

Cherne, Curtis

From: Cherne, Curtis
Sent: Friday, September 05, 2014 3:53 PM
To: Quintana, Carol S.; Connor, Francis
Subject: 901 Park Ave SW (Silver Moon Apt) Phase 1 Perm CO approval

Hydrology is approving a Permanent CO for Phase 1 at 901 Park Ave SW (Silver Moon Apts).

Curtis Cherne
Hydrology

Scott to submit plan on Monday so Hydrology
can write letter.
a

CITY OF ALBUQUERQUE



August 14, 2014

Scott Eddings
Huitt-Zollars
6501 America Parkway NE
Albuquerque, NM 87110

**Re: Silver Moon Apartments
10th St & Park Ave.
Request Permanent C.O. – Not Accepted
Engineer's Stamp dated: 5-1-13 (K13D072)
Certification dated: 8-12-14**

Dear Mr. Eddings,

Based on the Certification received 8/13/2014, the site is not acceptable for release of Certificate of Occupancy by Hydrology. The following comments must be addressed before CO can be given.

- The plan submitted for CO does not match the approved Grading and Drainage plan.
- We cannot give a partial CO, when the entire site was submitted under one building permit and not in phases.
- The site does not drain in substantial compliance.
- The drainage certification language does not match the hatched areas given on the plan.
- The site is a concern for the safety of its patrons.

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

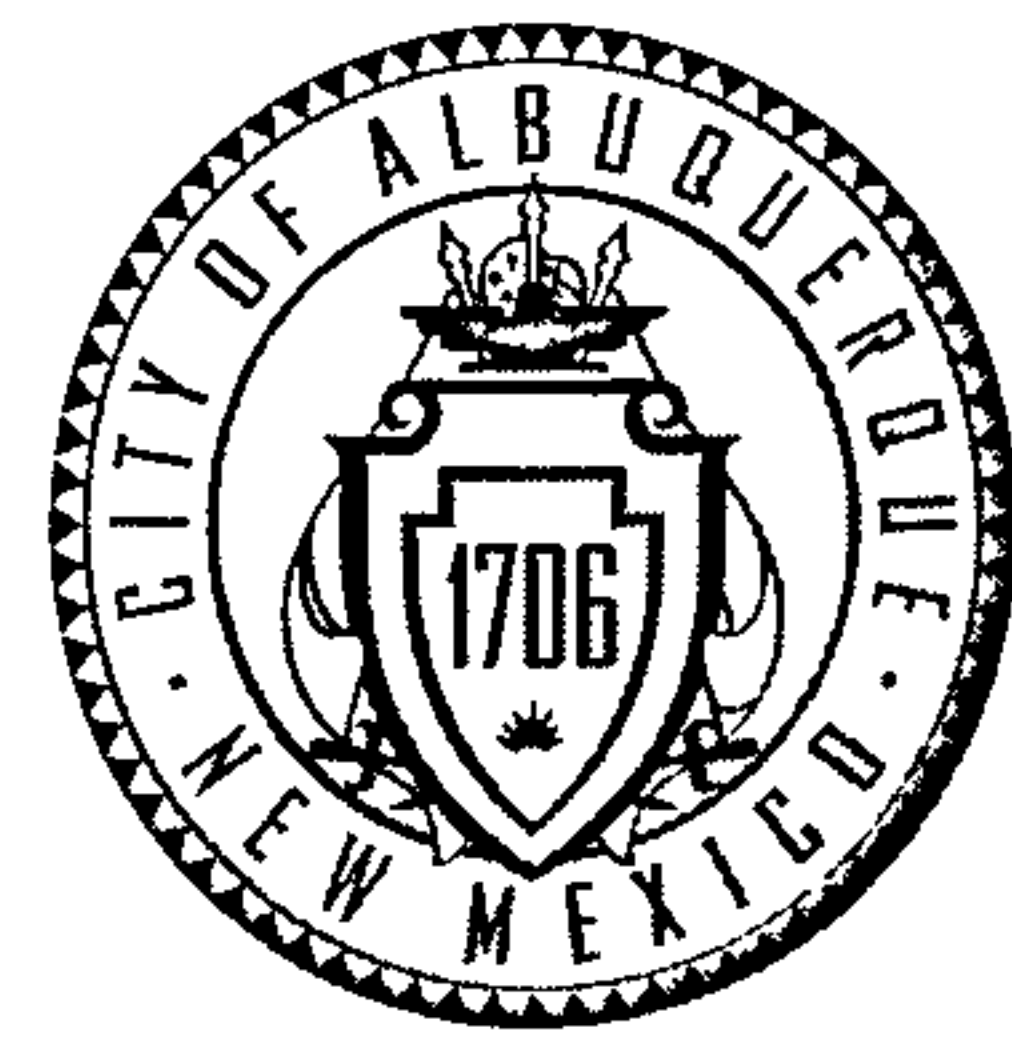
www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

C: RR/CC
email

CITY OF ALBUQUERQUE



May 30, 2013

Scott A. Eddings, PE
Huitt-Zellers
6501 Americas Parkway NE
Albuquerque, NM 87110

Re: Silver Moon Apartments
Grading and Drainage Plan
Engineer's Stamp dated 5-1-13 (K13/D072)

Dear Mr. Eddings,

Based upon the information provided in your submittal received 5-07-13, the above referenced plan is approved for Building Permit, Grading Permit and SO-19. Hydrology is requesting that the proposed landscape areas be depressed to retain/infiltrate the moisture which falls on them. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Please attach a copy of this approved plan to the construction sets when submitting for a building permit. If the approved plan is not attached to the construction set, Hydrology will reject the construction set for building permit.

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Albuquerque

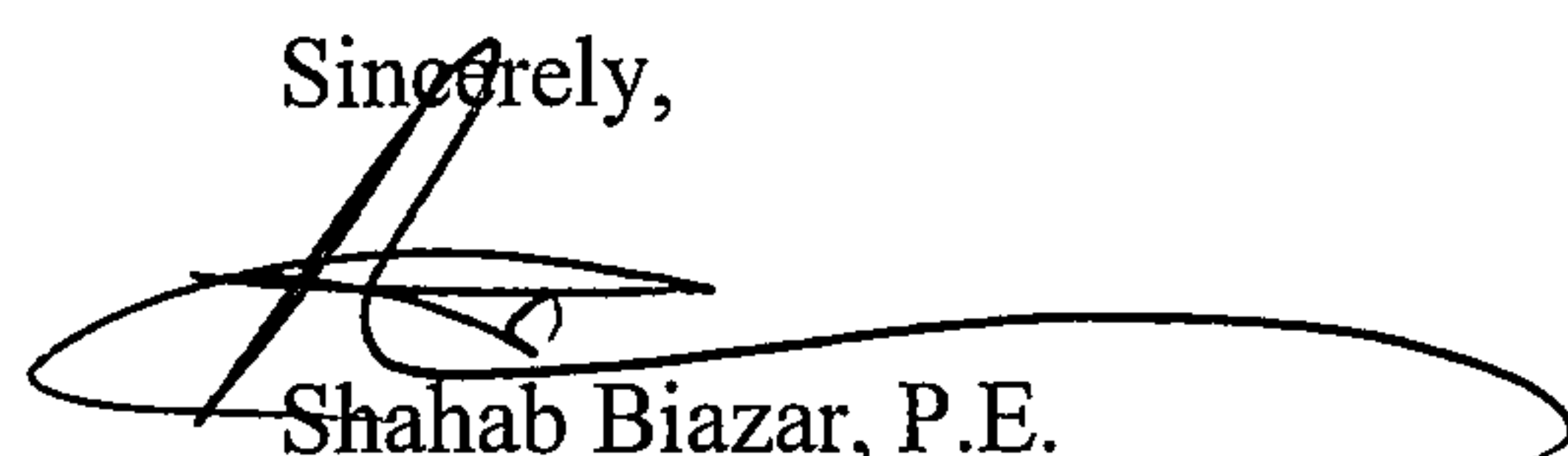
New Mexico 87103

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. To obtain a Certificate of Occupancy, the storm drain (*individualize*) work in the City R/W must be inspected and accepted. Please contact Jason Rodriguez, Storm Drain Maintenance, at 857-8074 to schedule an inspection. ***If there is a City (DRC) Work Order associated with this project, this work must be included in the Work Order.***

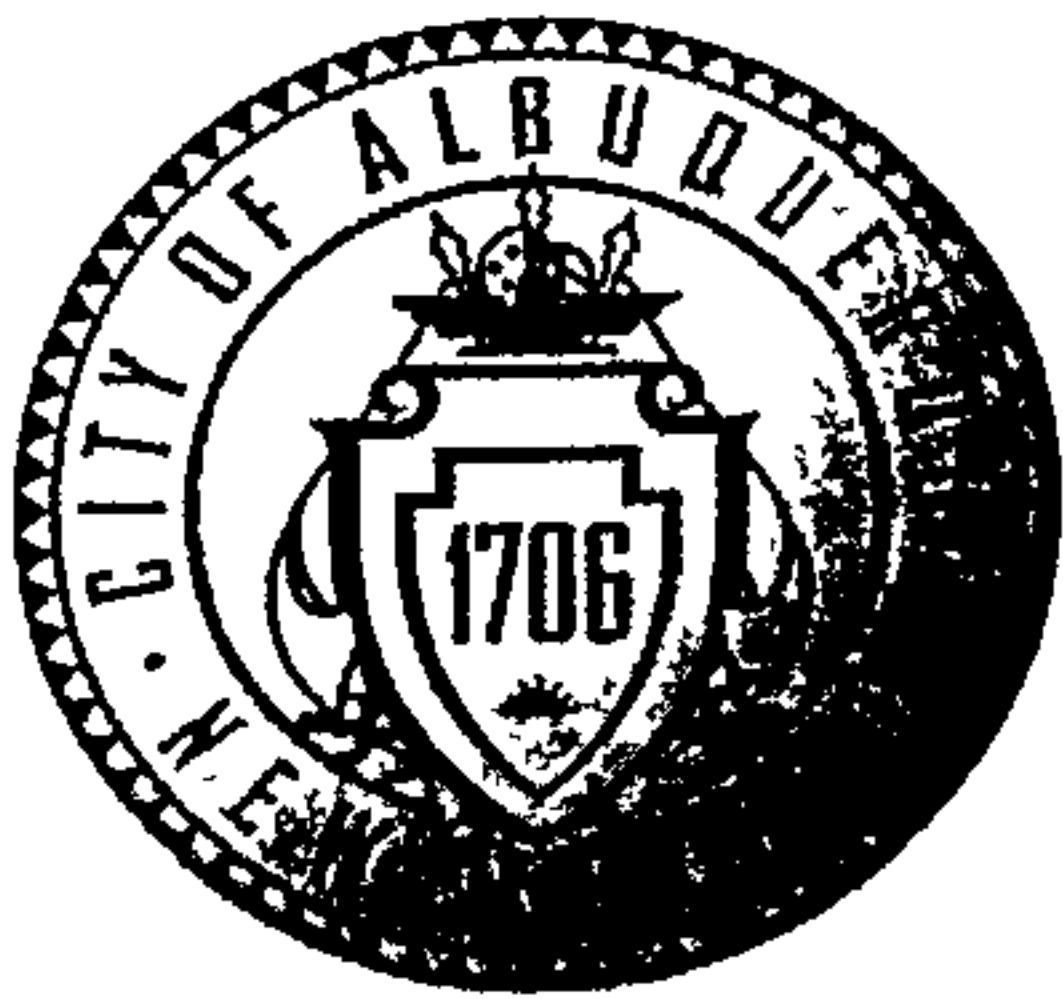
If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

RER/SB
C: Antoinette Baldonado, Excavation and Barricading, ABaldonado@cabq.gov
Jason Rodriguez, Street/Storm Drain Maintenance, JTRodriguez@cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

1130072

Project Title: Silver Moon Apartments Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: W/ Portion of Lt together w/ Lts 2-13 Block 48

City Address: _____

Engineering Firm: Huitt-Zollars Contact: Scott Eddings

Address: 333 Rio Rancho Blvd

Phone#: 892-5141 Fax#: 892-3259 E-mail: seddings@huitt-zollars.com

Owner: DBG Properties Contact: _____

Address: 2164 Park Place Portland, Oregon

Phone#: 503-402-0091 Fax#: _____ E-mail: tycoleman@gslproperties.com

Architect: D/P/S Contact: Ron Whitherspoon

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

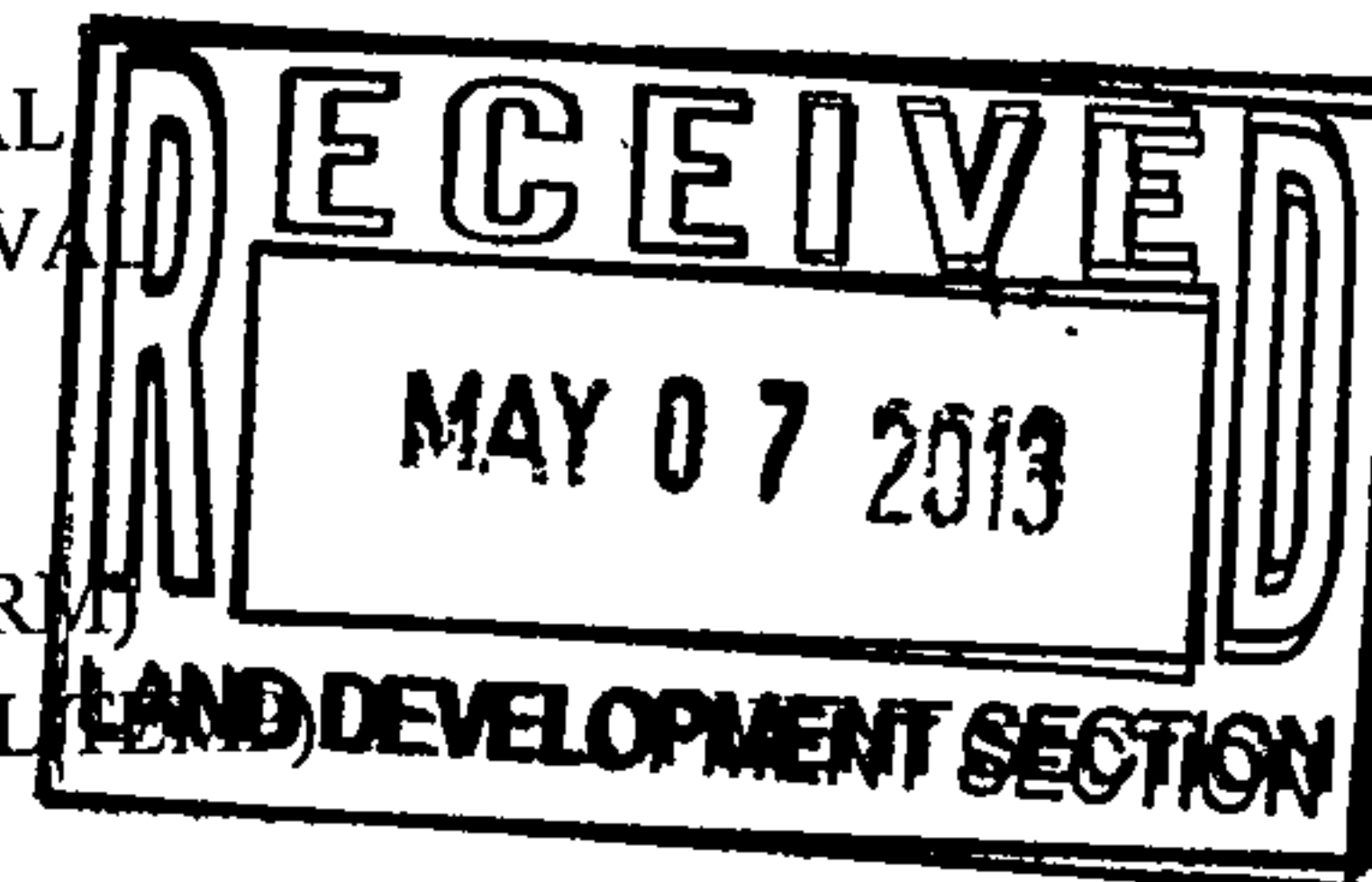
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 5/7/13

By: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



March 14, 2013

Scott A. Eddings, PE
Huitt-Zellers
6501 Americas Parkway NE
Albuquerque, NM 87110

Re: Silver Moon Apartments
Grading and Drainage Plan
Engineer's Stamp dated 3-8-13 (K13/D072)

Dear Mr. Eddings,

Based upon the information provided in your submittal received 3-08-13, the above referenced plan can not be approved for Building Permit, Grading Permit or Paving Permit until the following comments are addressed.

- Use Section 22.2 of the Development Process Manual, City of Albuquerque, for the input information into the AHYMO program.
- Depress all landscape areas to retain all moisture which falls on them.
- Provide volume calculations for the cistern, a detail of the cistern, as well as the pump specifications. Is this pump automatic or manual?
- How are the flows in the parking lot reaching the cistern?
- It would be preferable if the water leaving the cistern went through a rock swale before entering the public street.
- Provide a water block at the entry/exit to the parking lot.
- Please be advised that before any permit can be issued an Erosion and Sediment Control Plan (ESC), prepared by a registered professional engineer under the laws of the state of New Mexico, must be prepared, submitted and approved by the Hydrology Department.

PO Box 1293


Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/SB
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Silver Moon Apartments ZONE MAP: K13D072
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: WLY Portion of Lt 1 together with Lts 2 thru 13 in block 48
CITY ADDRESS: _____

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: DBG Properties CONTACT: Tyler Coleman
ADDRESS: 2164 Southwest Park Place PHONE: 402-0091
CITY, STATE: Portland Oregoe ZIP CODE: 97205

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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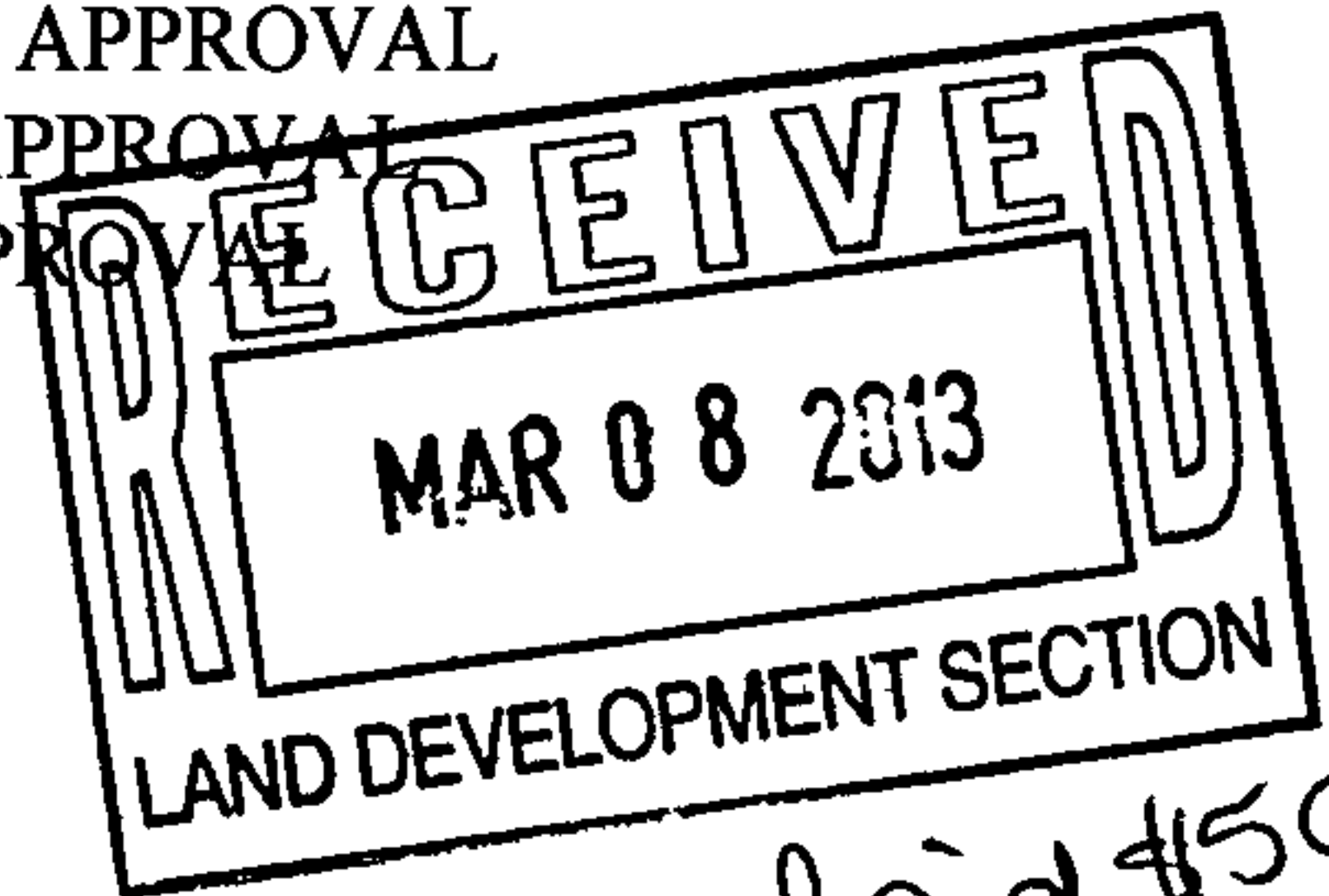
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 3-8-13 BY: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Silver Moon Apartments ZONE MAP: K-13-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: WLY Portion of Lt 1 together with Lts 2 thru 13 in block 48
CITY ADDRESS: 901 Park Ave SW

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: DBG Properties CONTACT: Tyler Coleman
ADDRESS: 2164 Southwest Park Place PHONE: 402-0091
CITY, STATE: Portland Oregoe ZIP CODE: 97205

ARCHITECT: Dekker/Perich/Sabatini CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Alb., NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: DGB LLC CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

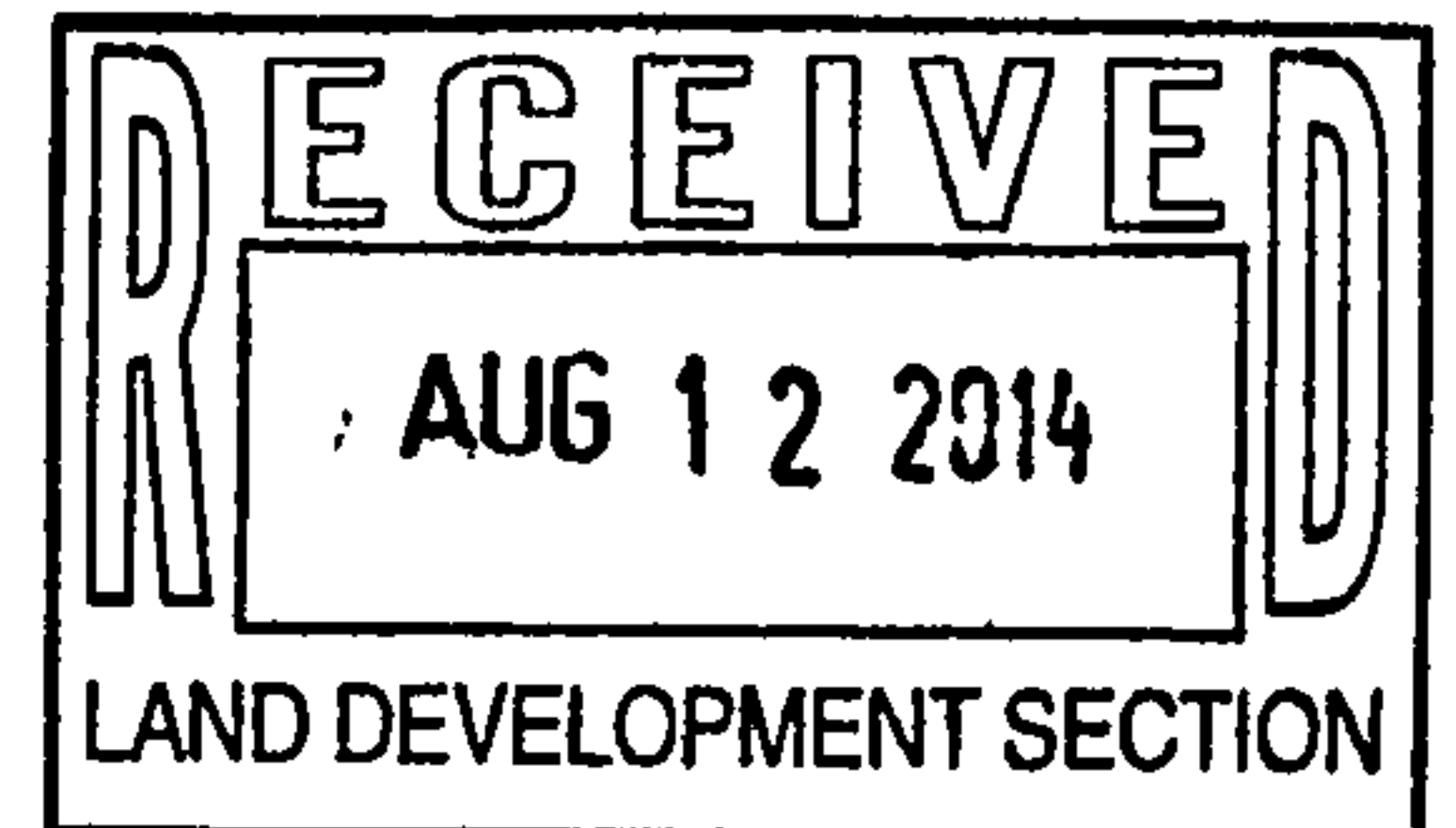
☐ DRAINAGE REPORT
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☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
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☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 8-12-14 BY: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 5, 2014

Ronald Witherspoon, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

Re: Silver Moon Lodge, 901 Park Ave. – PHASE 1 ONLY
Certificate of Occupancy – Transportation Development
Administrative Amendment dated 07-24-14 (1009514, K13-D072)
Certification dated 09-04-14

Dear Mr. Witherspoon,

Based upon the information provided in your submittal received 09-05-14, including the Phasing Plan SKA-28 dated 07-28-14 and revised 09-05-14 Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

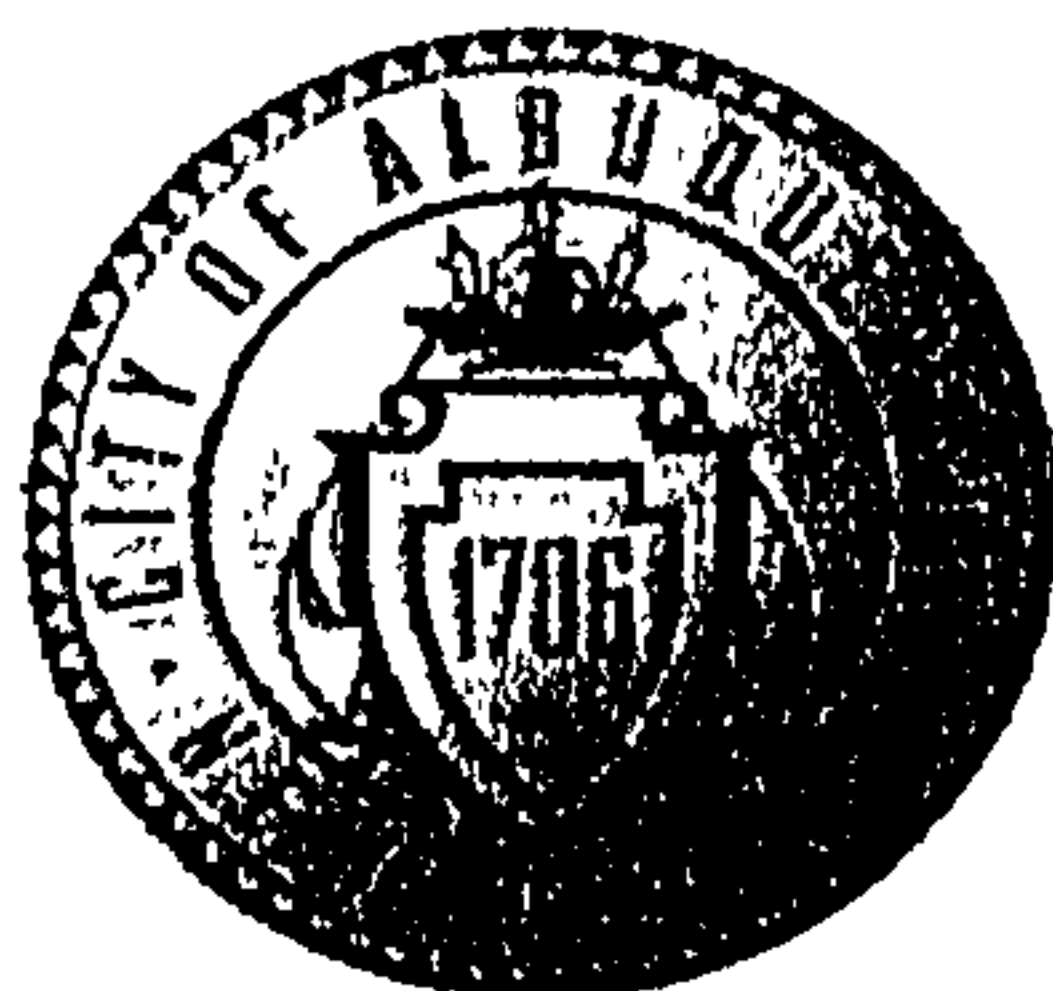
If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

K13D072



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Silver Main Lodge Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 901 Park Av. SW AED

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: Zach@dpsdesign.org

Architect: Zac Hulme D/P/S Contact: ~~Zach@dpsdesign.org~~

Address: _____

Phone#: 761-9700 Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

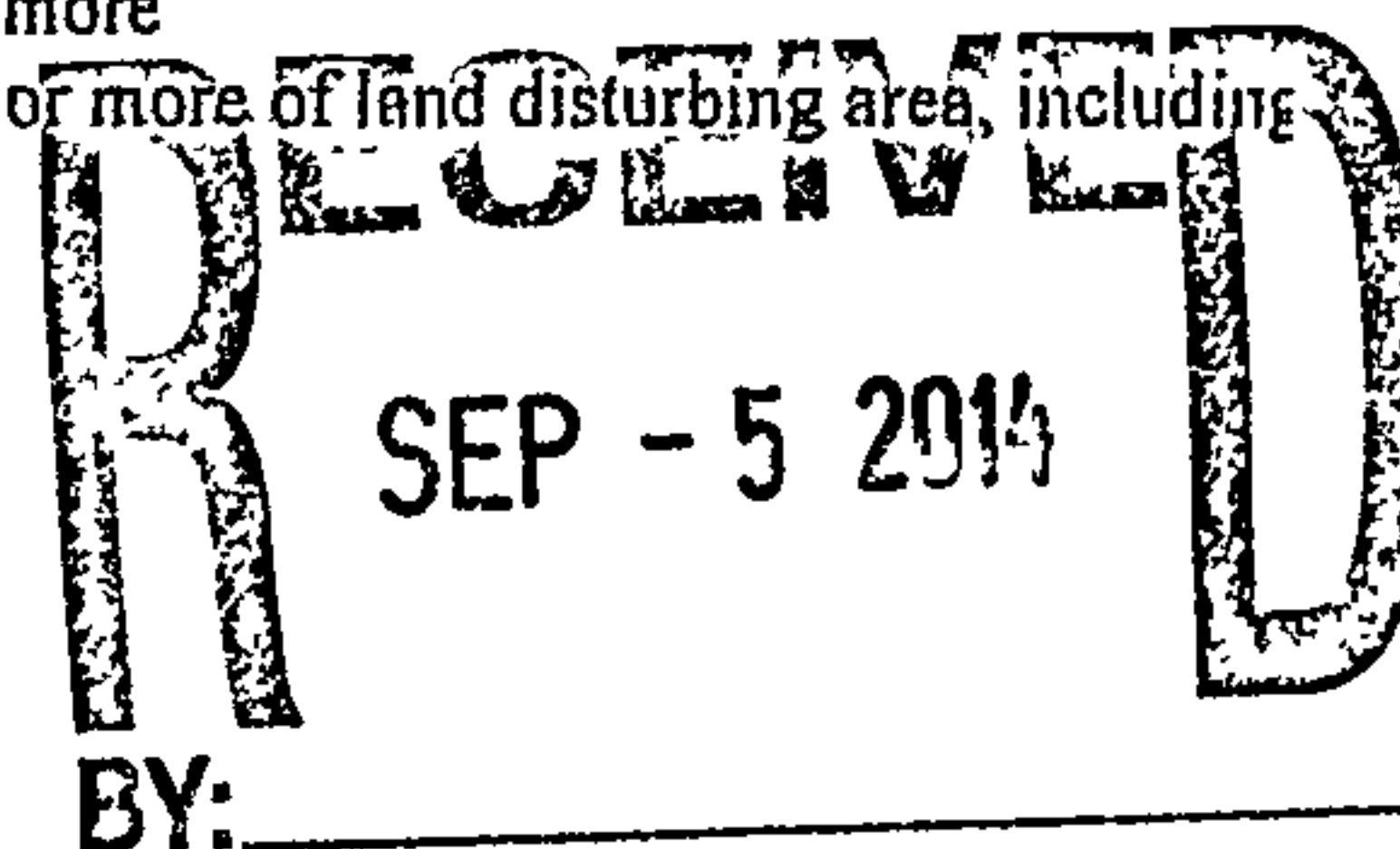
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 9.4.14 By: Zac Hulme

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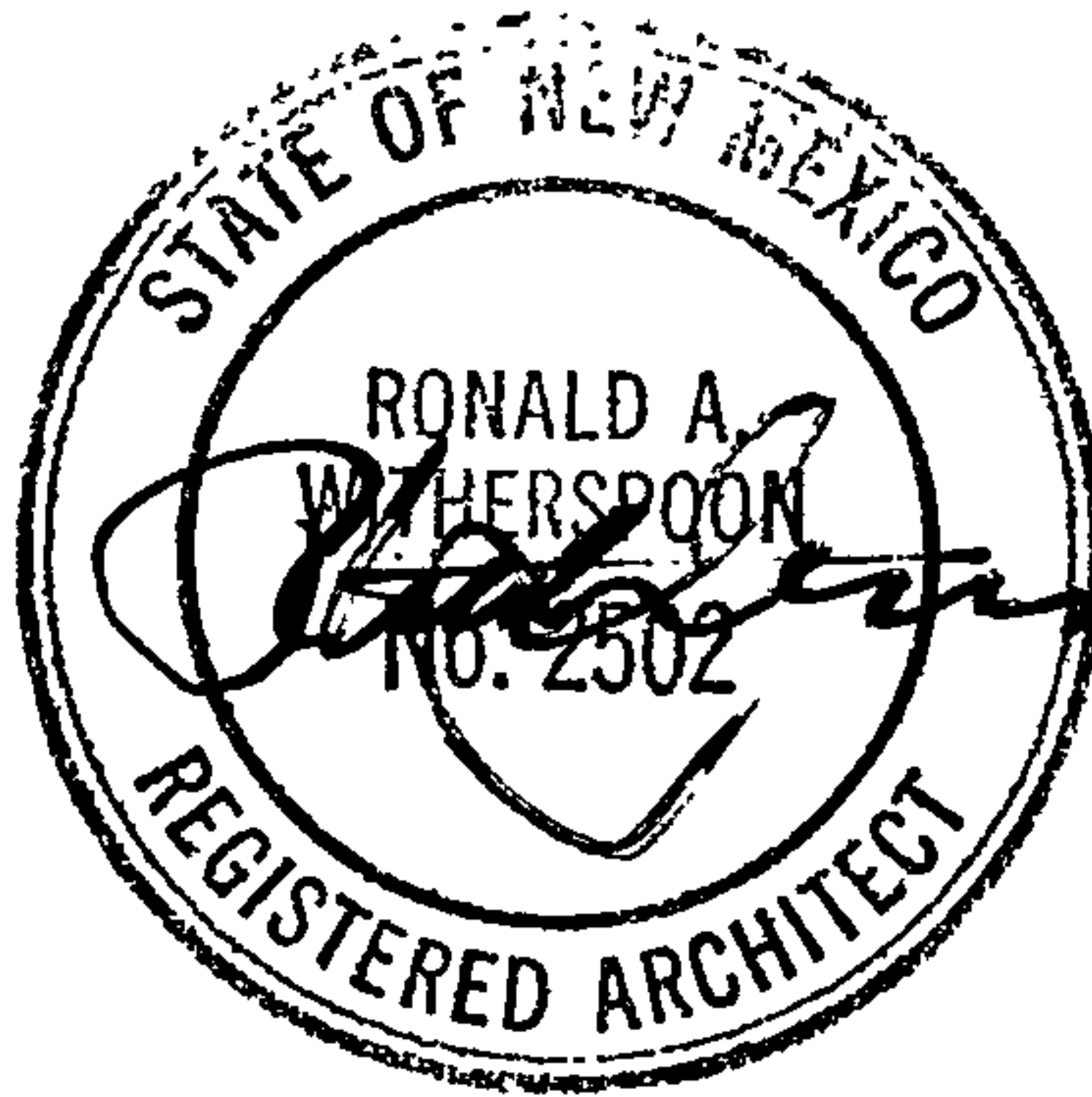
TRAFFIC CERTIFICATION

I, Ronald Witherspoon, NMRA, OF THE FIRM Dekker/Perich/Sabatini, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED SDP-1.1 dated 1/10/13, Rev. 7/24/14 and further modified by the Phasing Plan SKA-28 dated 7.28.14 and recorded by CABQ Building and Safety on 8/14/14 . THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Zachary Hulme OF THE FIRM Dekker/Perich/Sabatini. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/4/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy for Phase I as defined in the Phasing Plan SKA-28 dated 7.28.14 .

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect
9/4/14



RECEIVED
SEP - 5 2014
BY: _____

**DEKKER
PERICH
SABATINI**
ARCHITECTURE
DESIGN
INSPIRATION

7601 Jefferson NE, Suite 100, Albuquerque, NM 87109 / 505.761.9700 / dpsdesign.org

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 5, 2014

Ronald Witherspoon, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

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Administrative Amendment dated 07-24-14 (1009514, K13-D072)
Certification dated 09-04-14**

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If you have any questions, please contact me at (505)924-3630.

Sincerely,

A handwritten signature in black ink, appearing to read "Racquel M. Michel".

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103


www.cabq.gov

TRAFFIC CERTIFICATION

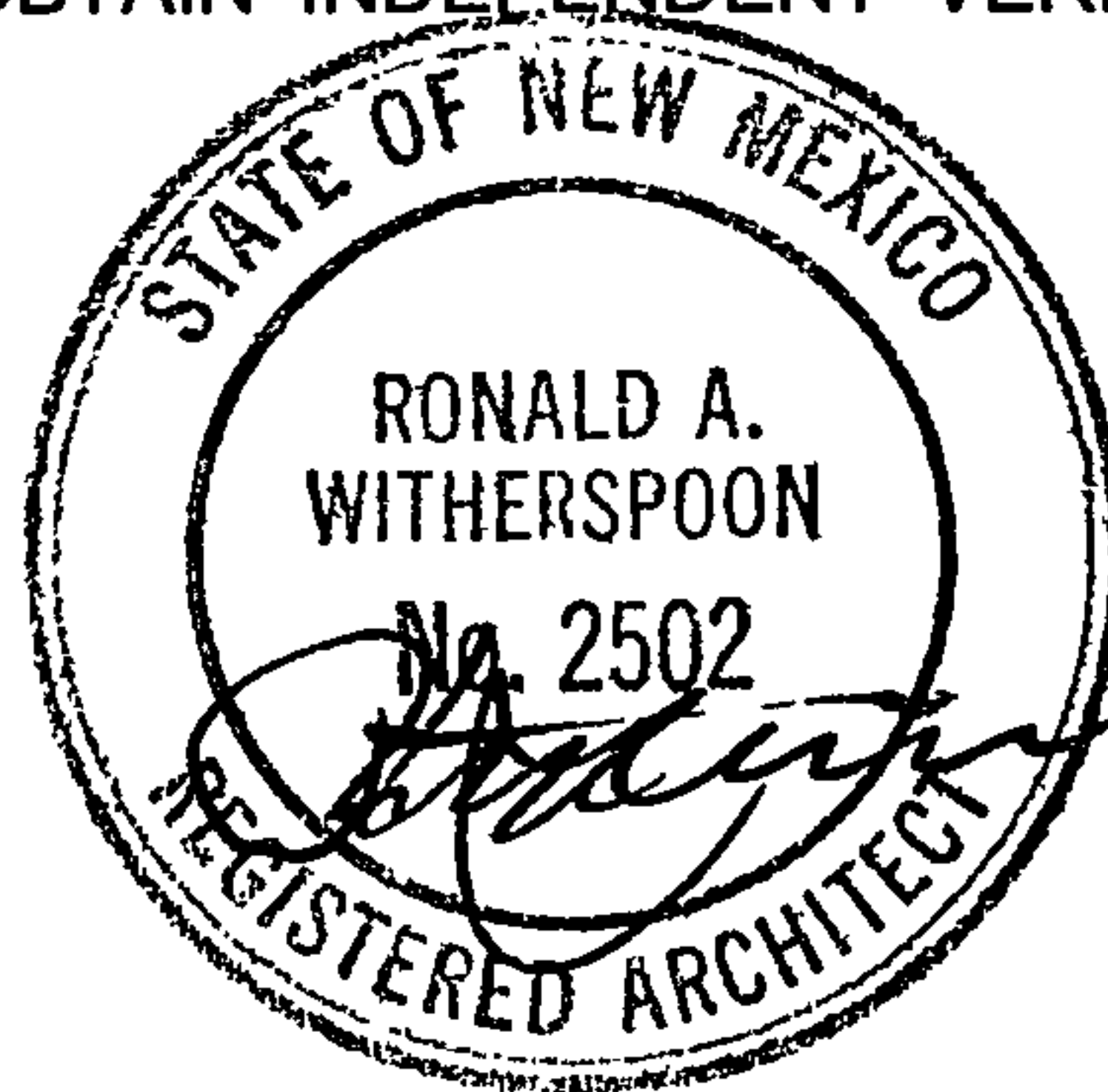
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<LIST EXCEPTIONS, IF ANY>

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Signature of Engineer or Architect
11/17/2014

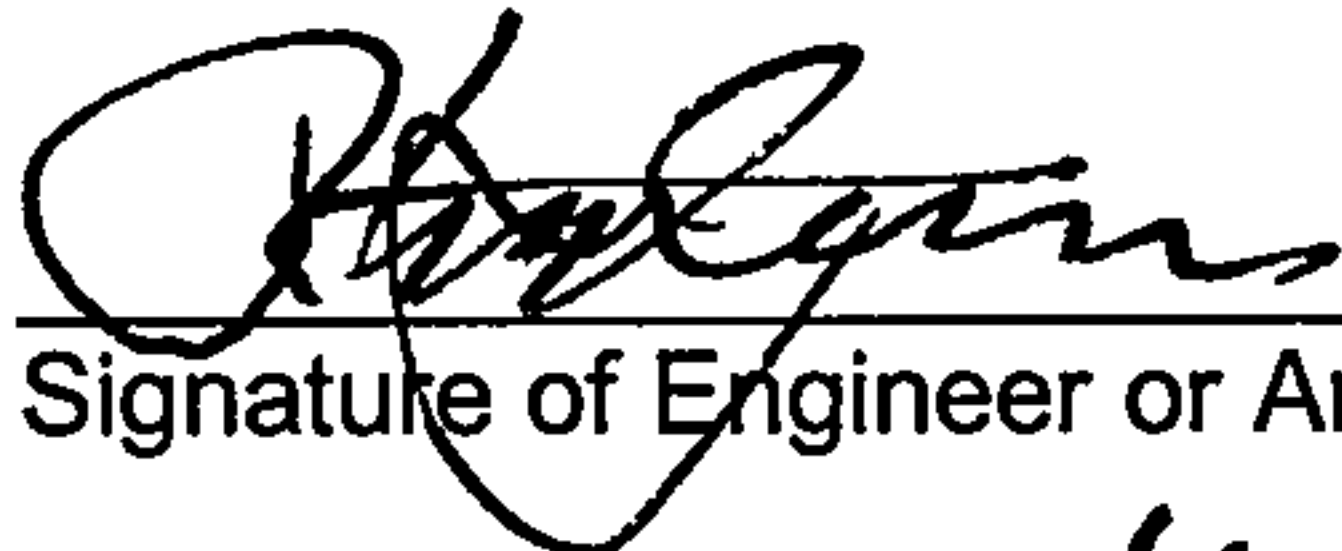


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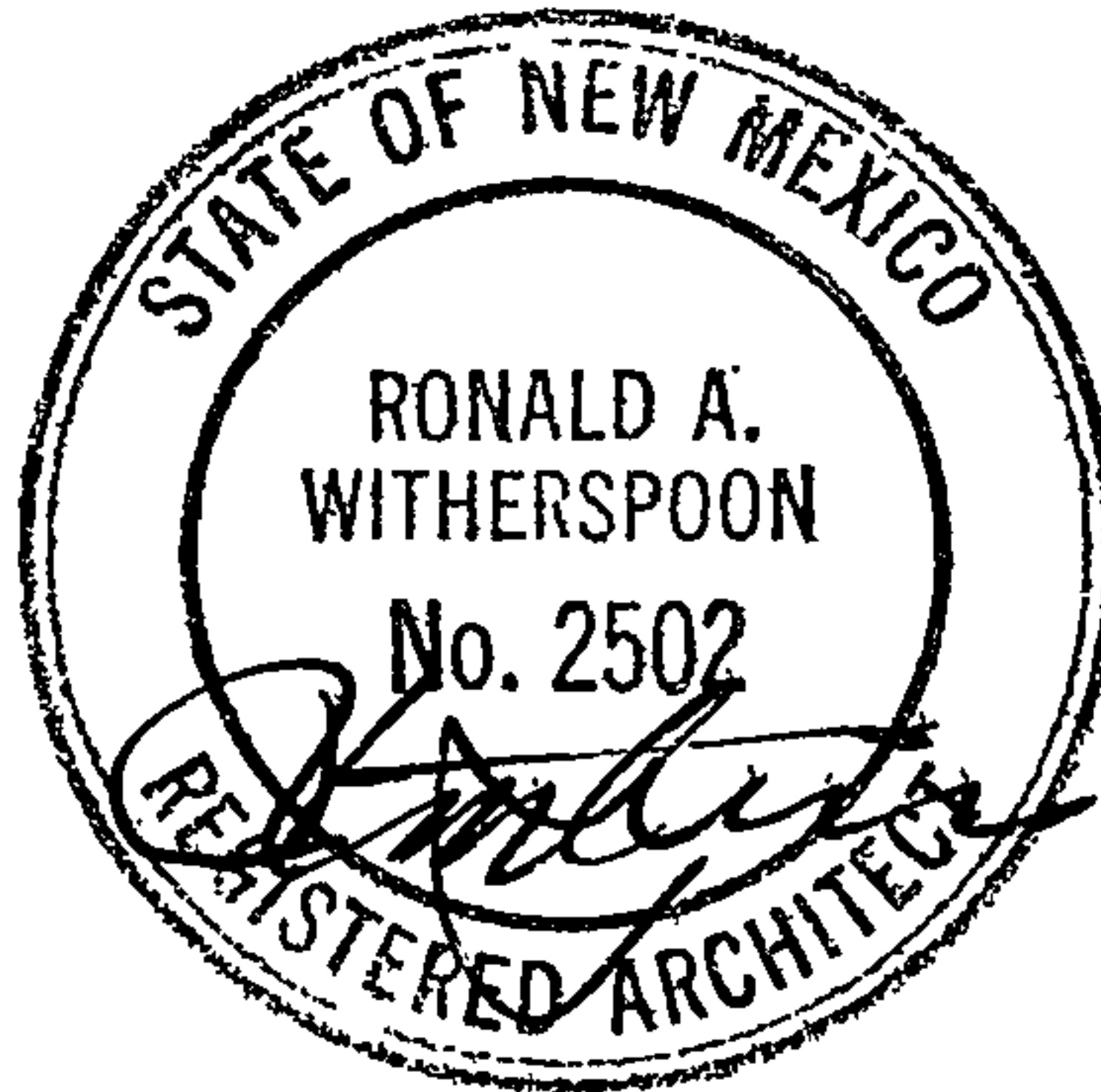
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

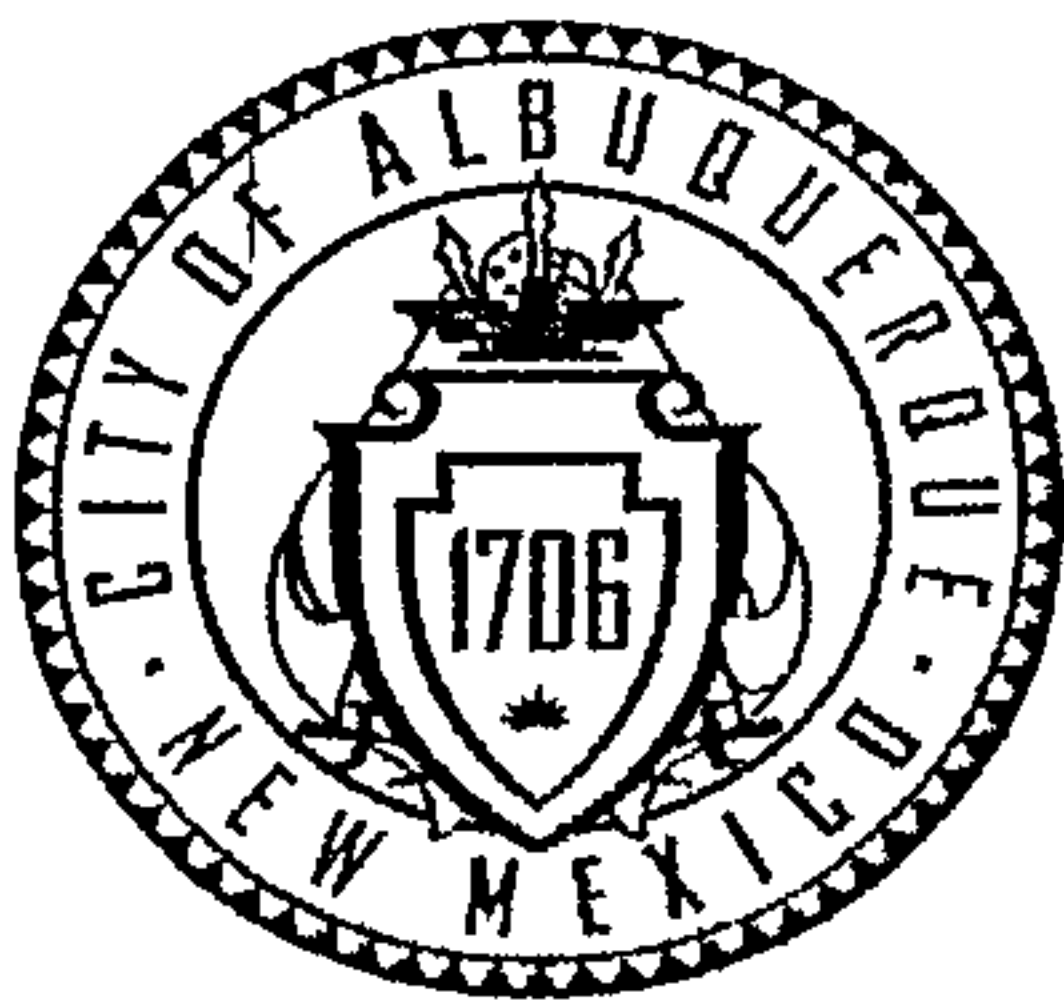
11/17/2014



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

7601 Jefferson NE, Suite 100, Albuquerque, NM 87109 / 505.761.9700 / dpsdesign.org



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: SILVER MOON LODGE Building Permit #: _____ City Drainage #: K13D072

DRB#: 1009514 K13-D072 EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 901 PARK AVENUE

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: DEKKER/PERICH/SABATINI Contact: RON WITHERSPORN

Address: 7601 JEFFERSON NE STE 100

Phone#: 761-9700 Fax#: 761-4222 E-mail: ronw@pdsdesign.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

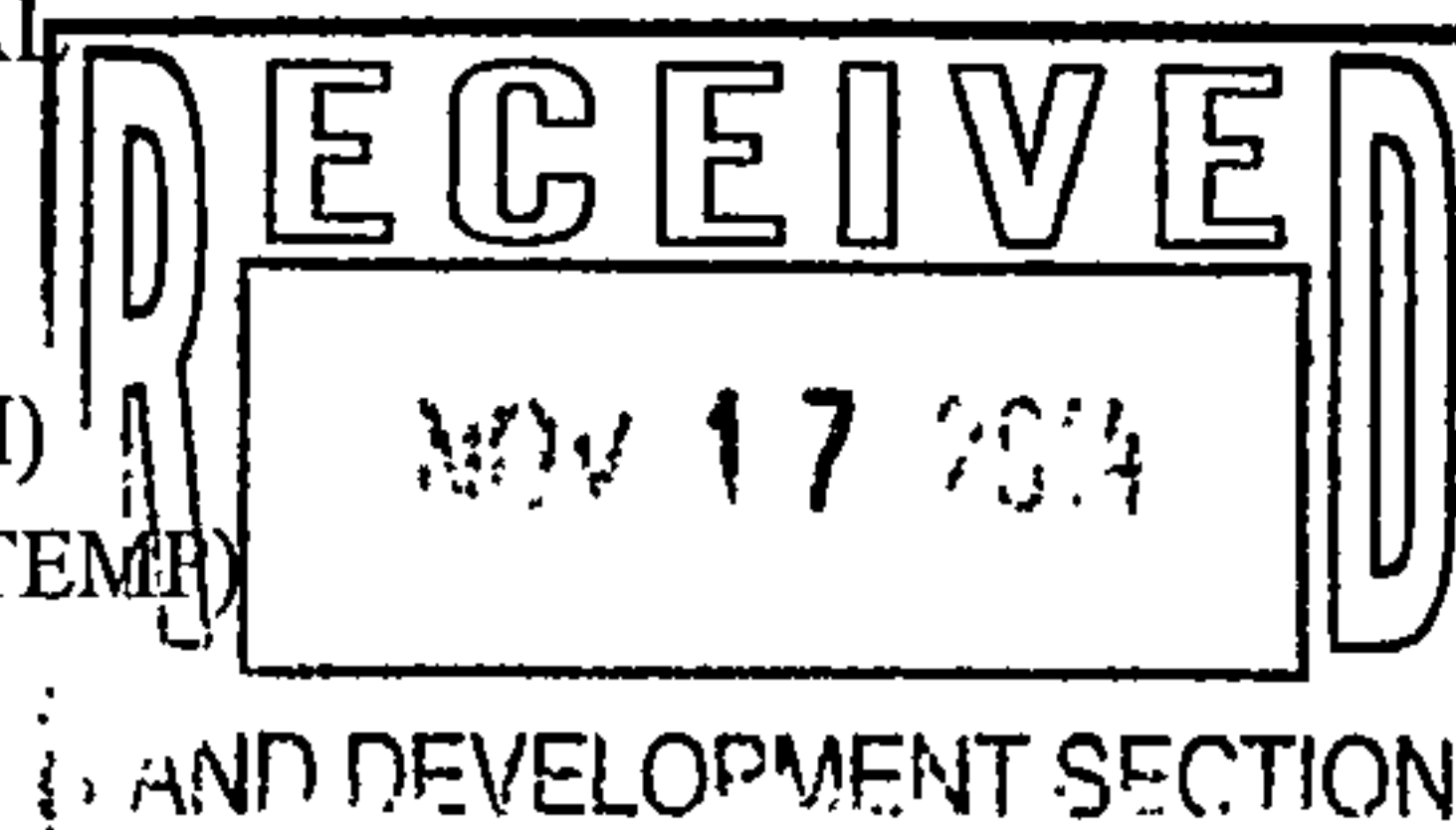
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



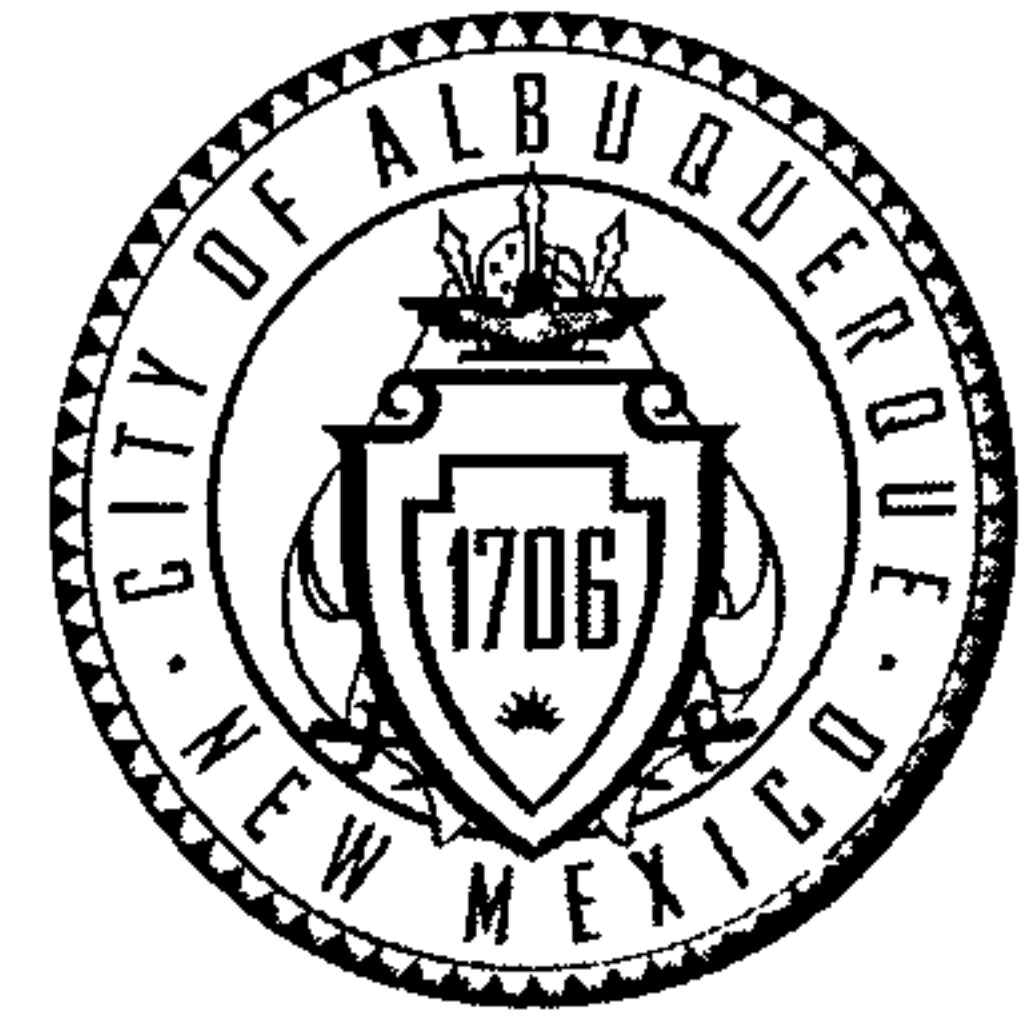
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

DATE SUBMITTED: 11/17/14 By: [Signature] Yes No Copy Provided

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



November 19, 2014

Scott Eddings, PE
Huitt-Zollars
6501 Americas Parkway NE
Albuquerque, NM 87110

**Re: Silver Moon Apartments
918 Central Ave SW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 5-1-13 (K13D072)
Certification dated: 11-14-14**

Dear Mr. Eddings,

Based on the Certification received 11/17/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

12132072

PROJECT TITLE: Silver Moon Apartments ZONE MAP: K-13-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: WLY Portion of Lt 1 together with Lts 2 thru 13 in block 48
CITY ADDRESS: _____

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: DBG Properties CONTACT: Tyler Coleman
ADDRESS: 2164 Southwest Park Place PHONE: 402-0091
CITY, STATE: Portland Oregoe ZIP CODE: 97205

ARCHITECT: Dekker/Perich/Sabatini CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Alb., NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: DGB LLC CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
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- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

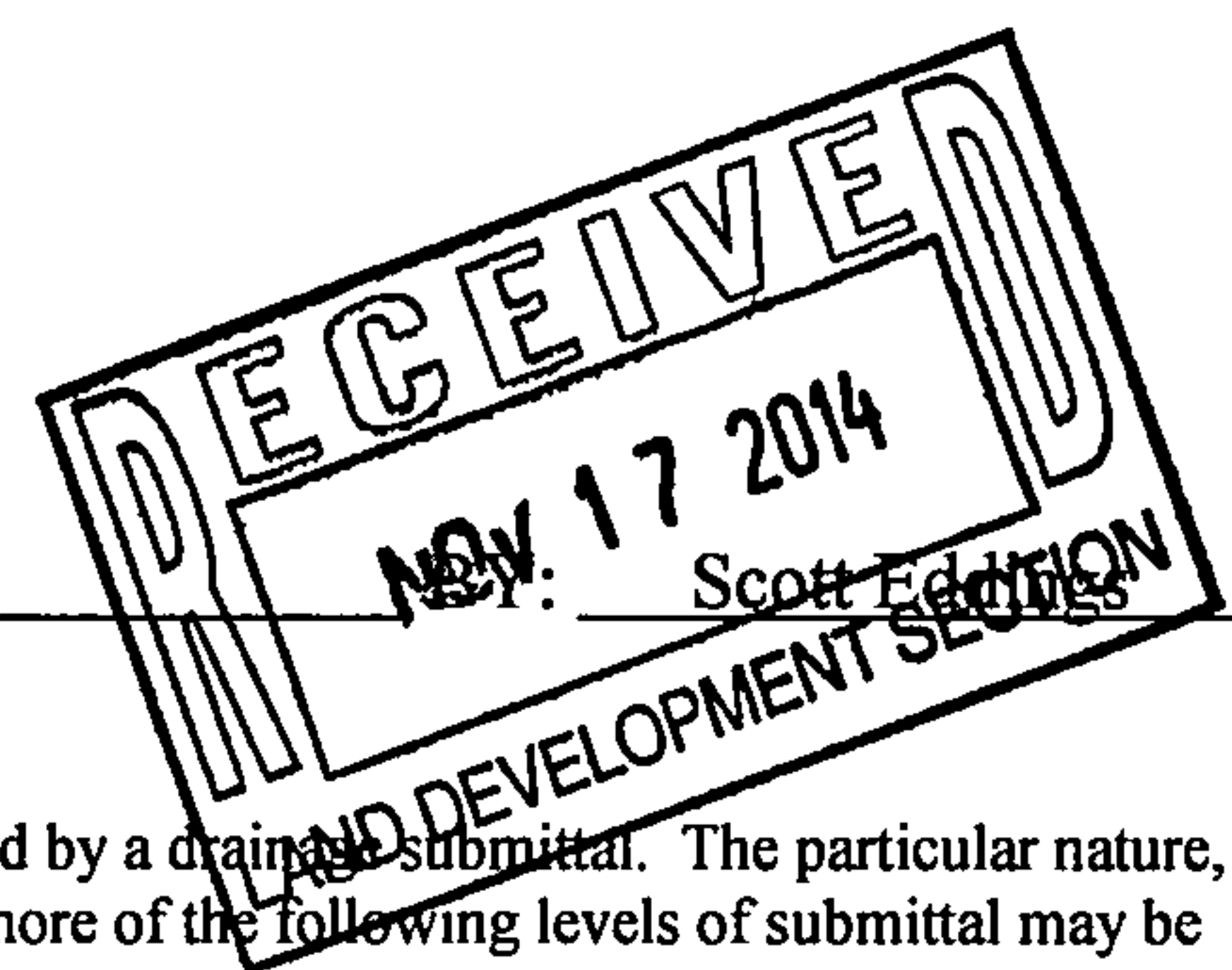
CHECK TYPE OF APPROVAL SOUGHT:

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- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 11-14-14



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Metro, Kristal D.

From: Metro, Kristal D.
Sent: Tuesday, March 04, 2014 11:58 AM
To: 'Tim Trujillo'
Cc: Ronald A. Witherspoon; Will Gleason; Jeremy Shelton; Wolfe, Bryan K.; Michel, Racquel M.
Subject: Park Avenue Variance Request
Attachments: VarianceSubmittalPackage.pdf

Mr. Trujillo,

Your variance request for Park Avenue (on-street angled parking) is conceptually approved. The proposed improvements to City of Albuquerque right of way must be finalized and completed through the City of Albuquerque work order process.

Sincerely,
Kristal Metro, City of Albuquerque Transportation Development

From: Tim Trujillo [<mailto:timt@dpsdesign.org>]
Sent: Wednesday, February 12, 2014 2:28 PM
To: Metro, Kristal D.
Cc: Ronald A. Witherspoon; Will Gleason; Jeremy Shelton
Subject: Park Avenue Variance Request

Hi Kristal,

Please find our attached and much anticipated variance request for Park Avenue in downtown Albuquerque. Please take a look at your earliest convenience and let me know if and when you might want to sit down to review this and certainly let us know if you need any further information from us.

Thank you for taking the time to review this.

Best regards,

Tim Trujillo
URBAN PLANNER
Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100 | Albuquerque, NM 87109 | 505.761.9700

D/P/S is proud to be named 2013 Design Firm of the Year by ENR Southwest!

INTERSECTION VOLUME COUNT

N/S STREET 9TH STREET

E/W STREET PARK AVE.

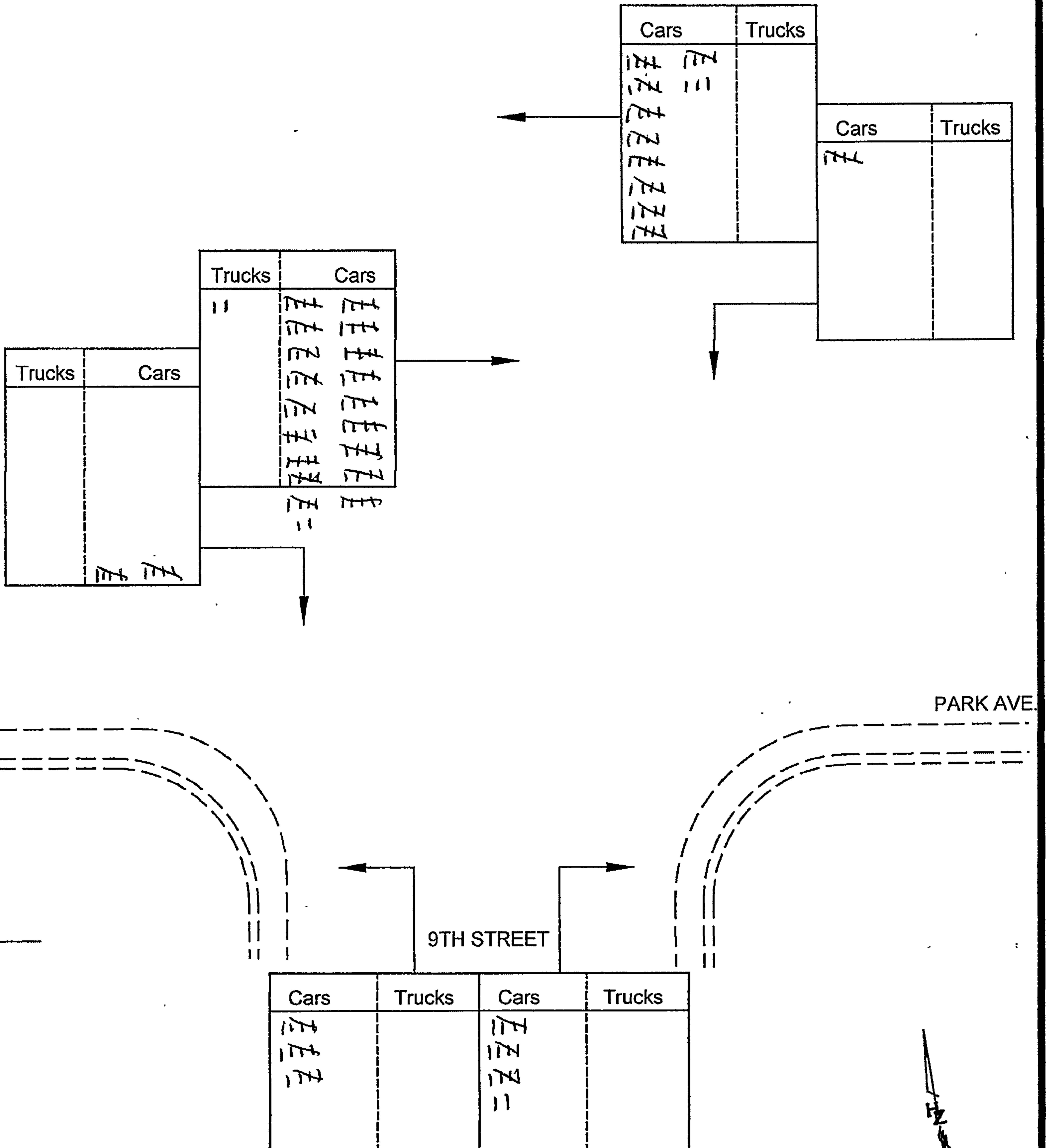
INTERSECTION CONTROL STOP SIGN

TIME 7:00 AM TO 9:00 AM

DATE 8/27/13

WEATHER Clear

OBSERVER Calderera



INTERSECTION VOLUME COUNT

N/S STREET 9TH STREET

E/W STREET PARK AVE.

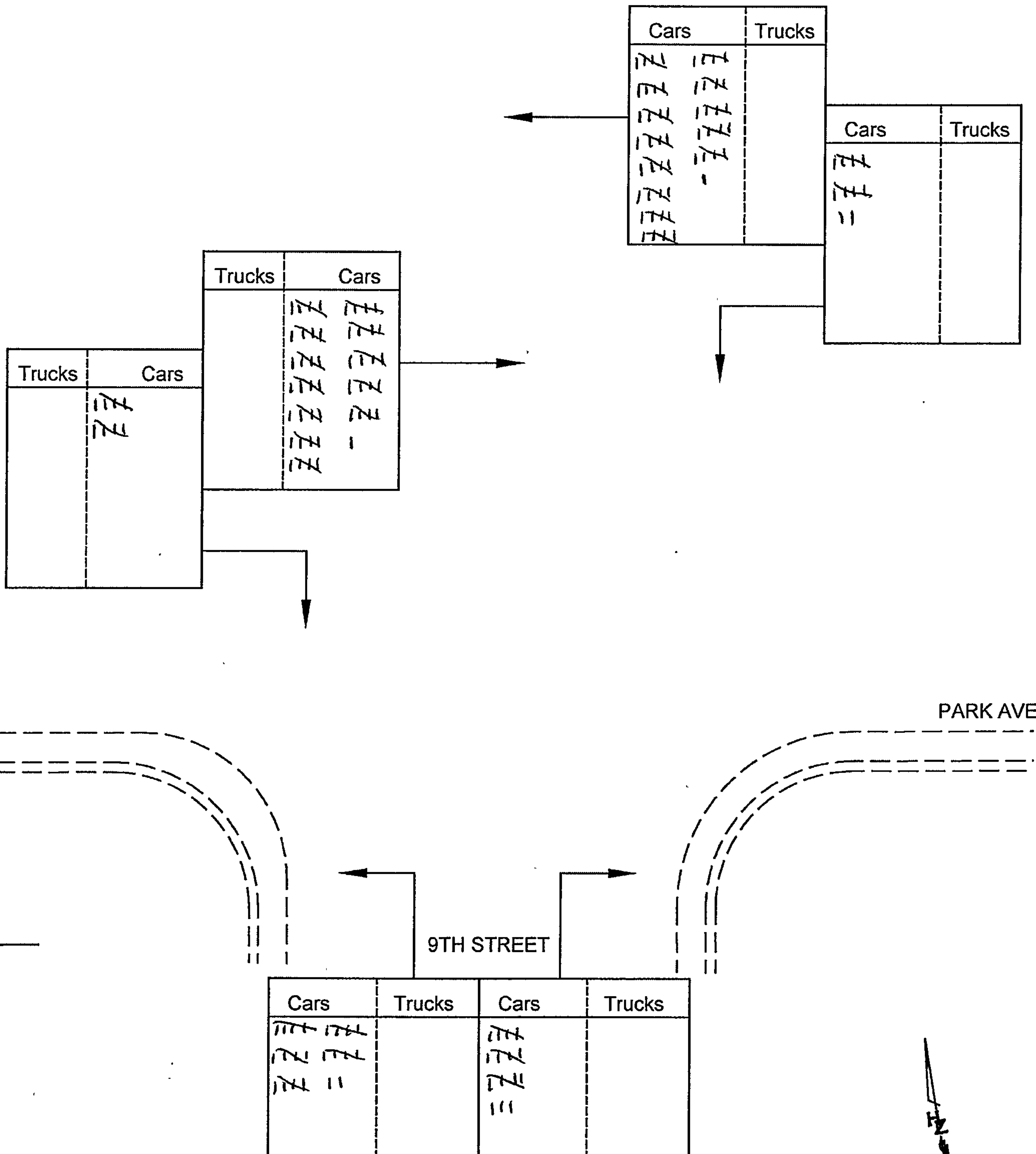
INTERSECTION CONTROL STOP SIGN

TIME 4:00PM TO 6:00PM

DATE 8/27/13

WEATHER Clear 90°

OBSERVER Caldonara



Letter of support
for
Angle Parking along Park Avenue, between 8th Street and 10th Street

Dear City of Albuquerque,

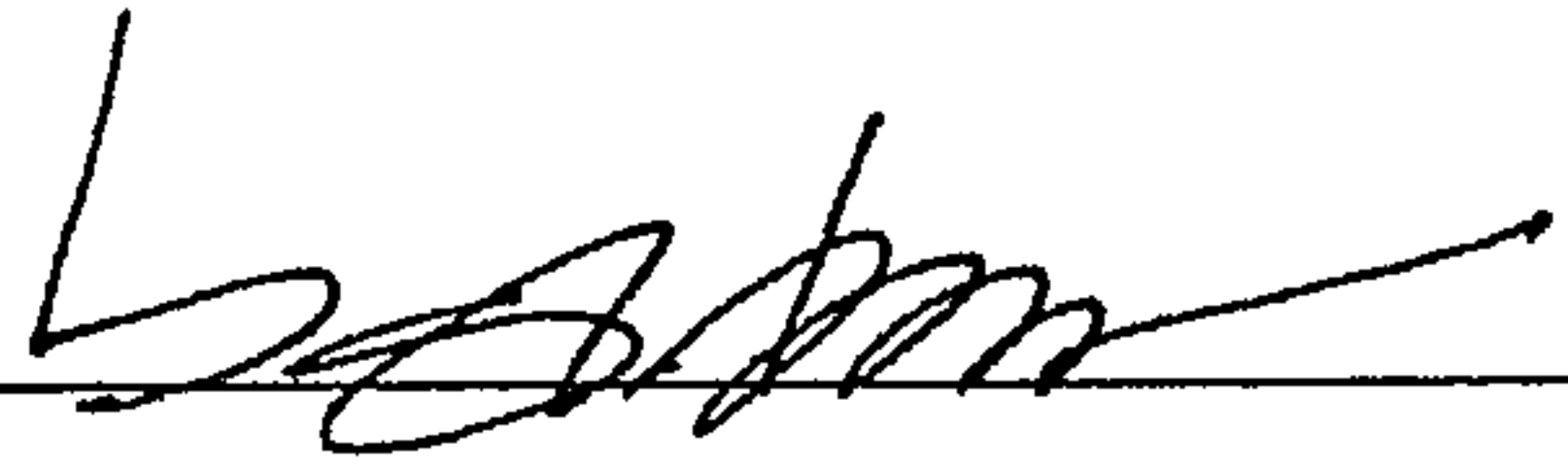
As a business owner whose business is located on the south side of Park Avenue from the proposed changes to the street right-of-way, I fully support *the variance* application to allow angle-in parking at this location.

The proposed changes to allow this type of parking works well within the context of Park Avenue, given its excessive width. The right-of-way is unusually wide for a short connecting street. The intent is to utilize some of the existing right-of-way to provide additional public parking. This variance will ultimately provide clients of my business additional parking options.

In addition to the parking spaces, the proposed modifications to the public right-of-way will provide an attractive streetscape, along with traffic calming measures, that will help to enhance the utility and attractiveness of the corridor for owners and users alike.

I am in full support of the proposed variance.

Yours sincerely,



business: Numan Hella Architecture

Letter of support
for
Angle Parking along Park Avenue, between 8th Street and 10th Street

Dear City of Albuquerque,

As a business owner whose business is located on the south side of Park Avenue from the proposed changes to the street right-of-way, I fully support *the variance* application to allow angle-in parking at this location.

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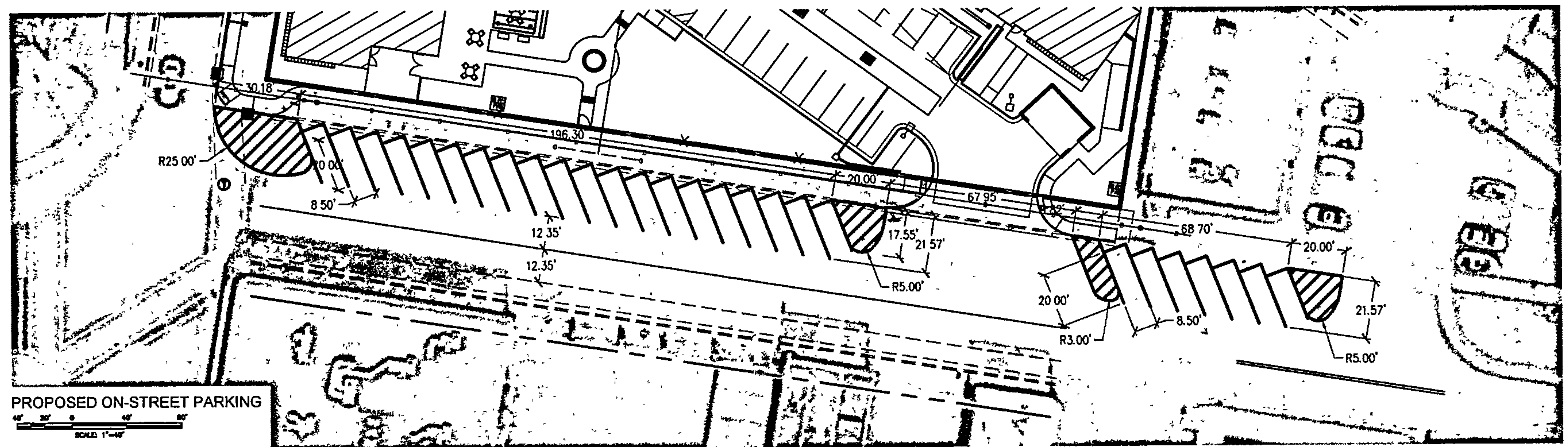
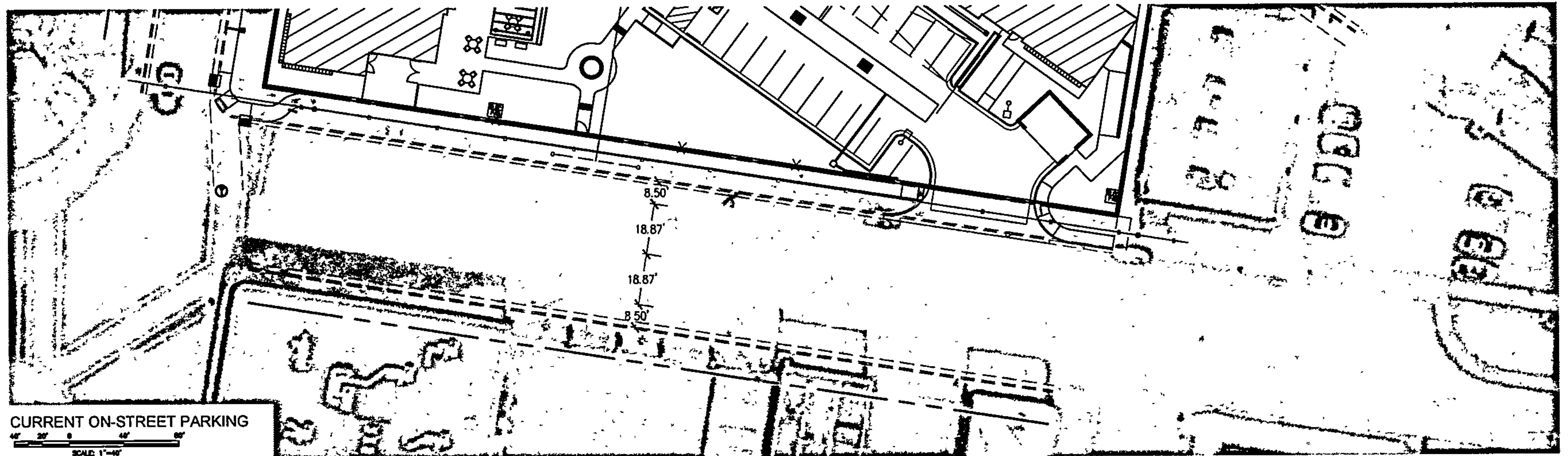
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I am in full support of the proposed variance.

Yours sincerely,

Michael D. Ruhl

business: David Jones



PARKING DATA

STALL DIMENSIONS: 8.5' X 20'

PARKING COUNT: 27 SPACES

60° PARKING

ON STREET ANGLE PARKING

**PARK AVENUE
ALBUQUERQUE, NM**

Dekker/Perich/Sabatini
architecture • interiors • landscape • planning • engineering
7801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700
fax 761-4222

DRAWN BY: JAS
REVIEWED BY: JAS
DATE ISSUED: 2/5/14
PROJECT NO: 12-0099

SCALE: AS SHOWN
REF: —

AS-01

Memorandum

To: Krystal Metro

From: Tim Trujillo

Date: February 3, 2014

Subject: Request for Variance - Angle-in Parking along Park Avenue, between 9th St. and 10th St.

Members of the Design Review Committee,

We respectfully request approval of variance for this proposed right-of-way modification. The project proposes to create 60-degree angle-in parking along the north side of Park Avenue, between 9th Street and 10th Street. Painted curb bulb outs are proposed at the driveway entrance/exit to the under-construction Silver Moon Apartments, as well as at the intersection with 10th Street.

Park Avenue is currently a 54.75-foot, curb-to-curb roadway facility, with unmarked travel lanes and on-street, parallel parking on both sides of the street. Parallel parking spaces take up approximately eight feet of street right-of-way. With parallel parking on both sides of Park Avenue, the effective width of each travel lane is approximately 19.5 feet. The street currently has no traffic calming features aside from a few street trees on the south side. On-street parking typically acts as traffic calming, however, the extra wide travel lanes negate any calming affects. Three businesses currently occupy the ground level of structures located on the south side of the street whose clients utilize the on-street parking spaces.

Peak hour traffic volumes were observed on August 27, 2013 between the hours of 7am and 9am, as well as between 4pm and 6pm. Observation took place at the intersection of Park Avenue and 9th Street. During the morning peak time, 102 vehicles utilized this segment going east-bound. Ten of those vehicles made a right turn onto 9th Street. 63 vehicles utilized the segment heading west-bound. Evening peak hour volumes were similar but in the opposite direction. 69 vehicles utilized the segment in the east-bound direction, with eight of those vehicles making right-hand turns onto 9th Street. A total of 93 vehicles traveled west-bound along this segment of Park Avenue. Please find the attached traffic counts which provide additional detail regarding traffic flows along this segment of Park Avenue.

The proposed design includes 20-foot long by 8.5 foot wide, 60-degree parking spaces along the north side of Park Avenue. Parallel parking spaces along the south side of the street would remain unchanged. This would leave 12.35 foot wide travel lanes for east-west movements. This segment of Park Avenue is not a designated bicycle facility, therefore, back-in angle parking is not required. The proposed design would create room for 27 60-degree angle parking spaces, up from approximately 15 parallel parking spaces.

It is our opinion that in addition to providing a context sensitive solution for creating additional parking at this location, we feel as though the various features, such as the painted bulb outs, narrower travel lanes, and pedestrian realm enhancements associated with the construction of Silver Moon Apartments will contribute toward an aesthetically attractive and enhanced street for all users. This proposed improvements would make this segment of Park Avenue a complete street.

Please let me know if you have any questions or comments about this request.

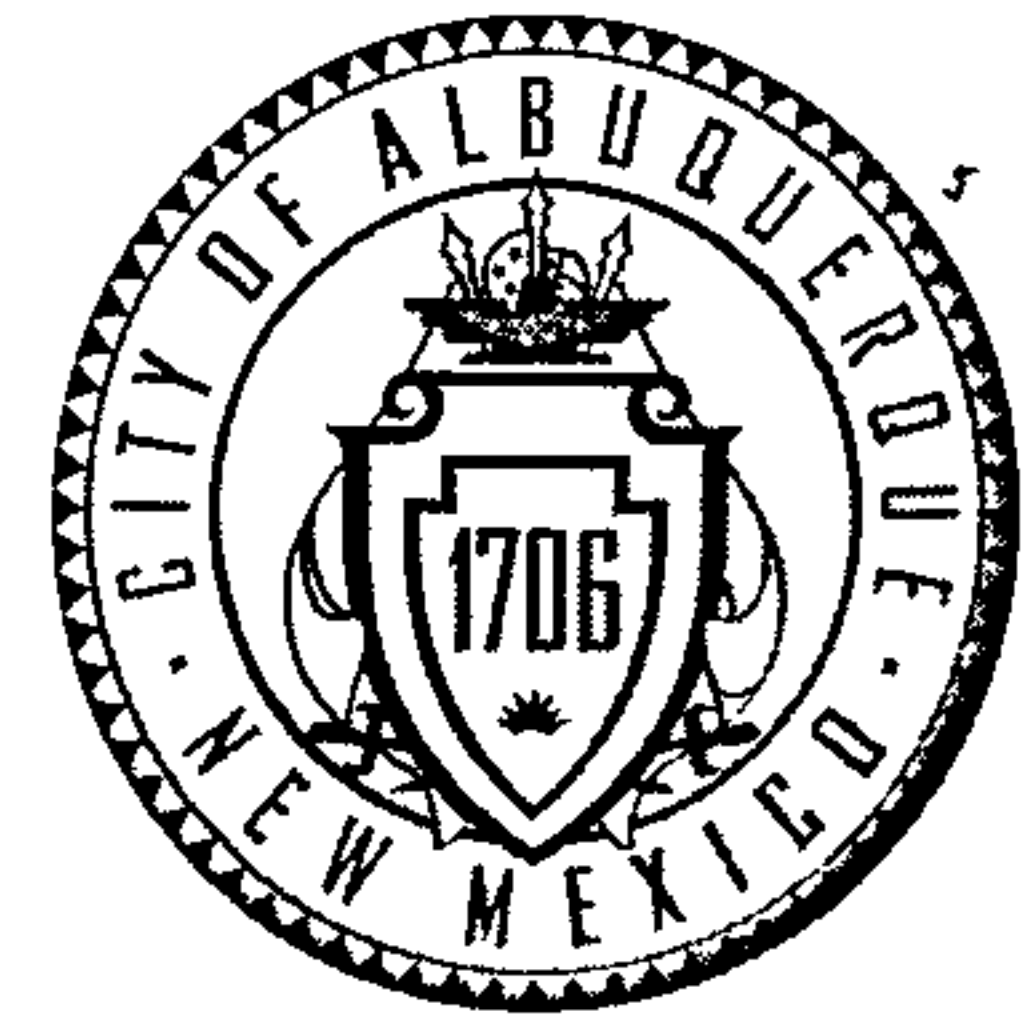
Sincerely,



Tim Trujillo
Urban Planner

■ ■ ■
7601 Jefferson NE
Suite 100
Albuquerque NM
87109
505.761.9700
fax 761.4222
www.dpsdesign.org

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 21, 2014

Ronald Witherspoon, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

Re: Silver Moon Lodge, 901 Park Ave. – PHASE 2 ONLY
Certificate of Occupancy – Transportation Development
Administrative Amendment dated 07-24-14 (1009514, K13-D072)
Certification dated 11-17-14

Dear Mr. Witherspoon,

Based upon the information provided in your submittal received 11-18-14, including the Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



October 2, 2014

Scott Eddings, P.E.
Huitt-Zollars
6501 Americas Parkway NE
Albuquerque, NM 87110

Re: Silver Moon Apartments, Phase 1,
Address not provided
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 5-1-13, (K13D072)
Certification dated: 9-8-14

Dear Mr. Eddings,

Based upon the information provided in the Certification received 9-29-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

It is helpful to provide the address on the information sheet.

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

www.cabq.gov

C: ~~CO Clerk~~ Katrina Sigala
File

Cherne, Curtis

From: Cherne, Curtis
Sent: Friday, September 26, 2014 2:22 PM
To: Scott Eddings (seddings@huitt-zollars.com)
Subject: electronic as-built for silver moon

Scott,

I couldn't find the pdf for your 9-8-14 cert for Silver Moon. I was going to write the letter, but have to have the pdf first.

Curtis

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

Assign
to
CL

PROJECT TITLE: Silver Moon Apartments Ph. 1 ZONE MAP: ~~K-13-Z~~ K13D072
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: WLY Portion of Lt 1 together with Lts 2 thru 13 in block 48
CITY ADDRESS: _____

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: DBG Properties CONTACT: Tyler Coleman
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CITY, STATE: Portland Oregoe ZIP CODE: 97205

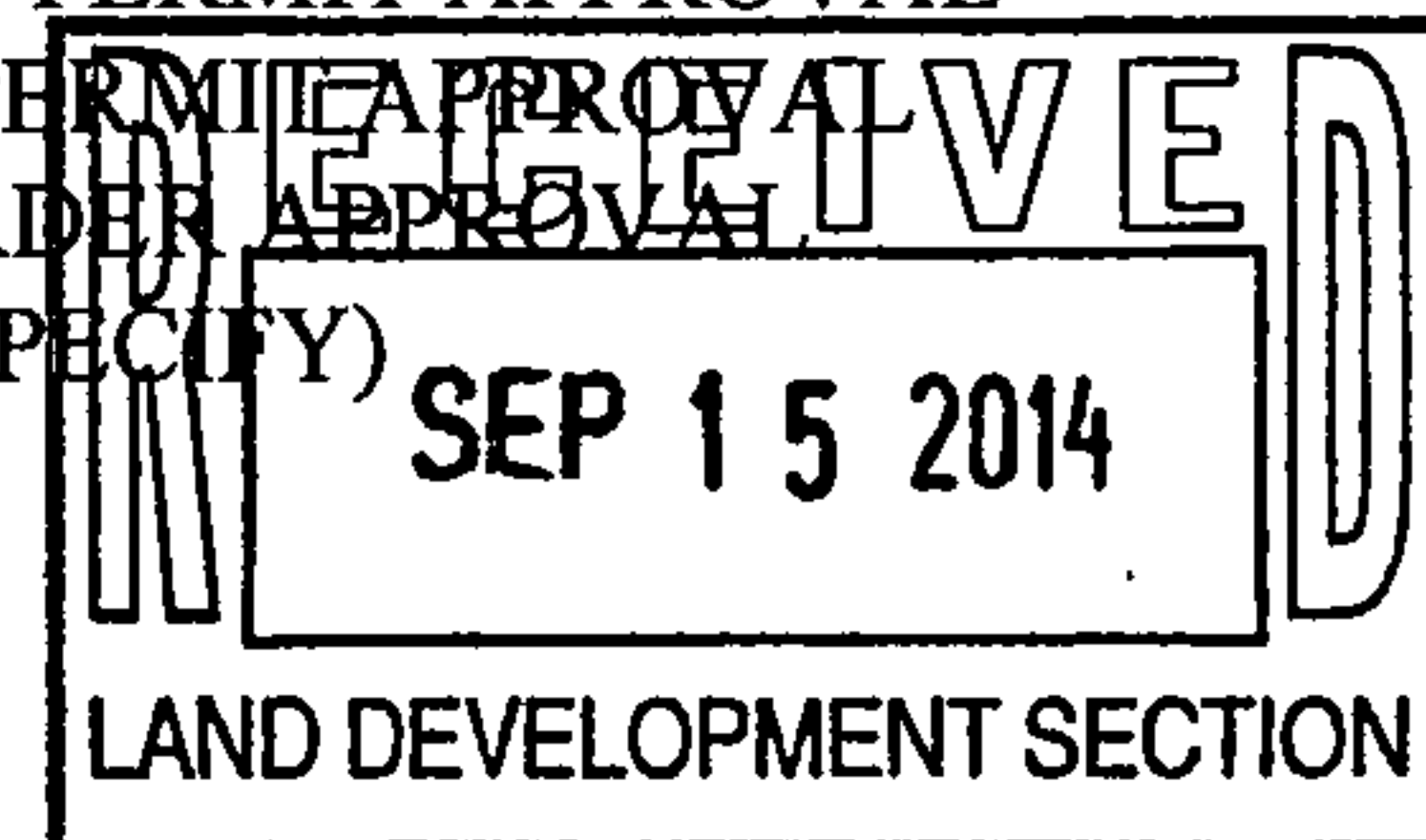
ARCHITECT: Dekker/Perich/Sabatini CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Alb., NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: DGB LLC CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
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____ ENGINEER'S CERT (DRB SITE PLAN)
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____ BUILDING PERMIT APPROVAL
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☒ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 9-8-14 BY: Scott Eddings

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