

# CITY OF ALBUQUERQUE

*Planning Department*

Suzanne Lubar, Director



*Mayor Richard J. Berry*

December 2, 2016

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, New Mexico 87199

**RE: Iron Duplex  
1203 Iron SW  
Grading and Drainage Plan  
Engineers Stamp Date 11/22/16 (K13D074)**

Dear Mr. Soule,

PO Box 1293

Based upon the information provided in your submittal received 11/22/16, this plan is approved for Grading Permit and Building Permit.

Albuquerque

Please inform the owner/contractor to attach a copy of this approved plan dated 9/29/16 to the construction sets in the permitting process prior to sign-off by Hydrology. Also inform the owner/contractor that a separate permit will be required for a wall/fence.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Hydrology  
Planning Department

RR/AC  
C: File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

CAN APPROVE

Project Title: Iron duplex Building Permit #: \_\_\_\_\_ City Drainage #: k13d074

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LTS 15 & 16 BLOCK 43 RAYNOLDS ADDN

City Address: 1203 IRON SW

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SEAN GILLIGAN Contact: \_\_\_\_\_

Address: PO BOX 7847 ALB NM 87194

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: DELHER SURVEY Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

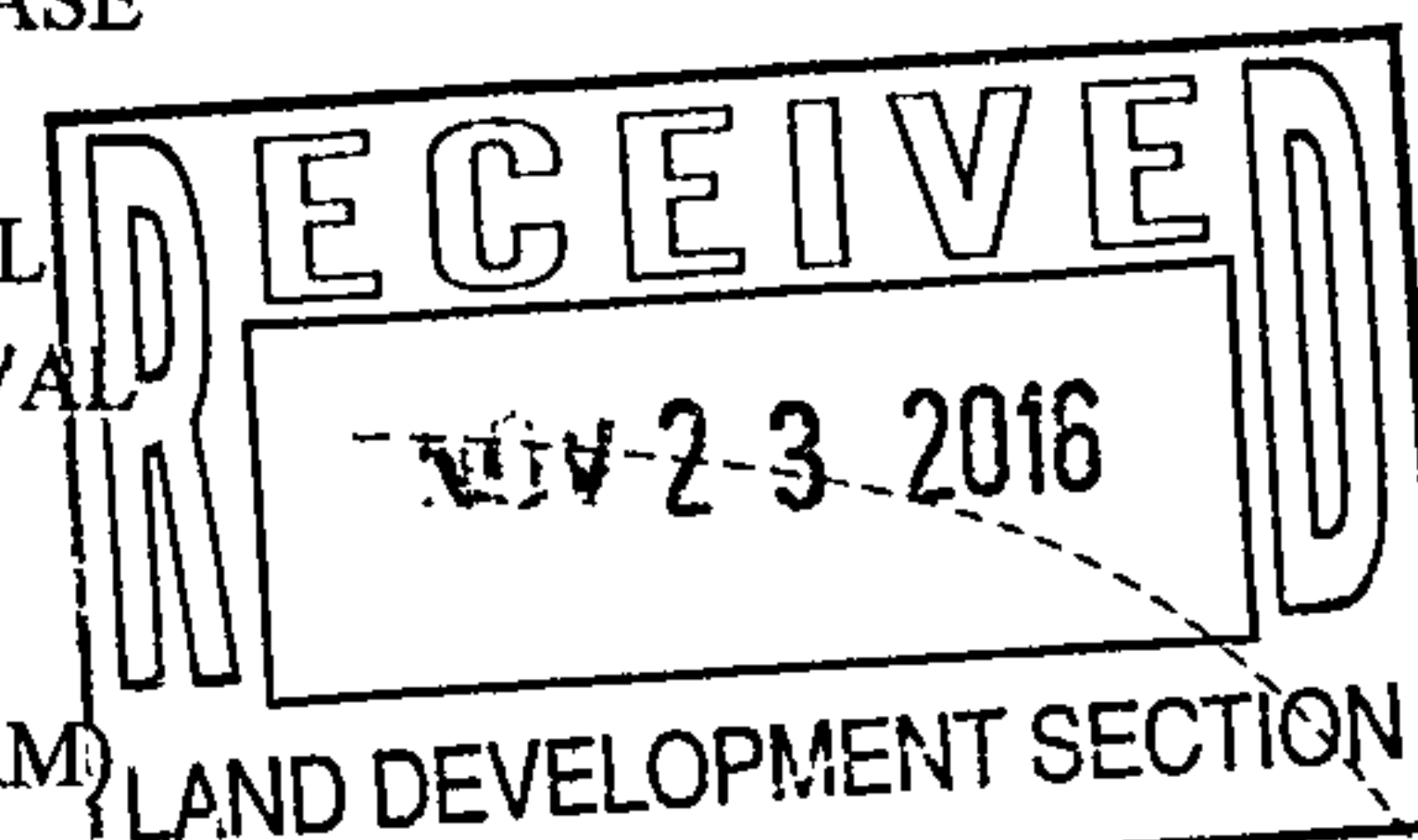
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK-ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 11/22/16 By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology

Planning Department

City of Albuquerque

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102

The purpose of this letter is to accompany the enclosed grading plan. The plan has been revised to address your email comments dated 11/21/16. Below are your comment and our response as to how they were addressed are underlined:

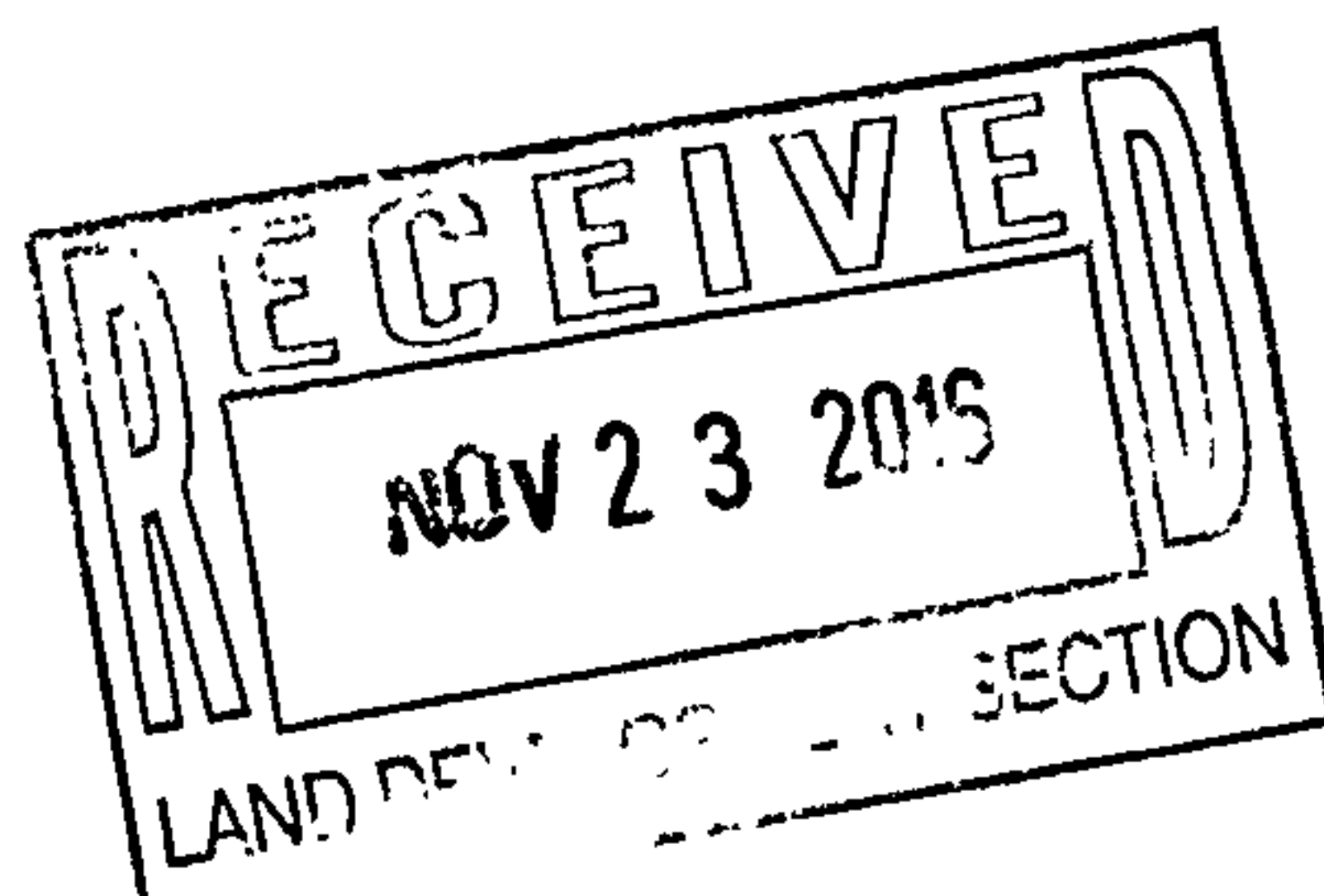
1. Clarify the contour and surface work to be completed adjacent to the alley.
  - a. The linework suggests that parking spots are to be developed, are they paved? .  
We have added limit of work area and labeled the treatment of the parking spaces.
  - b. The contours of the pond seem to grade the pond off center, steepening the side slopes adjacent to the parking lot.  
We have revised the contours to center the pond.
2. *The concrete alley appears to be cracked throughout its length. The contractor will be required to sawcut and repair those portions of the concrete alley that are degraded by the construction of the improvements.*  
  
We have added this note #3
3. The site is zoned SU-2, does the project need Site Plan approval?  
We understand that the SU-2 zone requires site plan approval by the planning director. The builder has initiated this process and we believe this has been approved.
4. How does the roof drain? It should not discharge directly onto the sidewalk.  
We have identified the roof drains and added a trench drain (note#4)

Sincerely



David Soule

Rio Grande Engineering



## **Carrillo, Abiel X.**

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**From:** Carrillo, Abiel X.  
**Sent:** Monday, November 21, 2016 11:53 AM  
**To:** David Soule  
**Subject:** Iron Duplex - K13D074 - Stamp Date 11-2-2016

David,

This email is being sent in lieu of a formal letter attached to help expedite initial reviews. A reply to this email will not replace a re-submittal.

Based on the information provided in your submittal received 11-04-2016, the above-referenced Grading and Drainage Plan cannot be approved for building permit until the following comments are addressed:

1. Clarify the contour and surface work to be completed adjacent to the alley.
  - a. The linework suggests that parking spots are to be developed, are they paved? ✓
  - b. The contours of the pond seem to grade the pond off center, steepening the side slopes adjacent to the parking lot. ✓
2. The concrete alley appears to be cracked throughout its length. The contractor will be required to sawcut and repair those portions of the concrete alley that are degraded by the construction of the improvements. ✓
3. The site is zoned SU-2, does the project need Site Plan approval?
4. How does the roof drain? It should not discharge directly onto the sidewalk.

Any question just let me know.

### **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**  
**Planning Department**  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102



Weighted E Method  
IRON

Existing Developed Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		24-HOUR
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
EXISTING	7100	0.163	0%	0	100.0%	0.163	0.0%	0	0%	0.000	0.780	0.011	0.37
PROPOSED	7100	0.163	0%	0	13.0%	0.021	15.0%	0.02445	72%	0.117	1.797	0.024	0.68
TO IRON	3050	0.070	0%	0	13.0%	0.009	15.0%	0.0105	72%	0.050	1.797	0.010	0.29
TO ALLEY	4050	0.093	0%	0	13.0%	0.012	15.0%	0.01395	72%	0.067	1.797	0.014	0.39
ALLOWABLE DISCHARGE												0.45	

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm (zone 2)

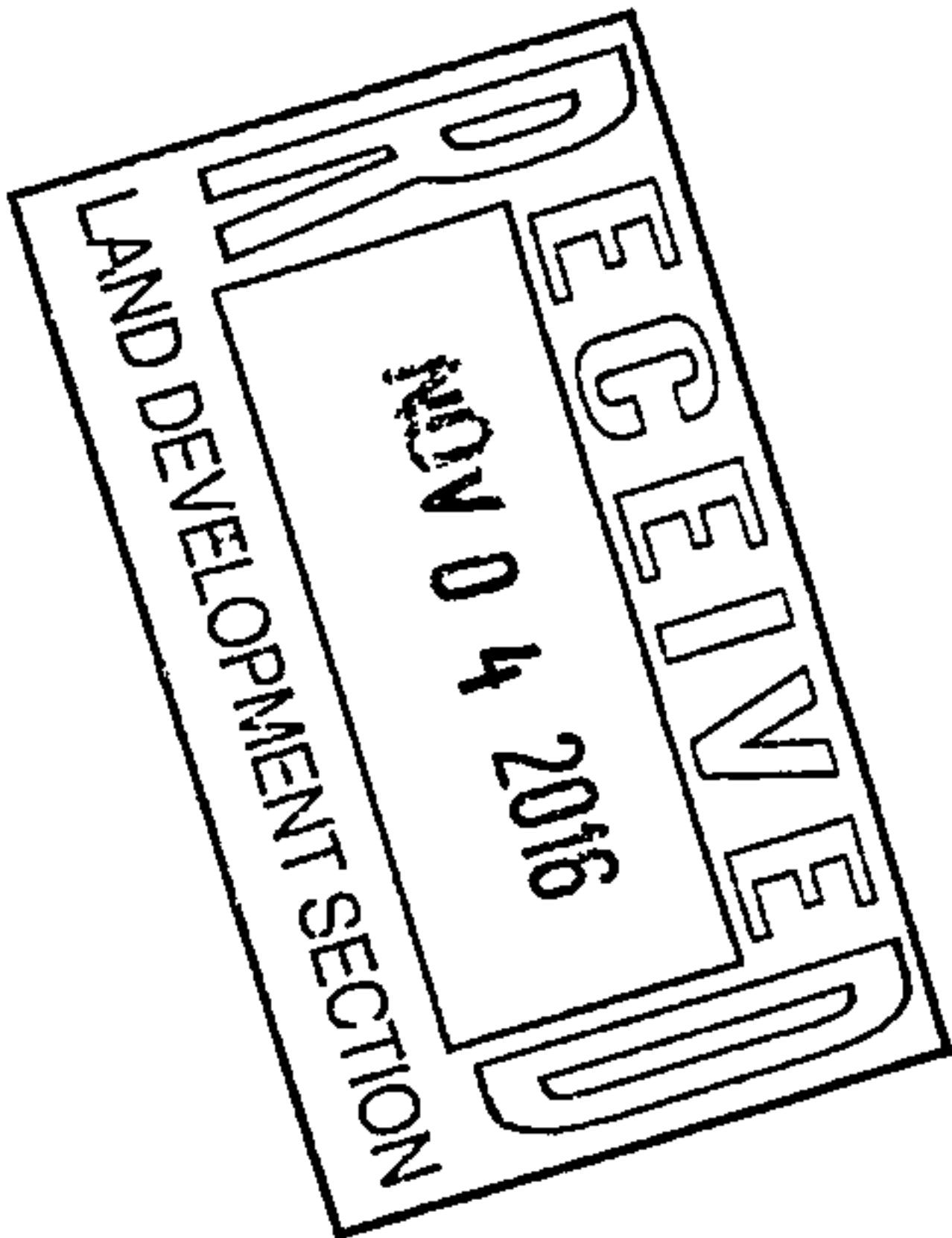
Ea= 0.53	Qa= 1.57
Eb= 0.78	Qb= 2.28
Ec= 1.13	Qc= 3.14
Ed= 2.12	Qd= 4.7

FIRST FLUSH VOLUME= 145 CF

RETAIN ALL ALLEY FLOW 530 CF

NARRATIVE

THIS IS A REDEVELOPMENT OF AN INFILL LOT. THIS LOT WAS FULLY DEVELOPED IN THE PAST. DUE TO THE LIMITED SITE AREA, WE ARE PROPOSING TO POND THE ENTIRE 100-YEAR VOLUME DISCHARGING TO THE ALLEY AND ALLOWING THE FREE FLOW OF THE IRON BASIN. IN A 6-HOUR EVENT THE SITE WILL DISCHARGE .29 CFS WHEREAS IT IS ALLOWED TO DISCHARGE .45 CFS. IN A LONGER STORM EVENT THE POND MAY NOT BE COMPLETELY DRAINED THE POND WILL DISCHARGE AND THE SITE MAY DISCHARGE UP TO .23 CFS IN EXCESS OF ALLOWED. IN THE SITE BEING INFILL AND THE POTENTIAL FOR INFILTRATION AND ATTENUATION DO TO PONDING, THE EFFECTIVE DISCHARGE RATE SHALL BE LESS THAN THE .68 CFS CALCULATED





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Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Iron duplex Building Permit #: \_\_\_\_\_ City Drainage #: K130074  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LTS 15 & 16 BLOCK 43 RAYNOLDS ADDN  
City Address: 1203 IRON SW

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE  
Address: PO BOX 93924, ALBUQUERQUE, NM 87199  
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SEAN GILLIGAN Contact: \_\_\_\_\_  
Address: PO BOX 7847 ALB NM 87194  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: DELHER SURVEY Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

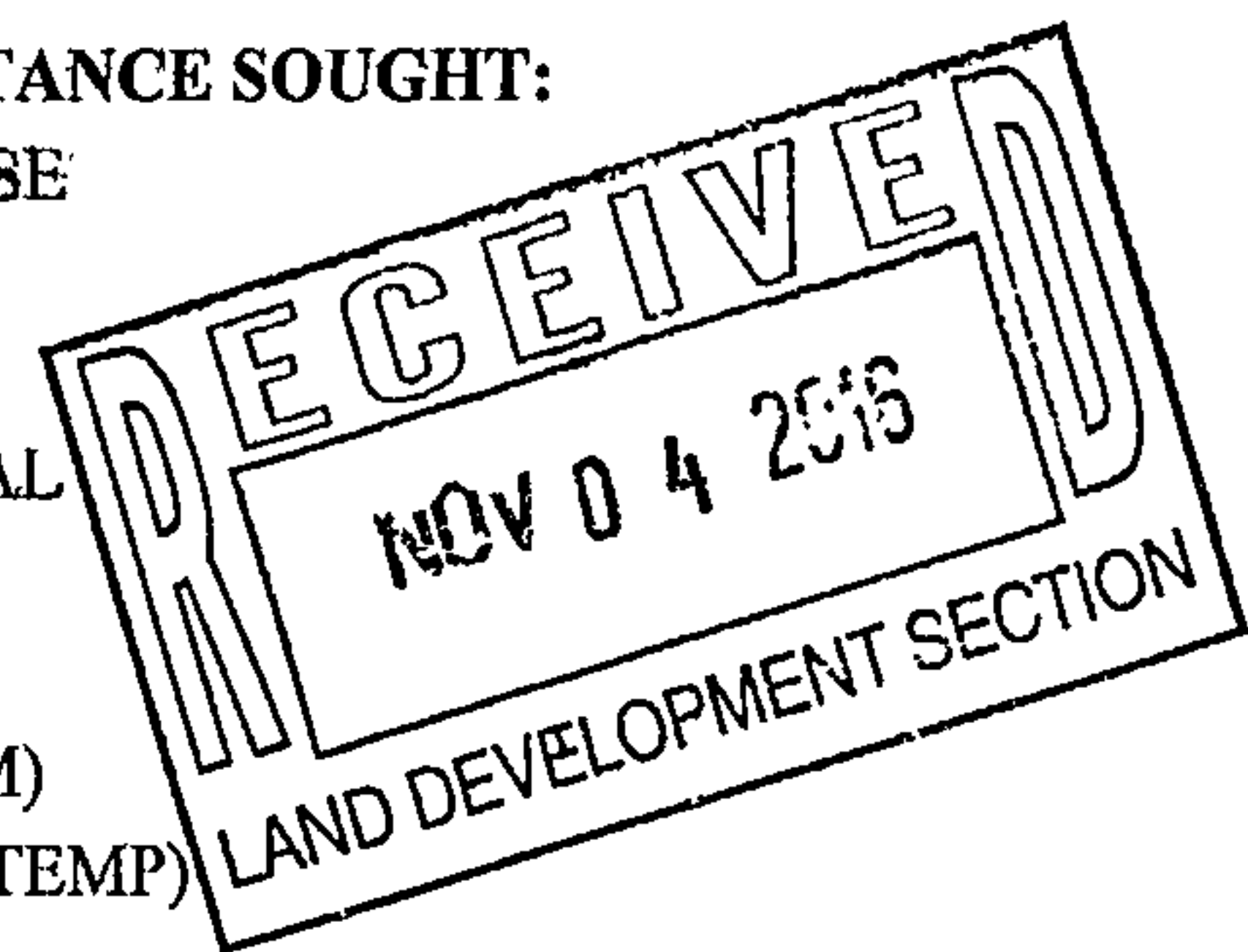
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

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WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 11/4/16 By: \_\_\_\_\_

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