS PART OF THIS PROJECT:**
- A. NEW PARKING BLOCKS.
 - B. EXISTING FENCING TO BE REMOVED.
 - C. NOT USED
 - D. NEW 3' SIDEWALK SET BACK FOR ADA ACCESSIBILITY.
 - E. NOT USED
 - F. MOVE EXISTING BIKE RACK TO THIS NEW LOCATION.
 - G. NEW CONCRETE PAD TO ALLOW FOR ADA ACCESS.
 - H. EXISTING ACCESS ISLE TO BE RESTRICTED AND CONVERTED TO STANDARD PARKING SPACE.
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2 ADA NEW PARKING SPACES	
TOTAL SPACES PROVIDED	22 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED:	1 SPACE



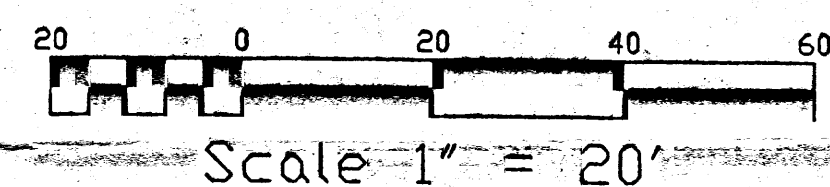
WAIVING REQUESTS:
BEING THAT THE SITE IS EXISTING AND THE ACCESS PATH FROM THE ADA PARKING SPACE TO THE BUILDING IS EXISTING, WE REQUEST THAT THE CITY OF ALBUQUERQUE WAIVE THE REQUIREMENTS OF THE BUILDING FROM PARKING. HENCE THE SITE IS NOT GOING TO BE MODIFIED AND ALL IS EXISTING AND NOT CHANGING.

RECEIVED
JUL 25 2002
HYDROLOGY SECTION

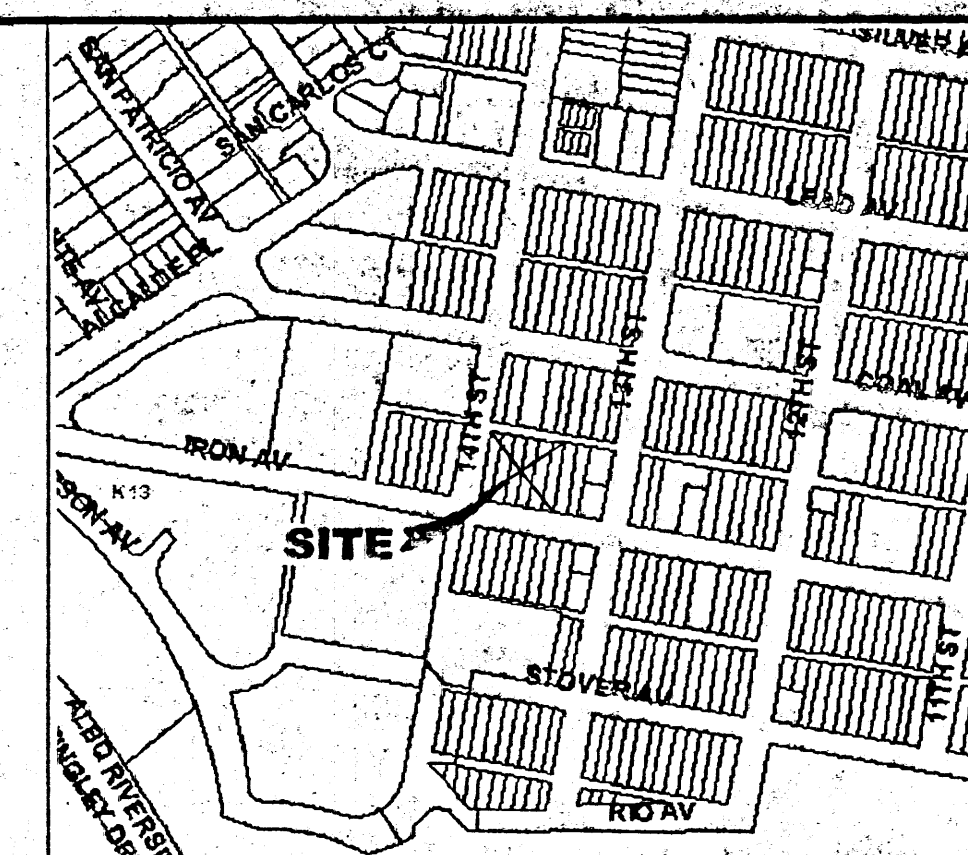
PROJECT BENCH MARK
ACS BENCHMARK 3-K13
ELEV 4945.01

SURVEY INFORMATION
SURVEY PERFORMED BY ALBUQUERQUE
SURVEYING JULY, 2002

LEGAL DESCRIPTION
LOTS 15-20, BLOCK 44, RAYNOLDS
ADDITION, CONTAINING 0.489 ACRES.

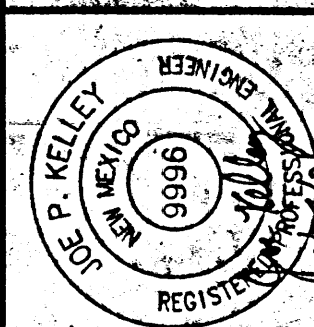


- LEGEND
- FLOW DIRECTION
 - × 45.3 EXIST. SPOT ELEVATION
 - ⊕ TC65.94 NEW SPOT ELEVATION
 - - - EXIST. BLDG
 - NEW BLDG
 - · - · - FUTURE BLDG
 - - - EXIST. PAVEMENT/CURB
 - NEW PAVEMENT/CURB
 - ⊙ EXIST. SANITARY SEWER
 - PARKING LOT STRIPING
 - RIGHT-OF-WAY LINE
 - LOT LINE



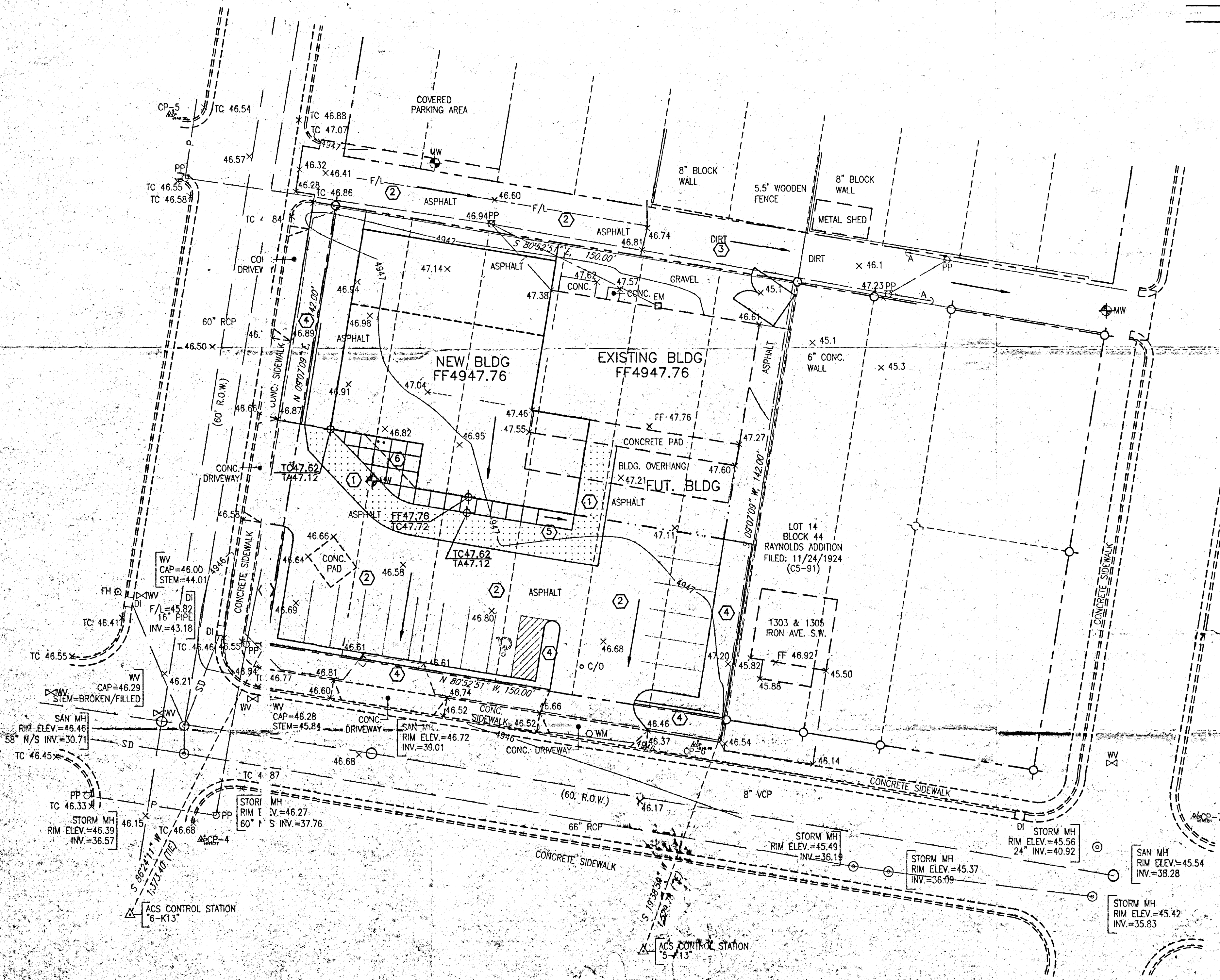
LOCATION MAP K-13

JC-Engineering
1924 Ramona Dr. NE, Rio Rancho, NM 87144-5532
(505)289-1935 Fax (505)987-9304 jce@jce-engineering.com



KEYED NOTES

- NEATLY CUT, REMOVE, AND REPLACE EXISTING ASPHALT PAVEMENT.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- INSTALL NEW ALLEY ASPHALT PAVEMENT PER COA STD DWG. 2411.
- REMOVE EXISTING ASPHALT PAVEMENT FROM LANDSCAPED AREAS. RUNOFF FROM PAVEMENT TO FLOW FREELY INTO PLANTER AREAS (NO CURB ON PERIMETER OF PAVEMENT).
- INSTALL HANDICAP RAMP WITH 12:1 MAXIMUM SLOPE.
- INSTALL SIDEWALK WITH TURNED-DOWN EDGE CREATING CURB FACE.



RECEIVED
JUL 25 2002
HYDROLOGY SECTION

REVISIONS	NO.	DATE	BY	DESCRIPTION

APPROVALS	DATE	SIGNATURE	DEPT.

PROJECT
ST. VINCENT DEPAUL
1313 IRON AVE. SE
CLIENT
KGA ARCHITECTURE

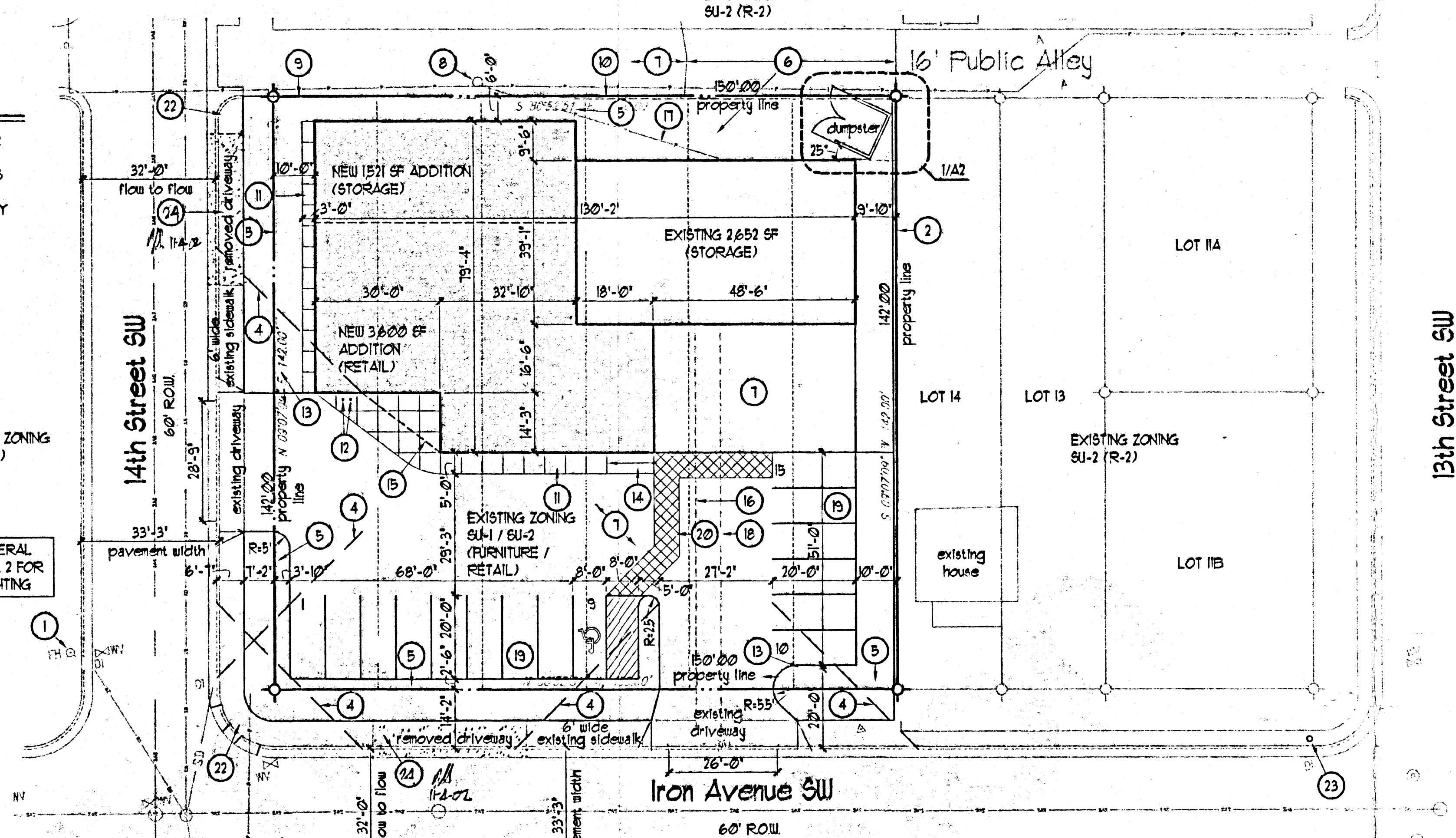
SHEET TITLE
CONCEPTUAL
GRADING PLAN
SHEET NO.
C33

Site Lighting Notes:

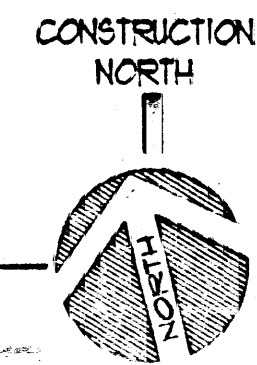
- ALL SITE LIGHTING TO BE BUILDING MOUNTED AND PER 14-16-3-9 OF ALBUQUERQUE ZONING ORDINANCE. THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY OR ANY OTHER RESIDENTIAL PREMISES. LIGHTING SHALL NOT HAVE OFF-SITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS REASSURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

EXISTING ZONING
SU-2 (O-1)

SEE GENERAL
NOTE NO. 2 FOR
SITE LIGHTING



13th Street SW



AFD PLANS CHECKING OFFICE
924-3511

APPROVED/DISAPPROVED
10/29/02
SIGNATURE & DATE

Project Number: 1002125

Application Number: 02-01611

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 9/19/02 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

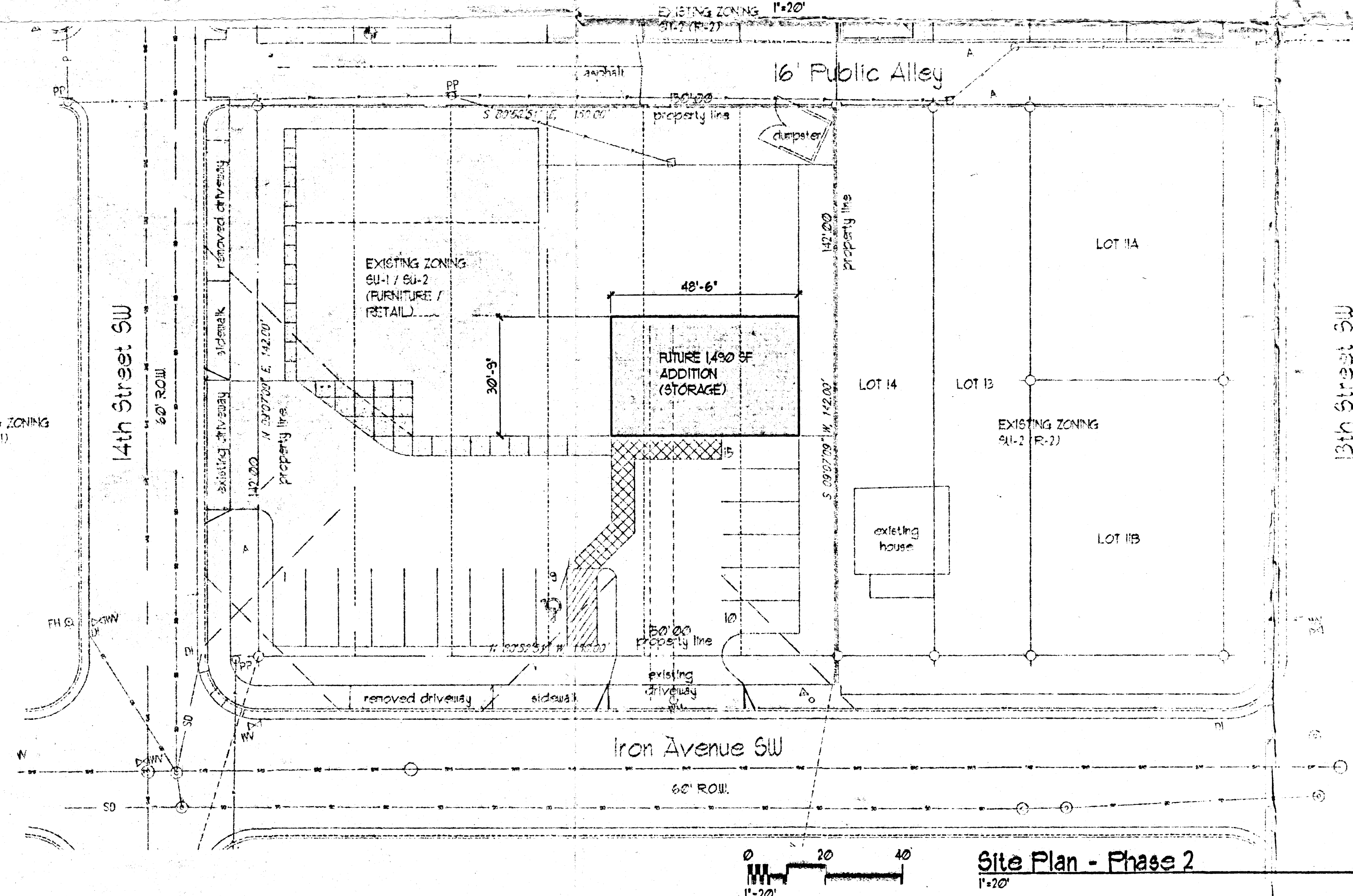
SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	11-05-02
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	10/29/02
Utilities Development	Date
<i>[Signature]</i>	10/29/02
Parks and Recreation Department	Date
N/A	
Environmental Health Department - existing landfill issues	Date
<i>[Signature]</i>	10/29/02
City Engineer / AMAPCA	Date
N/A	
Fire Marshall	Date
<i>[Signature]</i>	10-12-02
Solid Waste Management - Rail Out Year	Date

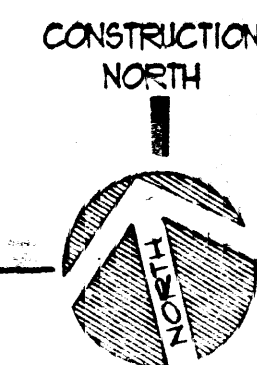
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

[Signature] 10/29/02
City Planner, Planning Department

EXISTING ZONING
SU-2 (O-1)



13th Street SW



Keyed Notes C2:

- EXISTING FIRE HYDRANT.
- NEW 6" CONCRETE BLOCK WALL. SEE 4/A2.
- DUMPSTER ENCLOSURE. SEE 1/A2.
- 35' VISIBILITY TRIANGLE.
- NOT USED.
- NEW ASPHALT PAVING AT ALLEY.
- EXISTING ASPHALT PAVING.
- EXISTING POWER POLE.
- EXISTING CHAIN LINK FENCE TO REMAIN.
- REMOVE EXISTING CHAIN LINK FENCE.
- NEW CONCRETE WALKWAY.
- BIKE STANDS FOR 5 BICYCLES.
- NOT USED.
- ACCESSIBILITY RAMP 1:20 MAXIMUM.
- ENTRANCE CANOPY OVERHANG.
- CONCEPTUAL UTILITY LAYOUT - TIE INTO EXISTING SANITARY LINE.
- CONCEPTUAL UTILITY LAYOUT - TIE INTO EXISTING ELECTRICAL SERVICE.
- CONCEPTUAL UTILITY LAYOUT - TIE INTO EXISTING WATER SERVICE.
- TYPICAL PARKING SPACE (EXCEPT AT ACCESSIBLE SPACES) IS 8'-6" X 20'-0".
- 6' WIDE CONCRETE WALKWAY WITH 24" X 24" JOINT PATTERN. SET TOP OF CONCRETE 1/4" ABOVE ASPHALT.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- RECONSTRUCT SIDEWALK TO ACCESSIBLE STANDARDS. SEE CIVIL.
- NEW FIRE HYDRANT.
- NEW 6" CONCRETE SIDEWALK W/ CURB & GUTTER AT REMOVED DRIVEWAY.

General Notes:

- THE EXISTING PROPERTY CONSISTS OF SIX (6) LOTS (LOTS 13-20). IT WILL BE REPLATTED INTO ONE (1) LOT.
- CONCEPTUAL UTILITY PLAN: TIE INTO EXISTING BUILDING ELECTRICAL FEED (AT ALLEY) AND EXISTING BUILDING WATER AND SEWER TIE INS.

Design Criteria

- A. ZONING DESIGN CRITERIA**
- LEGAL DESCRIPTION: LOTS 13-20, BLOCK 44, RAYNOLDS ADDITION, BERNALILLO COUNTY, NEW MEXICO
 - LOT SIZE: 21,300 SF (0.4890 ACRES)
 - ZONING CLASSIFICATION: SU-1 / SU-2 (FURNITURE / RETAIL)
 - PERMITTED AND ACTUAL USE: WAREHOUSE / RETAIL
 - SETBACKS:

1. FRONT:	56.66 FEET
2. SIDE:	9.83 FEET
3. REAR:	5 FEET
6. HEIGHT:	19 FEET MAXIMUM
 - PARKING REQUIREMENTS:

STORAGE - 5,663 SF / 2,000	3
RETAIL - 3,600 SF / 300	12
TOTAL SPACES REQUIRED:	15
 - TOTAL PARKING PROVIDED:

1. VAN ACCESSIBLE SPACES:	1
2. STANDARD ACCESSIBLE SPACES:	0
3. STANDARD PARKING SPACES:	14
TOTAL:	15
 - BICYCLE SPACES:

A. REQUIRED:	15 / 20 = 1 NO LESS THAN 2
B. PROVIDED:	5
 - ZONE ATLAS PAGE NO.: K-13-Z

DRB Plans

Addition
St. Vincent de Paul Society
1313 Iron Avenue SW
Albuquerque, New Mexico

Project Title

Drawn By: EB Checked By: WS
Proj. No.: 200212 Date: 10/22/02
©2002 KEVIN GEORGES & ASSOCIATES, PA

Revisions: Architect: Engineer:

SITE PLAN - PHASE 1
SITE PLAN - PHASE 2

Sheet Title: Sheet 3 of 7

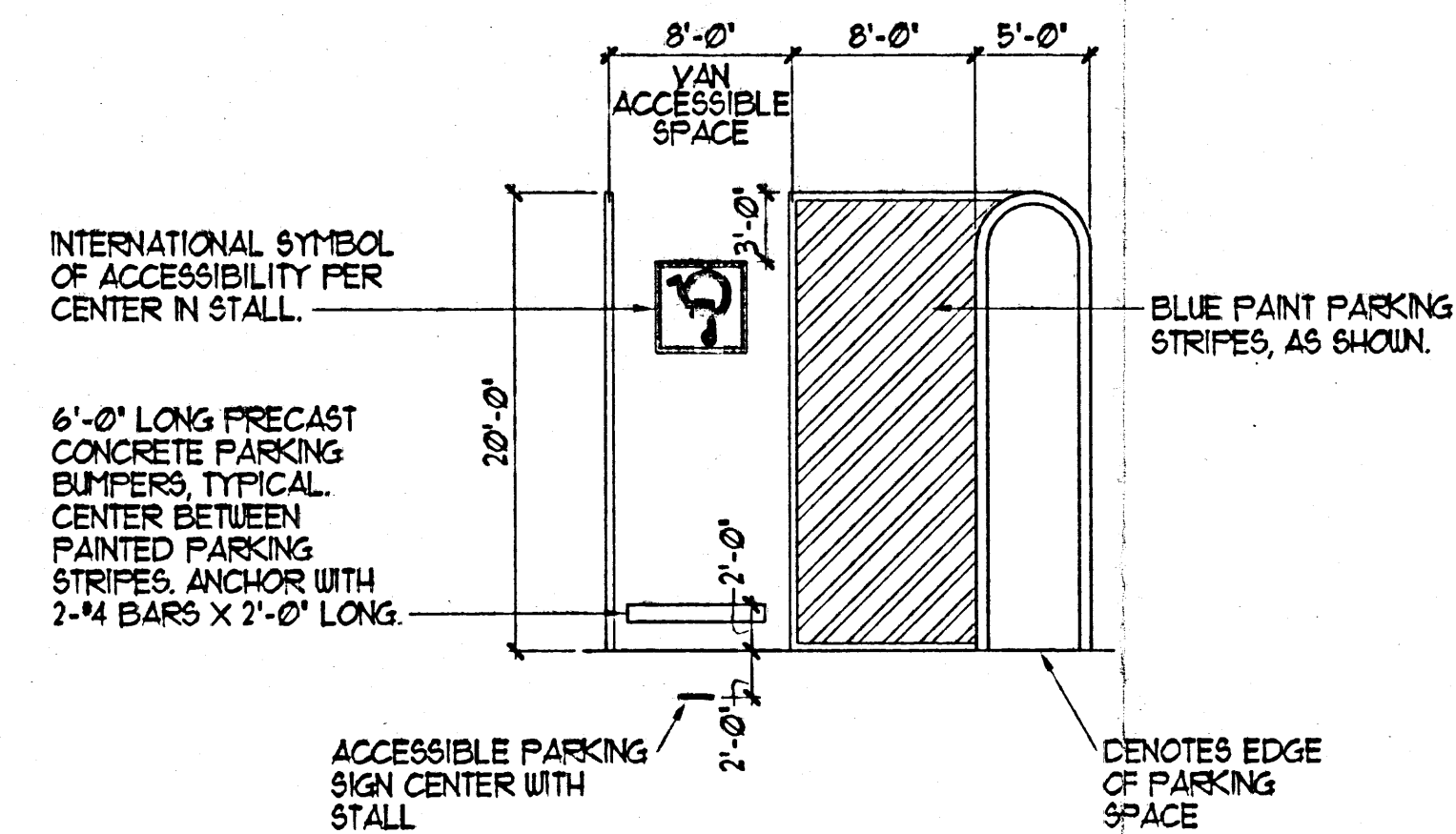
C2

Keyed Notes C2:

1. EXISTING FIRE HYDRANT.
2. NEW 6" CONCRETE BLOCK WALL. SEE 9/A6.
3. DUMPSTER ENCLOSURE. SEE 1/A6.
4. 35' VISIBILITY TRIANGLE.
5. NOT USED.
6. NEW ASPHALT PAVING AT ALLEY.
7. EXISTING ASPHALT PAVING.
8. EXISTING POWER POLE.
9. NOT USED.
10. REMOVE EXISTING CHAIN LINK FENCE.
11. NEW CONCRETE WALKWAY.
12. BIKE STANDS FOR 5 BICYCLES. SEE 8/A6.
13. NOT USED.
14. ACCESSIBILITY RAMP 1:20 MAXIMUM.
15. ENTRANCE CANOPY OVERHANG.
16. EXISTING SANITARY LINE. (APPROXIMATE LOCATION, VERIFY IN FIELD). SEE PLUMBING.
17. EXISTING ELECTRICAL SERVICE.
18. EXISTING WATER SERVICE. (APPROXIMATE LOCATION, VERIFY IN FIELD). SEE PLUMBING.
19. TYPICAL PARKING SPACE (EXCEPT AT ACCESSIBLE SPACES) IS 8'-6" X 20'-0".
20. 6' WIDE CONCRETE WALKWAY WITH 24" X 24" JOINT PATTERN. SET TOP OF CONCRETE 1/4" ABOVE ASPHALT.
21. NEW CONCRETE SIDEWALK, CURB AND GUTTER AT EXISTING DRIVEWAY. SEE CIVIL.
22. RECONSTRUCT SIDEWALK TO ACCESSIBLE STANDARDS. SEE CIVIL.
23. NEW FIRE HYDRANT.
24. CONCRETE PARKING BUMPER, TYPICAL.
25. SIDEWALK CULVERT, SEE 1A/A6.

General Notes:

1. ALL SITE LIGHTING TO BE BUILDING MOUNTED AND PER 14-16-3-9 OF ALBUQUERQUE ZONING ORDINANCE. THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY OR ANY OTHER RESIDENTIAL PREMISES. LIGHTING SHALL NOT HAVE OFF-SITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



Typical Van Accessible Parking Spaces
1/8" = 1'-0"

1
C2

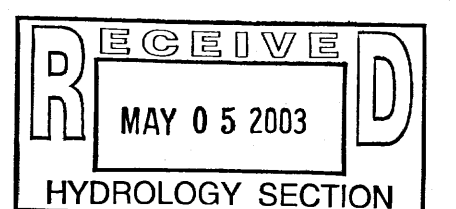
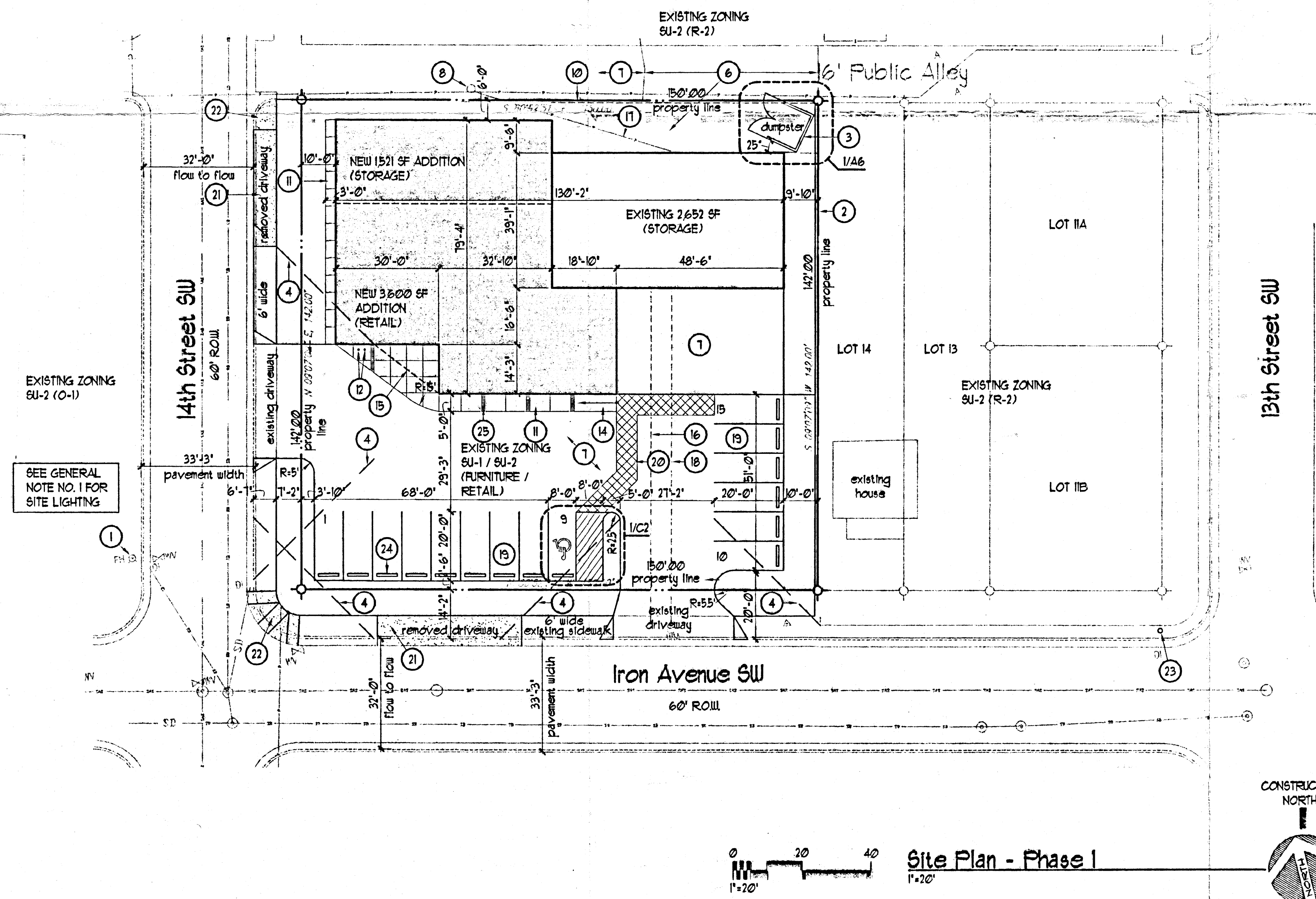
TCL CERTIFICATION

I, JOE P. KELLEY, NMPE 9996, OF THE FIRM JC ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TRAFFIC CIRCULATION LAYOUT. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

Joe P. Kelley
JOE P. KELLEY/P.E. NMPE 9996

5/5/03
DATE

JOE P. KELLEY
NEW MEXICO
9996
REGISTERED PROFESSIONAL ENGINEER

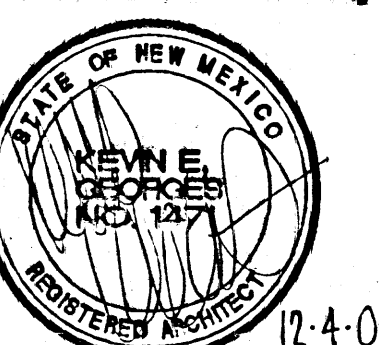


Final Construction Documents

Addition
St. Vincent de Paul Society
1313 Iron Avenue SW
Albuquerque, New Mexico

Project Title

Drawn By: EB Checked By: WRS
Proj. No.: 200212 Date: 12/4/02
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Revisions: Architect: Engineer:

SITE PLAN - PHASE 1
SITE PLAN - PHASE 2

Sheet Title: Sheet 4 of 24

C2



- EXISTING SITE ELEMENTS TO REMAIN:**
- 1. REFUSE ENCLOSURE
 - 2. 3' CONCRETE SIDEWALK
 - 3. STEEL FENCING - *Along Right of Way w/ 10' See Parking & Sidewalk*
 - 4. CONCRETE SIDEWALK *Existing?*
 - 5. CONCRETE CURB *Existing? New?*
 - 6. DRIVE PAD
 - 7. SIDEWALK
 - 8. CONCRETE RAMP
 - 9. CONCRETE WALKWAY
 - 10. PARKING BLOCK
 - 11. CRUSHER FINES
 - 12. *Not Used*
 - 13. FIRE HYDRANT
 - 14. ASPHALT
 - 15. CMU WALL
- NEW WORK AS PART OF THIS PROJECT:**
- A. NEW PARKING BLOCKS
 - B. INCLUDE NEW GATE TO MATCH EXISTING FENCING. SEE DETAIL
 - C. INCLUDE NEW FENCING TO ACCOMMODATE FOR SIDEWALK SETBACK AT DRIVE PADS FOR ADA ACCESSIBILITY.
 - D. NEW 3' SIDEWALK SET BACK FOR ADA ACCESSIBILITY.
 - E. CHANGE DIRECTION IN WHICH GATE OPENS.
 - F. MOVE EXISTING BIKE RACK TO THIS NEW LOCATION
 - G. NEW CONCRETE PAD TO ALLOW FOR ADA ACCESS.
 - H. EXISTING ACCESSIBLE TO BE RESTORED AND CONVERTED TO STANDARD PARKING SPACE.
 - I. NEW 5' CONCRETE RAMP FOR ADA ACCESS INTO SITE *Detail Slope*
 - J. DEMOLISH AND POUR NEW 3'-0" CONCRETE SIDEWALK FOR ADA ACCESS INTO BUILDING.
 - K. NEW RELOCATED HANDICAP PARKING SPACES TO LINE UP WITH EXISTING CONCRETE WALKWAY FOR ADA ACCESS. *Slope 2% max*

GENERAL NOTES:

CURB RAMP SHALL MAINTAIN MAXIMUM 1:12 SLOPE WITH 1:10 SLOPE AT SIDE FLARES.

ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF 1:20 MAX WITH GROSS SLOPE NOT TO EXCEED 1:48. ALL LANDINGS AND CURB RAMP SHALL HAVE A CROSS SLOPE OF 1:48 MAX.

PROVIDE BROOM FINISH AT CONCRETE SIDEWALKS ALONG ACCESSIBLE ROUTE INCLUDING CURB RAMP IN ORDER TO ACCOMPLISH SLIP RESISTANT FINISH.

ALL ACCESSIBLE SPACES ARE TO BE DESIGNATED AS "VAN ACCESSIBLE" WITH APPROPRIATE SIGNAGE AND STRIPING

ALL EXISTING VEGETATION SHALL REMAIN IN PLACE. OWNER/MANAGER SHALL MAINTAIN EXISTING PLANTINGS TO ENSURE HEALTH AND VITALITY.

EXISTING REFUSE ENCLOSURES IS CONSTRUCTED IN CONFORMANCE WITH CITY OF ALBUQUERQUE SOLID WASTE REQUIREMENTS. ENCLOSURES SHALL IS CONSTRUCTED WITH ENCLOSURE GATES AS PER DETAIL.

VAN ACCESSIBLE ASIDE FOR THE ADA ACCESSIBLE PARKING DOES NOT COUNT AS PARKING SPACE. THE MINIMUM WIDTH AND LENGTH FOR ALL PARKING SPACES ARE 6'-6" X 18'.

WIDTH OF SIDEWALKS ON BOTH PROPOSED AND EXISTING SHALL BE 3'-0" MINIMUM IN WIDTH.

PARKING CALCULATIONS

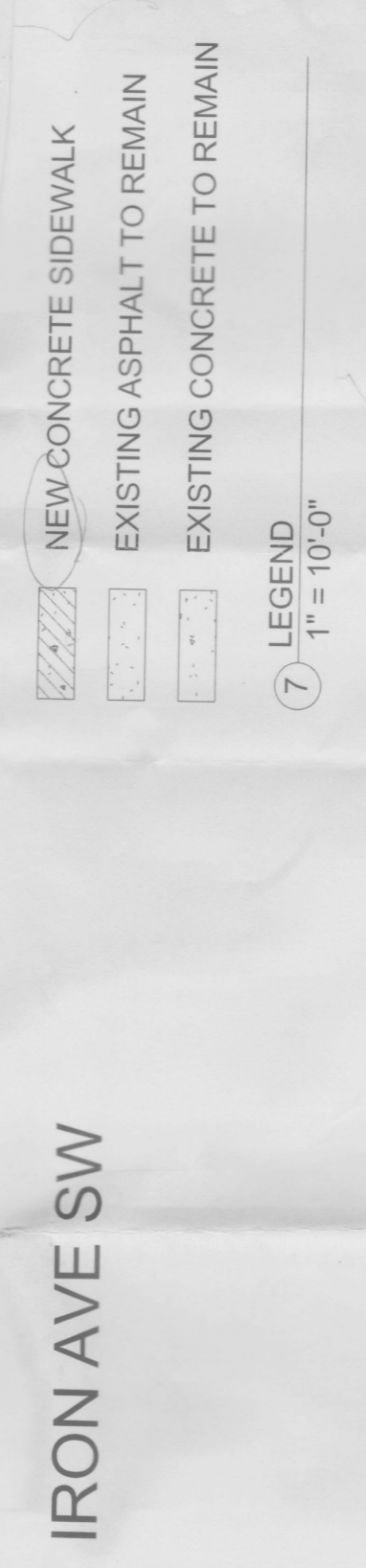
STANDARD PARKING SPACES REQUIRED PER ZONING CODE: 14-16-3-1	
OFFICE 3,941 SF / 200 = 19.7	20 SPACES
WAREHOUSE 3,631 SF / 2000 = 1.8	2 SPACES
TOTAL SPACES REQUIRED:	22 SPACES REQUIRED
1 ADA SPACE PER 25	1 ADA REQUIRED
1 MOTORCYCLE PER 25	1 SPACE REQUIRED

PARKING PROVIDED:

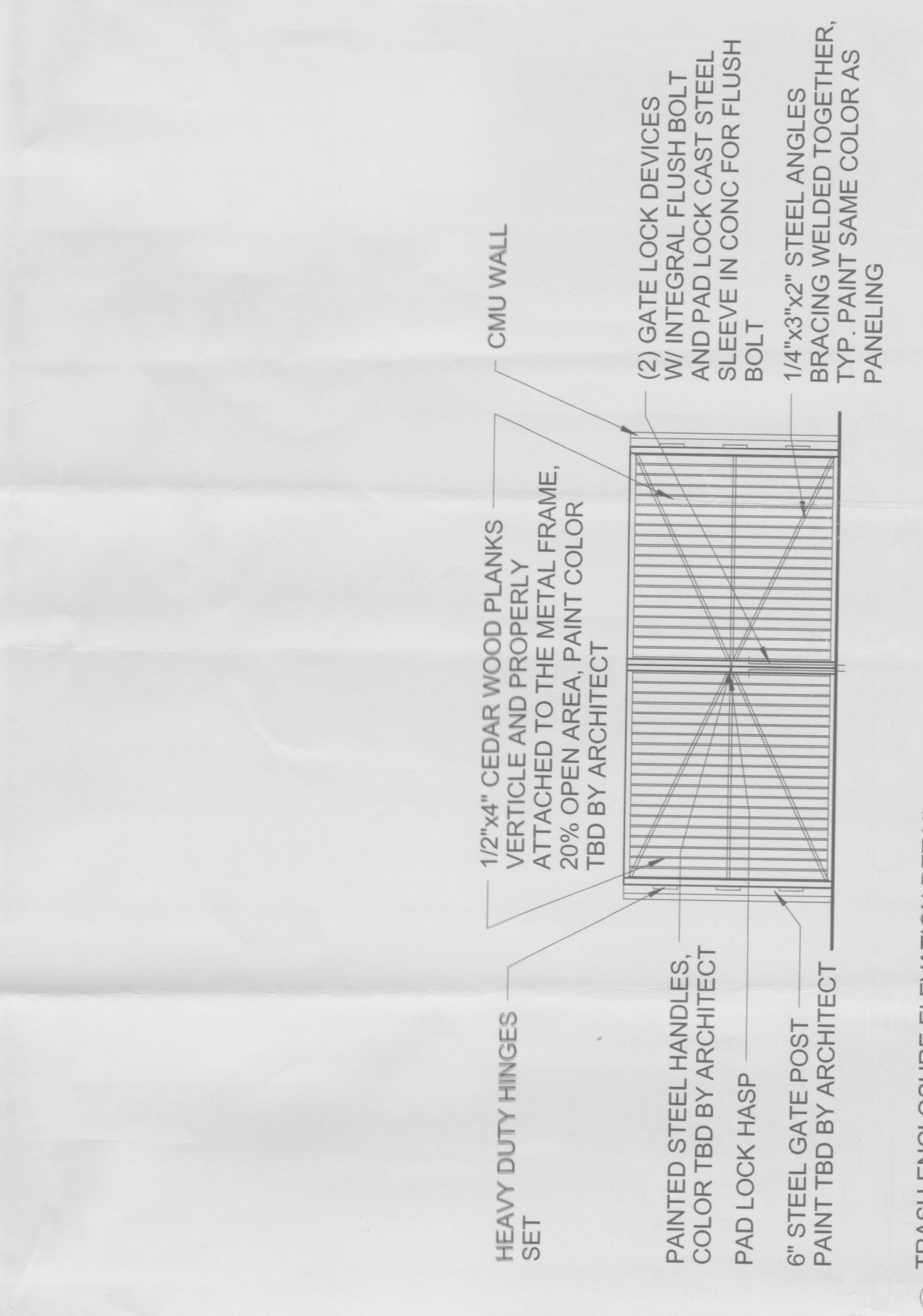
- 14 STANDARD EXISTING SPACES
- 4 NEW EXISTING PARKING SPACES
- 2 NEW COVERED PARKING SPACES
- 2 ADA NEW PARKING SPACES

TOTAL SPACES PROVIDED: 22 SPACES

TOTAL MOTORCYCLE SPACES PROVIDED: 1 SPACE



1 Traffic Circulation Layout - TOL
1" = 10'-0"



8 TRASH ENCLOSURE ELEVATION DETAIL
1/4" = 1'-0"

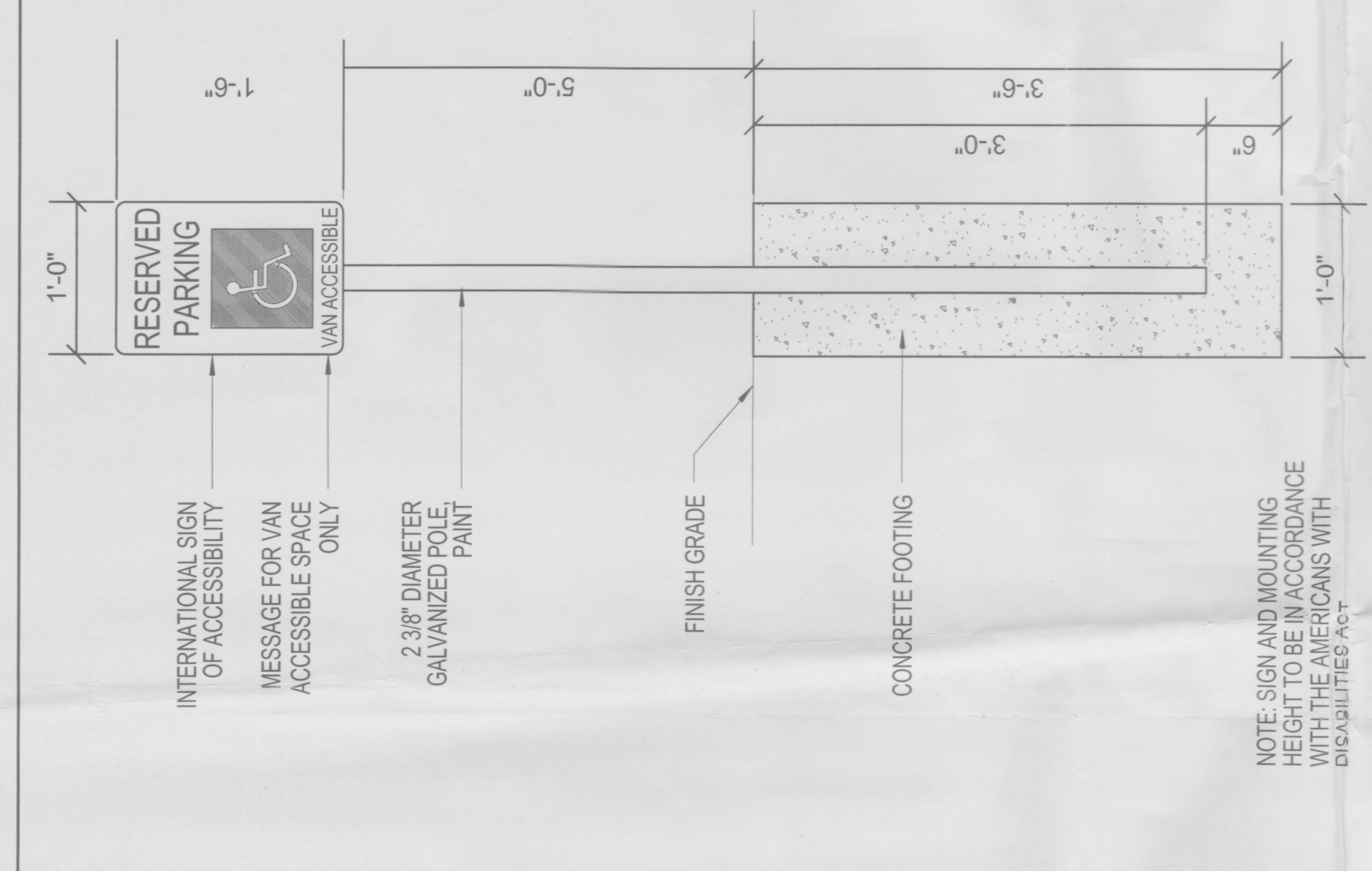
2 ACCESSIBLE PARKING SIGN
PER DETAIL - CENTER IN STALL
1/4" = 1'-0"

3 ADA SIDEWALK @ DRIVE PAD
3/8" = 1'-0"

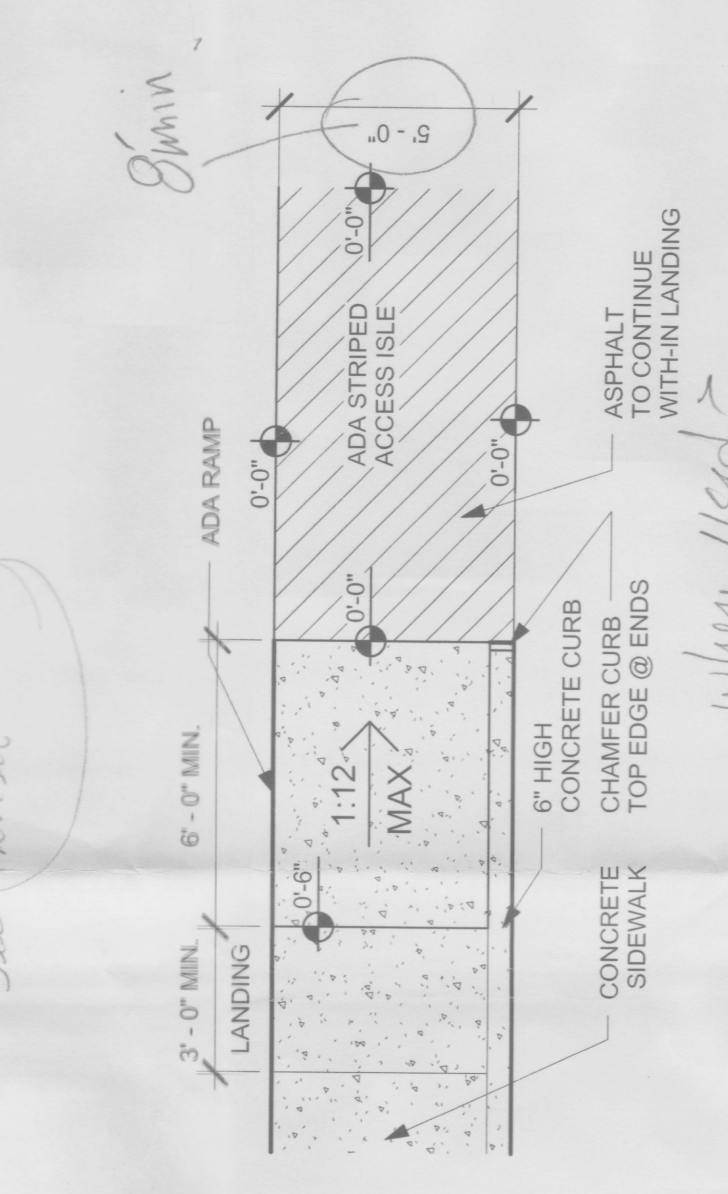
4 TOL Vicinity Map
1/4" = 1'-0"

5 ADA SIDEWALK @ DRIVE PAD
3/8" = 1'-0"

6 GUTTER AT DRIVE PAD
3/8" = 1'-0"



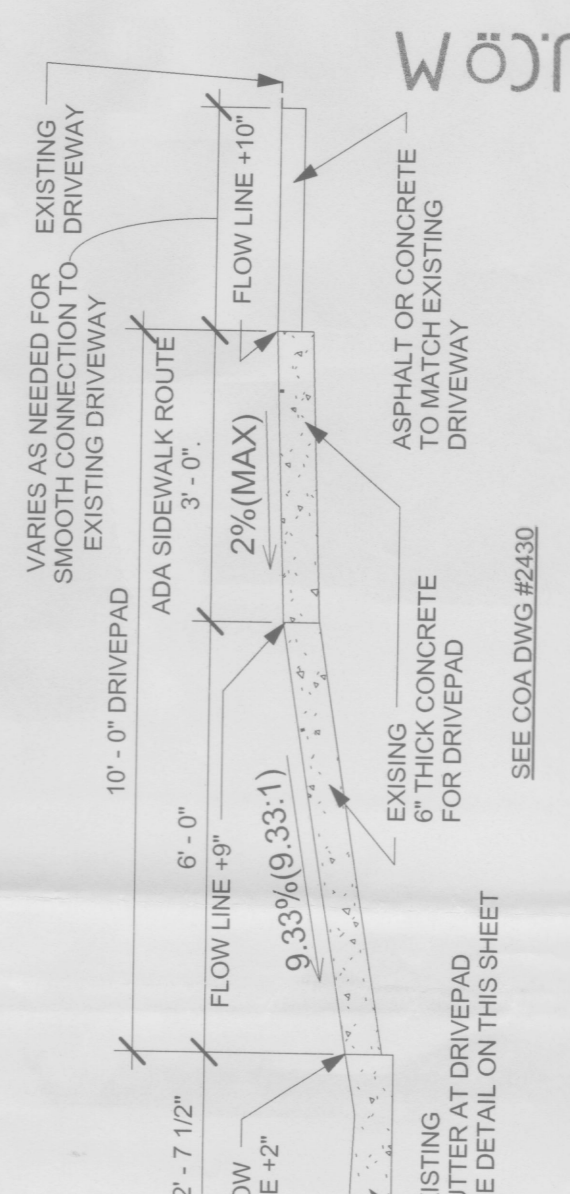
10 HANDICAP PARKING SIGN
See Revised ADA
SCALE: 1" = 1'-0"



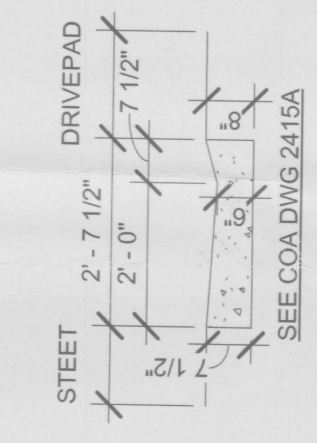
3 ADA RAMP DETAIL
1/4" = 1'-0"



4 TOL Vicinity Map
1/4" = 1'-0"



5 ADA SIDEWALK @ DRIVE PAD
3/8" = 1'-0"



6 GUTTER AT DRIVE PAD
3/8" = 1'-0"



PROJECT BENCH MARK
ACS BENCHMARK 3-K13
ELEV 4945.01 (SLD29 DATUM)

JCEngineering
1924 Roanoke Dr. NE, Rio Rancho, NM 87144-5532
(505)269-1936 Fax (505)867-9304 joe@jceengineering.com

 FLOW DIRECTION
 x 45.3 EXIST. SPOT ELEVATION
 C65.94 NEW SPOT ELEVATION
 --- EXIST. BLDG
 --- NEW BLDG
 ... FUTURE BLDG
 --- EXIST. PAVEMENT/CURB
 --- NEW PAVEMENT/CURB
 EXIST. SANITARY SEWER
 --- PARKING LOT STRIPING
 --- RIGHT-OF-WAY LINE
 --- LOT LINE
 MONITORING WELL
 ZONE 40 FLOODPLAIN PER
 FIRM 35001C0328 (SEPT. 1996)

- ① NEATLY CUT, REMOVE, AND REPLACE EXISTING ASPHALT PAVEMENT.
- ② EXISTING ASPHALT PAVEMENT TO REMAIN.
- ③ INSTALL NEW ALLEY ASPHALT PAVEMENT PER COA STD DWG. 2411.
- ④ REMOVE EXISTING ASPHALT PAVEMENT FROM LANDSCAPED AREAS. RUNOFF FROM PAVEMENT TO FLOW FREELY INTO PLANTER AREAS (NO CURB ON PERIMETER OF PAVEMENT).
- ⑤ INSTALL HANDICAP RAMP WITH 12:1 MAXIMUM SLOPE.
- ⑥ INSTALL SIDEWALK WITH TURNED-DOWN EDGE CREATING CURB FACE.
- ⑦ INSTALL DUMPSTER ENCLOSURE AS DETAILED ON ARCHITECTURAL PLANS, WITH 1% SLOPE AS INDICATED.
- ⑧ INSTALL NEW HANDICAP RAMP AS DETAILED ON THIS SHEET.
- ⑨ NEATLY SAWCUT AND REMOVE SIDEWALK AND CURB, AND INSTALL HANDICAP RAMP PER COA STD DWG 2441, CASE 1.
- ⑩ INSTALL DECORATIVE CONCRETE AS INDICATED ON ARCHITECTURAL PLAN.
- ⑪ NEATLY CUT AND REMOVE EXISTING ASPHALT PAVEMENT. GRADE SUBGRADE IN ACCORDANCE WITH NEW ELEVATIONS, AND COMPACT TO 95% ASTM D-1557. INSTALL NEW PAVEMENT, 2" THICK (1500 LB.), FLUSH WITH EXISTING PAVEMENT. APPLY TACK COAT TO CUT EDGE PRIOR TO NEW PAVEMENT INSTALLATION.
- ⑫ INSTALL NEW ASPHALT PAVEMENT 6" BELOW TOP OF NEW CONCRETE.
- ⑬ INSTALL NEW ASPHALT PAVEMENT FLUSH WITH CONCRETE.

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (785-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPRING 1992 PLANS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

RECEIVED
OCT 01 2002
PWD/DESIGN REVIEW

ET NO.
C3

OCTOBER 1, 2002 ST_VINC-C3.dwg

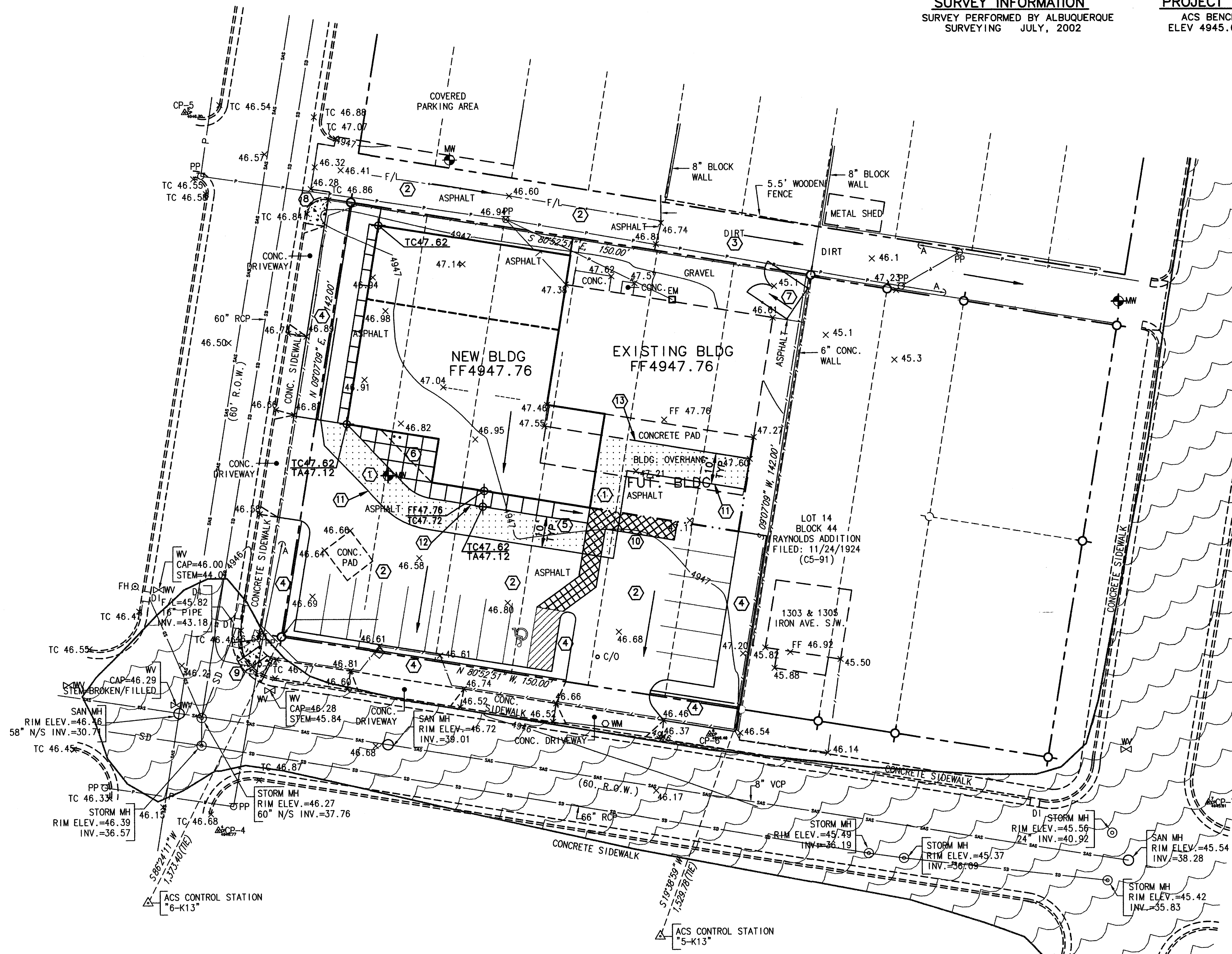


Diagram illustrating the repair of a curb and sidewalk. The diagram shows a cross-section of the existing structure (curb and sidewalk) and the proposed new concrete curb and sidewalk. The new concrete is shown with a 12:1 slope. The diagram includes the following labels:

- NEATLY SAWCUT AND REMOVE EXISTING CURB AND SIDEWALK.
- 12:1
- REMOVE EXISTING PILE OF ASPHALT.
- INSTALL NEW CONCRETE AT A 12:1 SLOPE.
- FOR CONSTRUCTION NOTES, COMPLY WITH COA STD DWG 2441.

HANDICAP RAMP

Scale 1" = 20'

GRADING PLAN

SURVEY INFORMATION
SURVEY PERFORMED BY ALBUQUERQUE
SURVEYING JULY, 2002

PROJECT BENCH MARK
ACS BENCHMARK 3-K13
ELEV 4945.01 (SLD29 DATUM)

LEGAL DESCRIPTION
LOTS 15-20, BLOCK 44, RAYNOLDS
ADDITION, CONTAINING 0.489 ACRES.

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN
WAS CONSTRUCTED IN SUBSTANTIAL
COMPLIANCE WITH THE APPROVED
DRAINAGE REPORT.
Joe P. Kelley 4/24/03
JOE P. KELLEY, P.E. DATE

LEGEND

- FLOW DIRECTION
- × 45.3 EXIST. SPOT ELEVATION
- ⊕ TC65.94 NEW SPOT ELEVATION
- EXIST. BLDG
- NEW BLDG
- FUTURE BLDG
- EXIST. PAVEMENT/CURB
- NEW PAVEMENT/CURB
- EXIST. SANITARY SEWER
- PARKING LOT STRIPING
- RIGHT-OF-WAY LINE
- LOT LINE
- ⊕ MW MONITORING WELL
- ⊕ ZONE A0 FLOODPLAIN PER FIRM 35001C0328 (SEPT. 1996)
- ✓ TC65.94 AS-BUILT ELEVATION CONFIRMED (APRIL 24, 2003)
- TC65.94 AS-BUILT ELEVATION (APRIL 24, 2003)
- TC65.90

KEYED NOTES

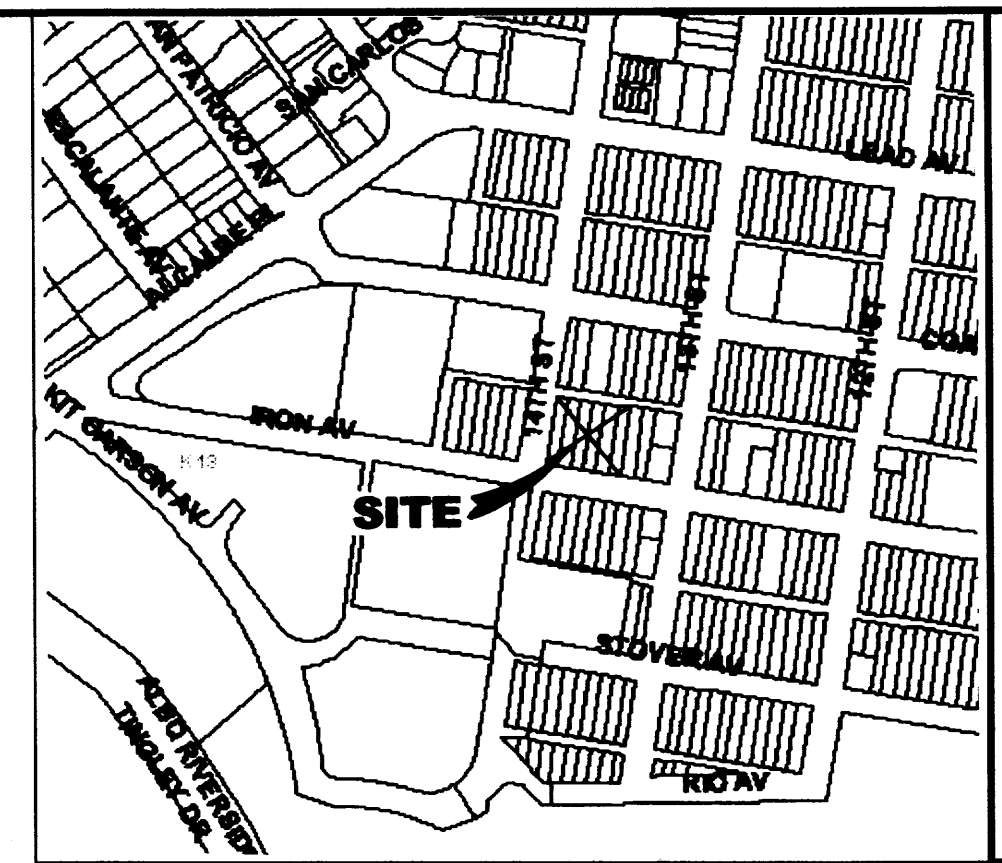
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- ⑫ INSTALL NEW ASPHALT PAVEMENT 6" BELOW TOP OF NEW CONCRETE.
- ⑬ INSTALL NEW ASPHALT PAVEMENT FLUSH WITH CONCRETE.
- ⑭ NEATLY REMOVE EXISTING DRIVEPAD AND DEPRESSED CURB AT THE NEAREST EXISTING CONTROL JOINT. REPLACE WITH NEW FULL HEIGHT CURB AND SIDEWALK PER COA STD DWG 2430.
- ⑮ INSTALL 6" CONCRETE CURB.

WORK WITHIN C.O.A. RIGHT-OF-WAY

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6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
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- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



LOCATION MAP K-13

JC Engineering
1924 Roonoke Dr. NE, Rio Rancho, NM 87144-5532
(505) 269-1936 Fax: (505) 987-9304 www.jcengineering.com



REVISIONS	NO.	DATE	BY	DESCRIPTION
	1	11/07/02	JPK	FILL IN NOTES PER R. DOORRE
	2	4/24/03	JPK	ENGINEER'S CERTIFICATION

APPROVALS	SIGNATURE	DEPT.

DATE	

PROJECT	ST. VINCENT DEPAUL 1313 IRON AVE. SW
CLIENT	KGA ARCHITECTURE

GRADING
PLAN

SHEET TITLE
SHEET NO.
C3

APRIL 24, 2003 ST_VINC-C3.dwg