

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 21, 2014

Ronald Witherspoon, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

**Re: Silver Moon Lodge, 901 Park Ave. – PHASE 2 ONLY
Certificate of Occupancy – Transportation Development**
Administrative Amendment dated 07-24-14 (1009514, K13-D072)
Certification dated 11-17-14

Dear Mr. Witherspoon,

Based upon the information provided in your submittal received 11-18-14, including the Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

TRAFFIC CERTIFICATION

I, Ronald Witherspoon, NMRA, OF THE FIRM Dekker/Perich/Sabatini, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED SDP-1.1 dated 1/10/13, Rev. 7/24/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Zachary Hulme OF THE FIRM Dekker/Perich/Sabatini. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/17/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

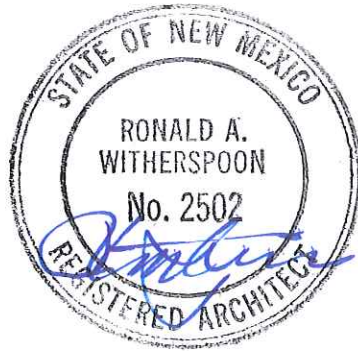
<LIST EXCEPTIONS, IF ANY>

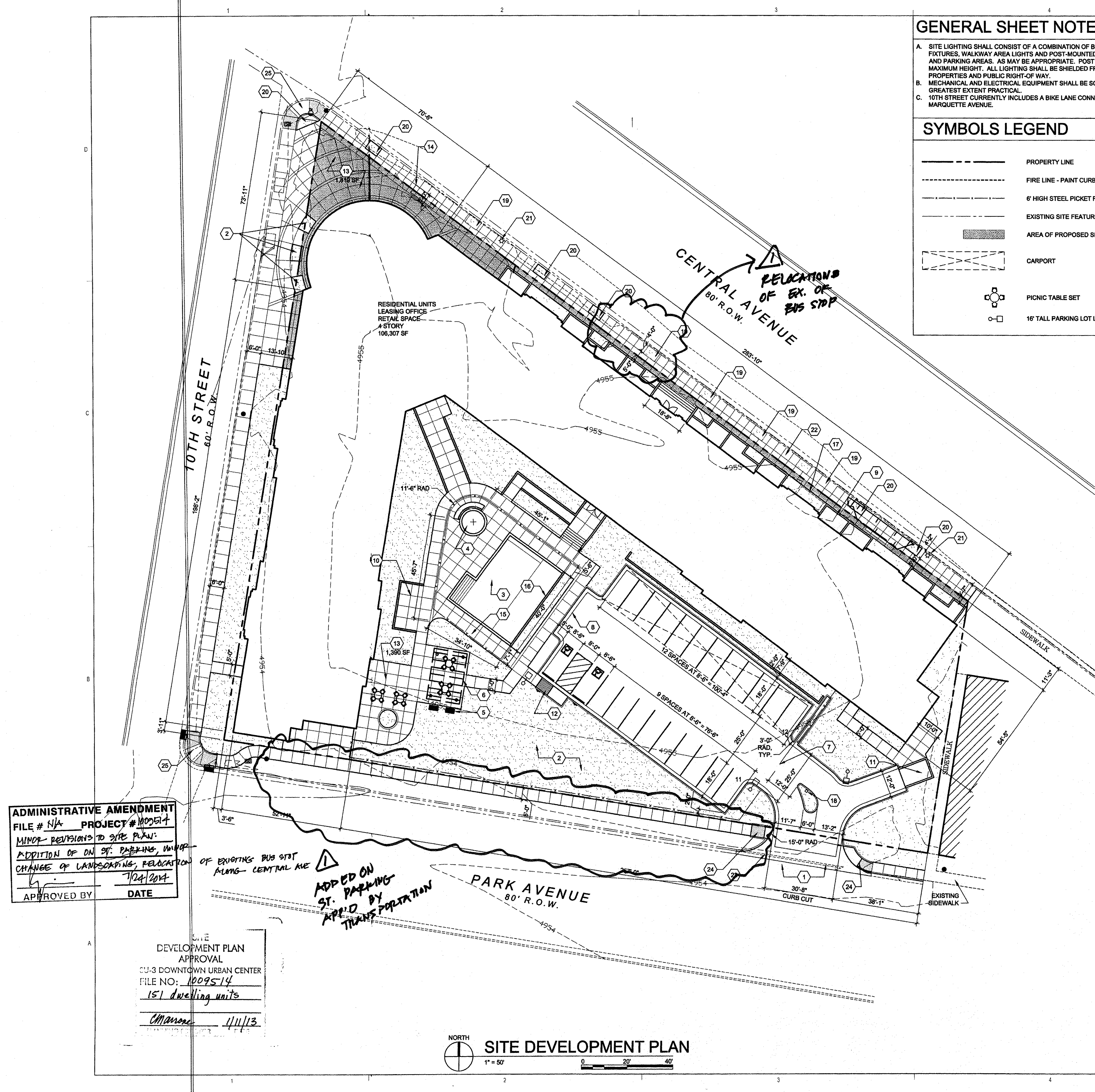
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

11/17/2014





GENERAL SHEET NOTES

- A. SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED HPS FIXTURES, WALKWAY AREA LIGHTS AND POST-MOUNTED LIGHT FIXTURES IN ENTRY AND PARKING AREAS. AS MAY BE APPROPRIATE. POST LIGHTING SHALL BE 16' MAXIMUM HEIGHT. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES AND PUBLIC RIGHT-OF-WAY.
- B. MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SCREENED FROM VIEW TO THE GREATEST EXTENT PRACTICAL.
- C. 10TH STREET CURRENTLY INCLUDES A BIKE LANE CONNECTING LEAD AVENUE TO MARQUETTE AVENUE.

SYMBOLS LEGEND

	PROPERTY LINE
	FIRE LINE - PAINT CURB RED
	6' HIGH STEEL PICKET FENCE
	EXISTING SITE FEATURE TO REMAIN
	AREA OF PROPOSED SIDEWALK EASEMENT
	CARPORT
	PICNIC TABLE SET
	16' TALL PARKING LOT LIGHT

SHEET KEYNOTES

1. PRIMARY ENTRANCE
2. LANDSCAPE AREA
3. SWIMMING POOL
4. HOT TUB
5. BBQ GRILL
6. SHADE STRUCTURE
7. VEHICULAR ACCESS GATE
8. DEDICATED BACKUP SPACE (NO PARKING)
9. PATIO ENCLOSURE, TYPICAL
10. BIKE RACK - 10 BIKE CAPACITY
11. REFUSE (10'-8" X 13'-4")
12. ACCESSIBLE RAMP, SEE SDP 1.2/B2
13. CAST-IN-PLACE CONCRETE PLAZA WITH MEDIUM BROOM FINISH
14. RELOCATED BUS STOP SHELTER
15. POOL FENCE PER ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE 10-3-2-3, SEE SDP 1.2/A4
16. CMU POOL SCREEN WALL, SEE SDP 1.2/A2
17. EXISTING BUS STOP SHELTER (ABQ RIDE BUS ROUTE #66) TO BE REMOVED AND RELOCATED
18. VEHICULAR GATE ACCESS CONTROL KEYPAD
19. EXISTING STREET TREE PLANTER AREA
20. NEW STREET TREE PLANTER AREA - 6' X 4'
21. EXISTING POLE MOUNTED LIGHT
22. NEW CONCRETE SIDEWALK PER CITY STANDARD DETAIL 2430
23. NEW CONCRETE VALLEY GUTTER PER CITY STANDARD DETAIL 2420
24. NEW UNIDIRECTIONAL RAMP PER CITY STANDARD DETAIL 2426 WITH DETECTABLE WARNING SURFACES
25. NEW MULTI-DIRECTIONAL RAMP PER CITY STANDARD DETAIL 2440 WITH DETECTABLE WARNING SURFACES

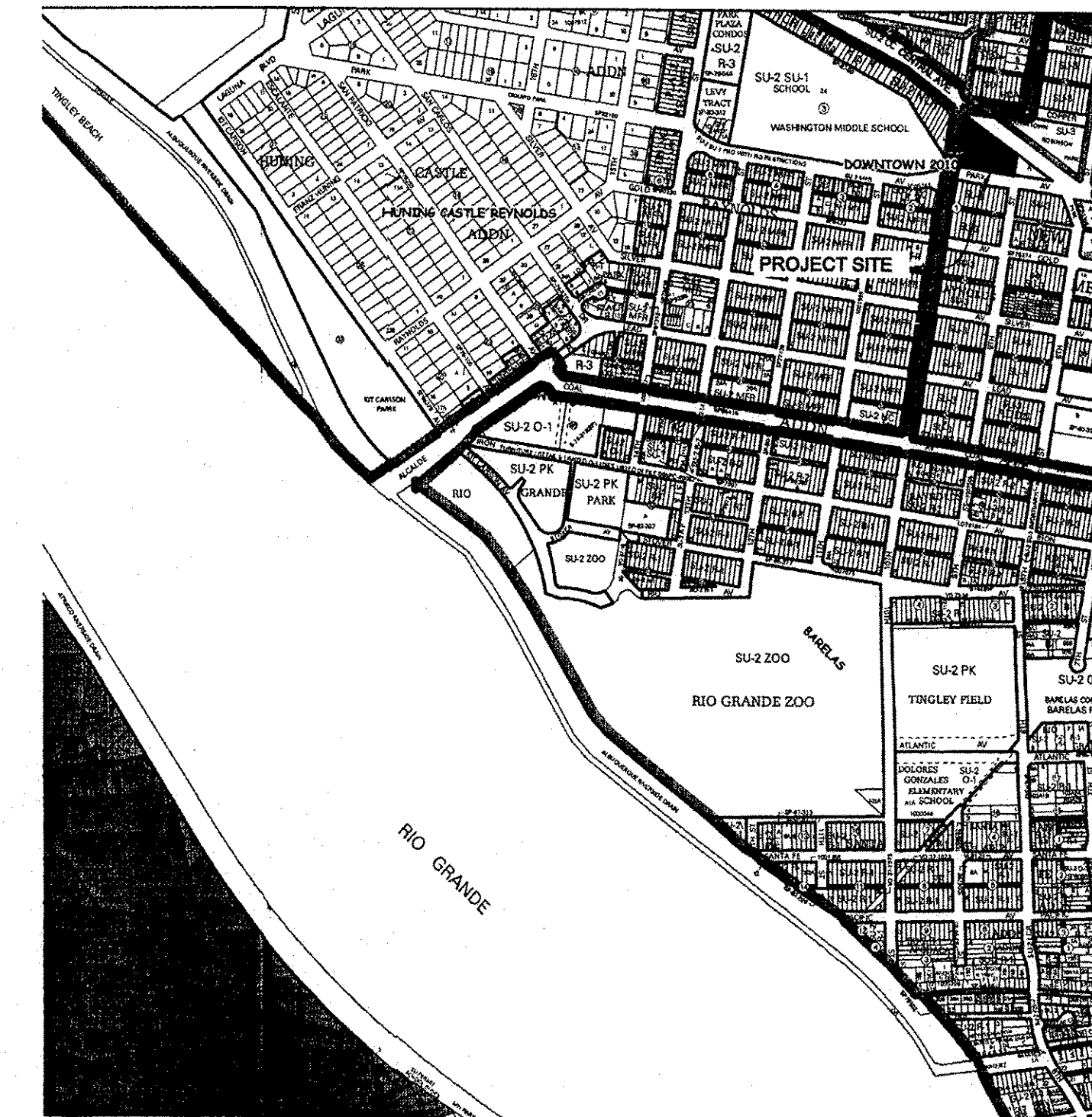
PROJECT DATA

GENERAL LOCATION:	10TH ST. AND PARK AVE. ALBUQUERQUE, NM 87102
OCCUPANCY TYPE:	APARTMENTS - R-2
CONSTRUCTION TYPE:	V-A FULLY SPRINKLERED
SITE LEGAL DESCRIPTION:	PORTION OF LOT ONE (1) AND LOTS 2-13 IN BLOCK NUMBERED FORTY-EIGHT (48) OF THE NEW MEXICO TOWN COMPANY ORIGINAL TOWNSITE AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 1882 IN VOLUME D, FOLIO 140
SITE AREA:	1.378 ACRES (60,020 SF)
DENSITY:	103.77 DU/A
ZONING EXISTING ZONING:	SU-3
PROPOSED ZONING:	SU-3 - DOWNTOWN 2010 SECTOR DEVELOPMENT PLAN - TYPE "F" TERRACE
FLOOR AREA RATIO (FAR):	1.60
SETBACK REQUIREMENTS:	BUILDINGS MAY BE SETBACK NOT FARTHER THAN 15'
BUILDING HEIGHT ALLOWED:	8 STORIES MAXIMUM
PROVIDED:	4 STORIES (45 FEET)
OPEN SPACE REQUIRED:	NONE
PROVIDED:	24,441 SQ. FT.
PARKING REQUIRED:	0 SPACES
PARKING PROVIDED:	23 OFF STREET SPACES 11 ON STREET SPACES
UNIT DATA	
UNIT TYPE 1 (STUDIO)	429 SF X 58
UNIT TYPE 1A (STUDIO)	457 SF X 15
UNIT TYPE 2 (STUDIO)	462 SF X 10
UNIT TYPE 3 (STUDIO)	547 SF X 03
UNIT TYPE 4 (1BD/1BA)	583 SF X 32
UNIT TYPE 4A (1BD/1BA)	618 SF X 16
UNIT TYPE 5 (1BD/1BA)	744 SF X 03
UNIT TYPE 6 (1BD/1BA)	857 SF X 06
UNIT TYPE 7 (1BD/1BA)	650 SF X 06
TOTAL DWELLING UNITS:	151
BUILDING DATA	
FIRST FLOOR:	27,063 SF
SECOND FLOOR:	27,063 SF
THIRD FLOOR:	27,063 SF
FOURTH FLOOR:	25,118 SF
TOTAL:	106,307 SF

ADMINISTRATIVE AMENDMENT
FILE # N/A PROJECT # 1009514
MINOR REVISIONS TO SITE PLAN:
ADDITION OF ON ST. PARKING, UNIDIRECTIONAL CHANGE OF LANDSCAPING, RELOCATION OF EXISTING BUS STOP ALONG CENTRAL AVE
7/24/2014
APPROVED BY DATE

DEVELOPMENT PLAN
APPROVAL
CU-3 DOWNTOWN URBAN CENTER
FILE NO: 1009514
151 dwelling units
1/11/13

NORTH
SITE DEVELOPMENT PLAN
1" = 50'



NORTH
VICINITY MAP
1" = 750'

architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

SILVER MOON LODGE
10TH ST. & CENTRAL AVE.
Albuquerque, New Mexico

REVISIONS

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△	
△	
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DRAWN BY	SY
REVIEWED BY	JS
DATE	1/10/2013
PROJECT NO.	12-0099
DRAWING NAME	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO.

SDP-1.1
OF