

SILVER MOON LODGE
10TH ST. AND PARK AVE.

100%
CONSTRUCTION
DOCUMENTS

REVISION
DATE DESCRIPTION

DRAWN BY
REVIEWED BY
DATE 5.8.2013
PROJECT NO. 17-1013-01
DRAWING NAME
**SILVER MOON LODGE
GRADING AND
DRAINAGE PLAN**

SHEET NO.
C101



VICINITY MAP
ZONE ATLAS MAP K-13-Z

DRAINAGE PLAN

THE SUBJECT PROPERTY IS LOCATED BETWEEN CENTRAL AVENUE TO THE NORTH, TENTH STREET TO THE WEST, AND PARK AVENUE TO THE SOUTH, AND IS A PORTION OF LOT 1 AND LOTS 2-3 IN BLOCK 48, OF THE NEW MEXICO TOWN COMPANY ORIGINAL TOWNSITE, ZONE ATLAS PAGE K-13-Z. THE PLANNED IMPROVEMENTS TO THE PROPERTY INCLUDE THE CONSTRUCTION OF A NEW APARTMENT COMPLEX, AS SHOWN ON PANEL 3501 C03831 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY INSURANCE RATE MAP, DATED AUGUST 18, 2012, THIS SITE DOES NOT LIE WITHIN THE DESIGNATED 100 YEAR FLOOD HAZARD AREA.

THIS SITE IS LOCATED WITHIN PAVED STREETS WITH CURB & GUTTER ON THE NORTH, WEST, AND SOUTH SIDES, AND A BUILDING, SIDEWALKS, PAVEMENT (IMPERVIOUS SURFACES) ON THE EAST SIDE, AND IS ESSENTIALLY LEVEL, ALTHOUGH CONSIDERING EXISTING CURB ELEVATIONS, THE SITE SLOPES GRADUALLY FROM NORTH DOWNHILL TO THE SOUTH AND SOUTHWEST. THEREFORE, NO OFF-SITE STORM WATER FLOWS INTO THIS PROPERTY. THE PROPOSED IMPROVEMENTS INCLUDE A SINGLE APARTMENT BUILDING, PARKING LOT, AND LANDSCAPED AREAS. STORM WATER RUNOFF WILL BE DETAILED BY MEANS OF AN UNDERGROUND CISTERN, AND PUMPED OUT ONTO PARK AVENUE AT A MAXIMUM RATE OF APPROXIMATELY 2.1 CU. FT. / SEC.

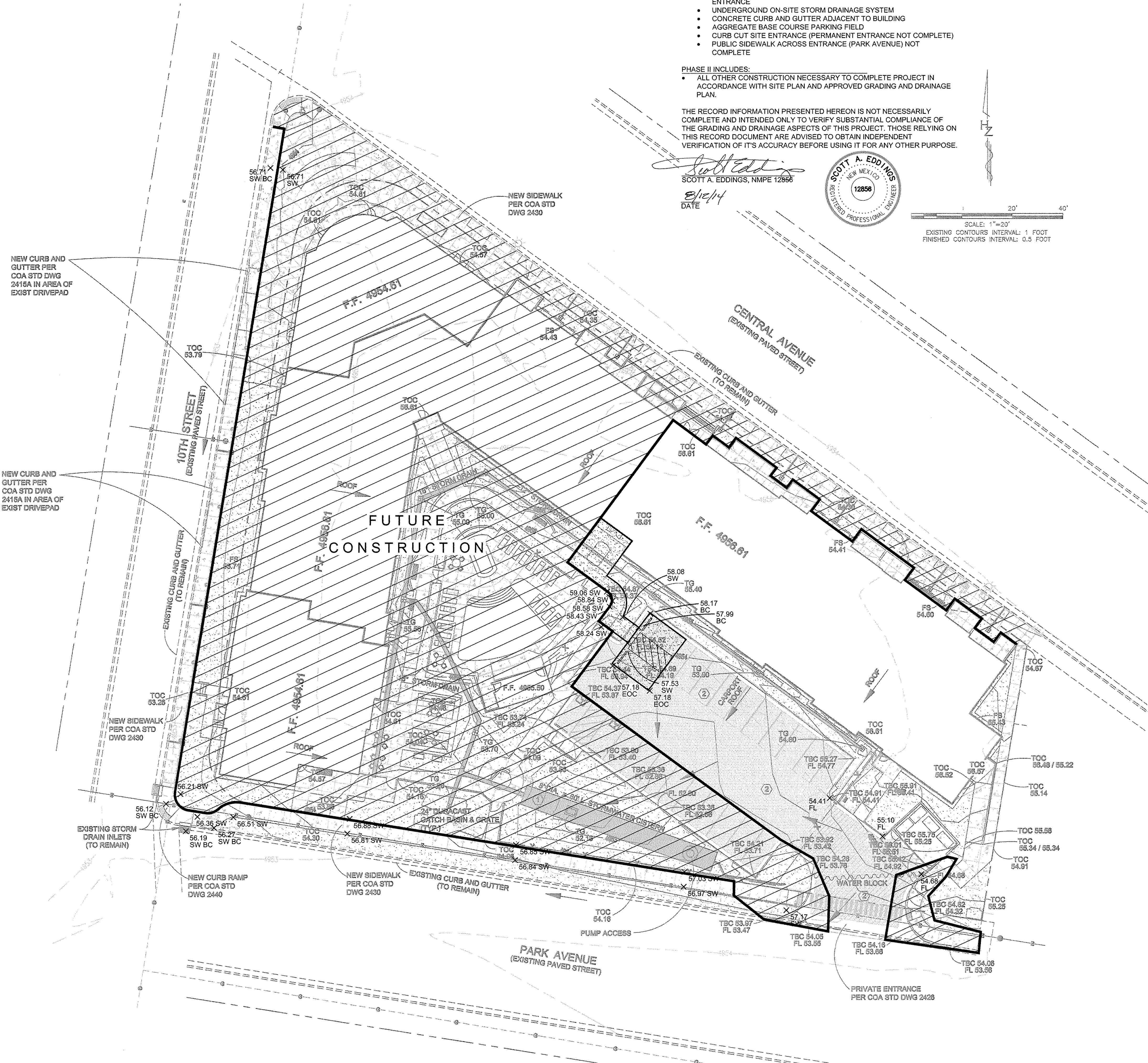
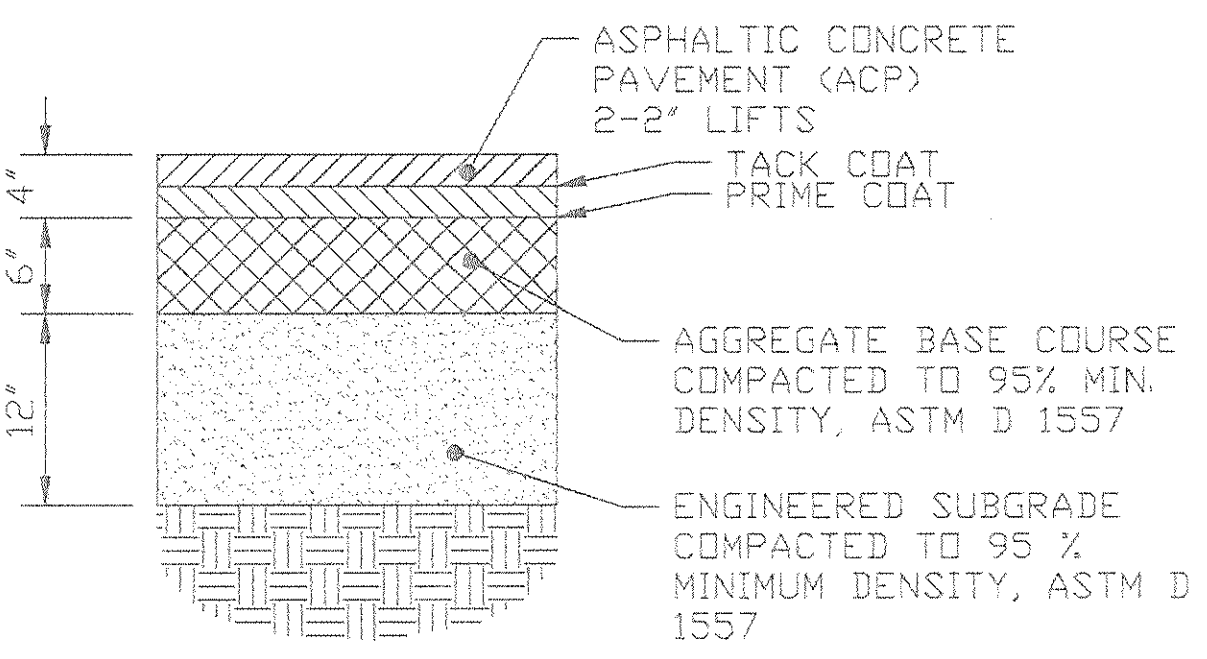
THE FULLY DEVELOPED SITE FLOW IS APPROXIMATELY 8 CFS WHICH IS ROUTED THROUGH AN UNDERGROUND 8" DIA. CISTERN 88 LF. THE MAXIMUM WATER SURFACE IS APPROX. 7.9 FEET. HYDROLOGY IS INCLUDED ON C104.

CONSTRUCTION NOTES

1. STORM WATER CISTERN SYSTEM. SEE SHEET C00X FOR DETAILS
 2. ASPHALT PAVEMENT PARKING AND ENTRANCE
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

LEGEND

- WALL
- FENCE
- SIDEWALK / CONCRETE
- LANDSCAPED AREA
- CURB AND GUTTER
- FLOW DIRECTION ARROW
- FF FINISHED FLOOR
- TOC TOP OF CONCRETE
- TBC TOP BACK OF CURB
- FL FLOW LINE
- FG FINISHED GRADE
- FS FINISHED SURFACE



GRADING AND DRAINAGE PLAN

ASPHALT PAVEMENT SECTION
SCALE: 1"=1'-0"

DRAINAGE CERTIFICATION

I, SCOTT A. EDDINGS, NMPE 12856, OF THE FIRM HUITT-ZOLLARS, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/8/2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM DAVID VIGIL, NMPS 8911, OF THE FIRM CONSTRUCTION SURVEY TECHNOLOGIES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/12/2014 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY FOR PHASE 1.

- PHASE I INCLUDES:**
- PORTION OF BUILDING
 - CONCRETE ACCESSIBLE PARKING AREA
 - CONCRETE SIDEWALK FROM ACCESSIBLE PARKING AREA TO BUILDING ENTRANCE
 - UNDERGROUND ON-SITE STORM DRAINAGE SYSTEM
 - CONCRETE CURB AND GUTTER ADJACENT TO BUILDING
 - AGGREGATE BASE COURSE PARKING FIELD
 - CURB CUT SITE ENTRANCE (PERMANENT ENTRANCE NOT COMPLETE)
 - PUBLIC SIDEWALK ACROSS ENTRANCE (PARK AVENUE) NOT COMPLETE
- PHASE II INCLUDES:**
- ALL OTHER CONSTRUCTION NECESSARY TO COMPLETE PROJECT IN ACCORDANCE WITH SITE PLAN AND APPROVED GRADING AND DRAINAGE PLAN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT A. EDDINGS, NMPE 12856
DATE 8/12/14



SCALE: 1"=20'
EXISTING CONTOURS INTERVAL: 1 FOOT
FINISHED CONTOURS INTERVAL: 0.5 FOOT