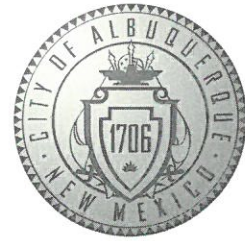


CITY OF ALBUQUERQUE



April 24, 2020

Jose La Cruz-Crawford, RA
JLLCC Design & Consulting
1911 5th St., Ste. 204
Santa Fe NM 87505

Re: Blue Sky @ 12th Street
311-319 12th Street
Traffic Circulation Layout
Architect's Stamp 04-22-2020 (K13-D077)

Dear Mr. La Cruz-Crawford,

The TCL submittal received 04-23-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

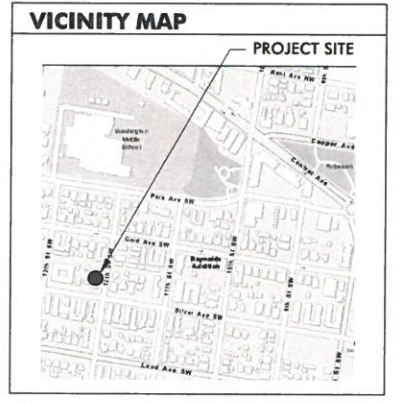
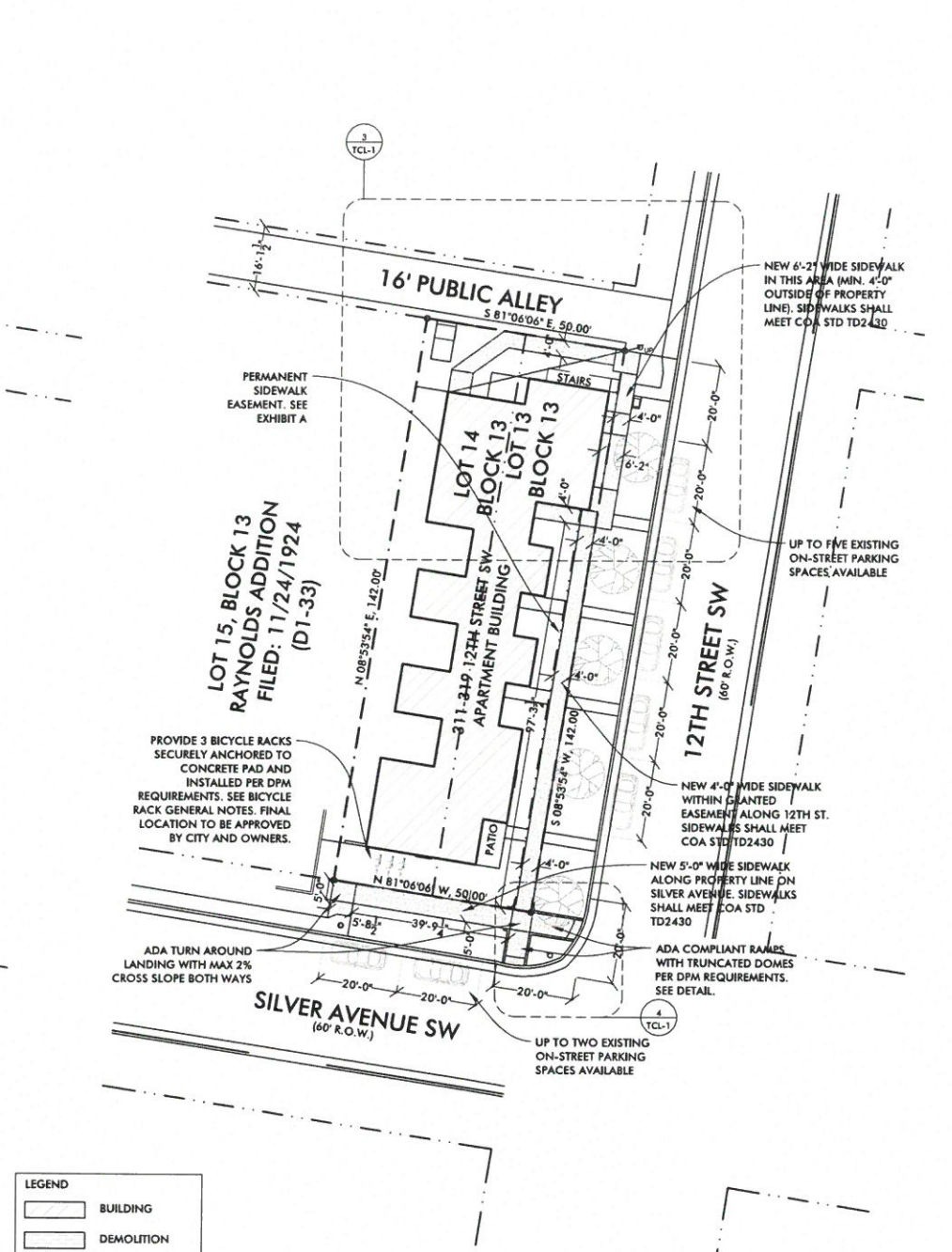
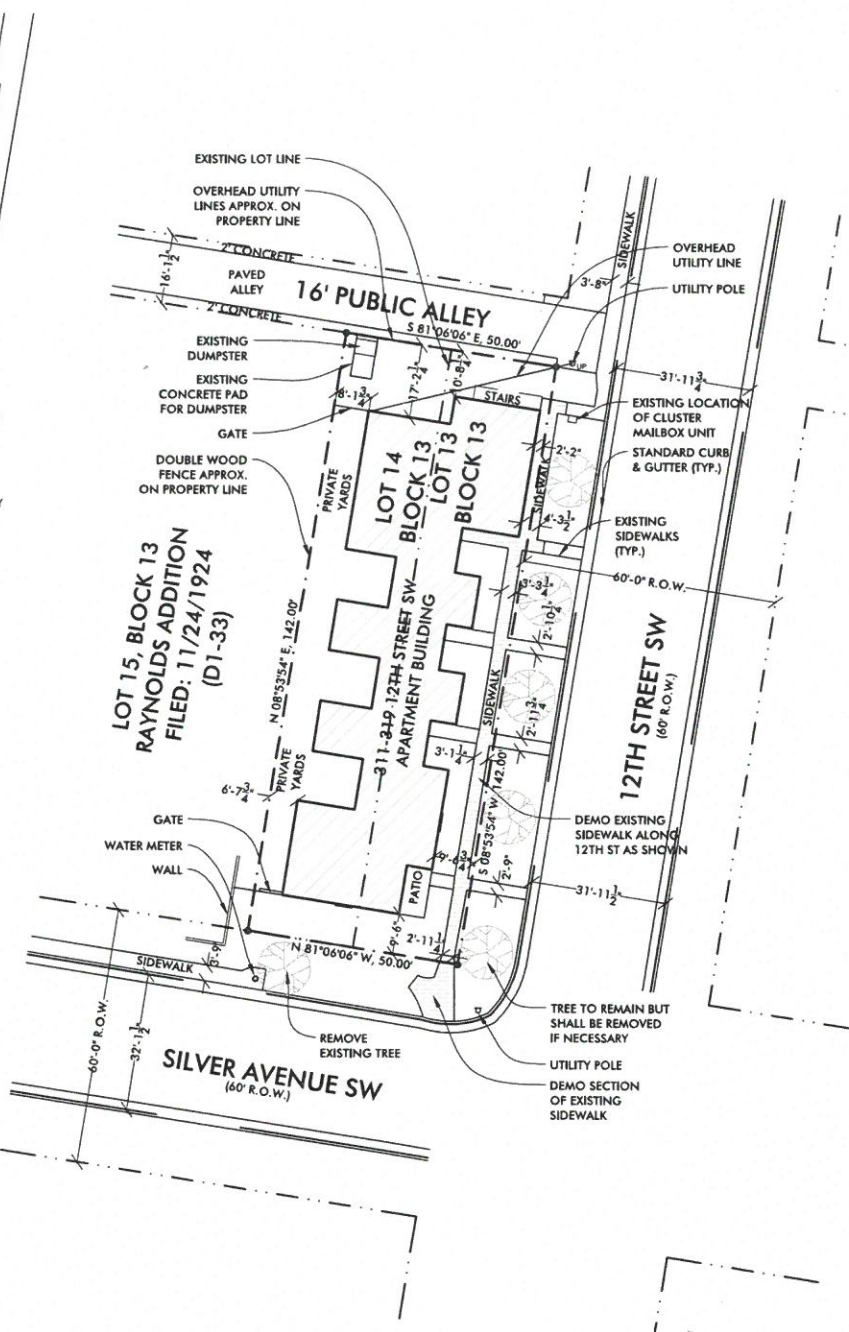
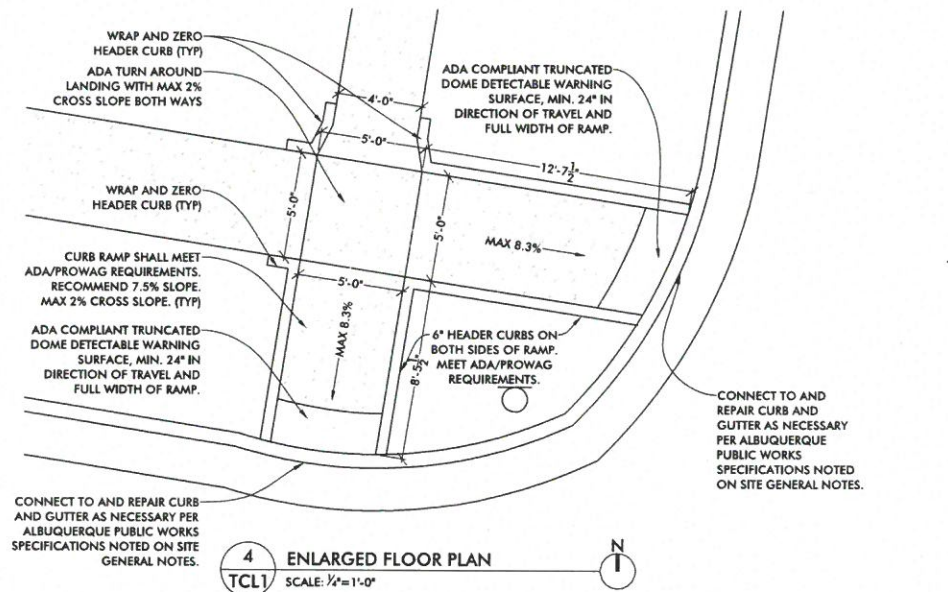
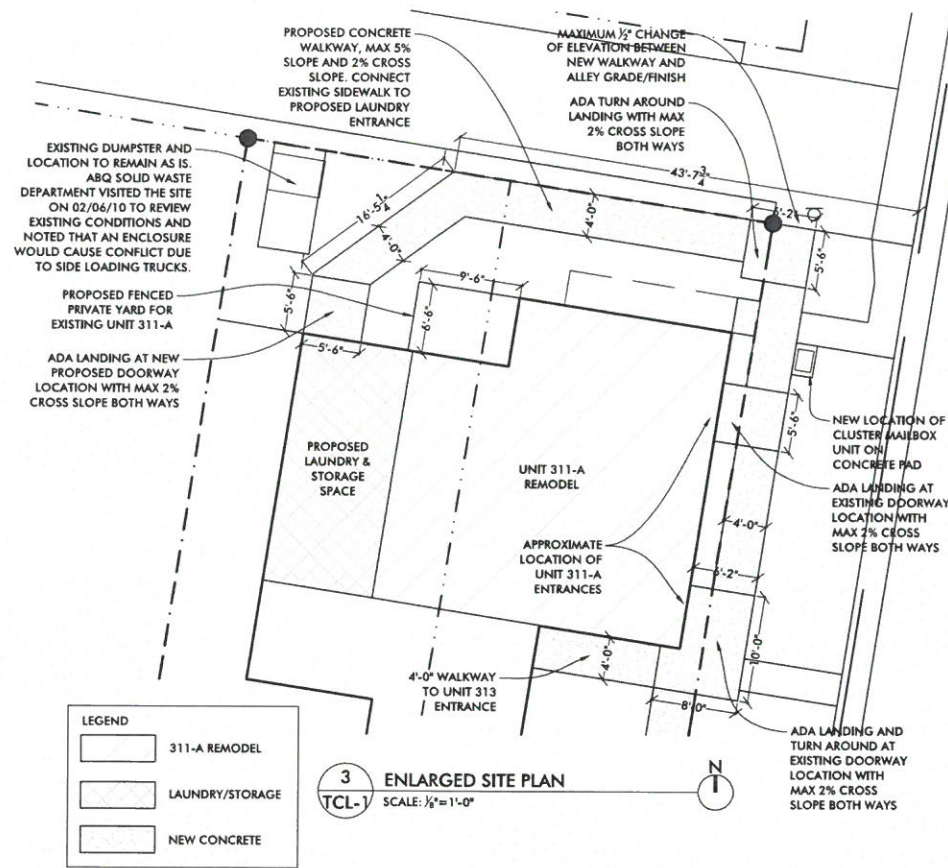
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



TLC GENERAL INFORMATION

EXECUTIVE SUMMARY
AN EXISTING TWO STORY APARTMENT COMPLEX. REMODEL INCLUDES INTERIOR IMPROVEMENTS TO UNIT 311-A AND A CONVERSION OF AN EXISTING STORAGE SPACE INTO A TENANT ONLY LAUNDRY AND STORAGE SPACE. SITE IMPROVEMENTS INCLUDES CITY SIDEWALK ADDITIONS AND IMPROVEMENTS. THE EXISTING PARKING CONDITIONS ARE TO REMAIN AS IS.

ZONING: R-ML
ZONE ATLAS MAP INDEX NUMBER: K13
LEGAL DESCRIPTION: LOTS 13 & 14 BLOCK 13 REYNOLDS ADDITION
TYPE OF DEVELOPMENT: EXISTING APARTMENT COMPLEX
SIZE OF DEVELOPMENT: EXISTING 3,700.08 HEATED GSF W/ 3,449.84 GSF OF ROOFED AREA

PARKING AND LOADING (14-16-5-5-5)
APPLICABILITY: PER 14-16-5-5-5(B)(1) NO ACTIVITIES (I.E. NEW CONSTRUCTION, EXPANSION OF GROSS FLOOR AREA, CHANGE IN USE) ARE TAKING PLACE THAT WOULD SPECIFICALLY TRIGGER CURRENT PARKING REQUIREMENTS.

OFF-STREET VEHICLE PARKING (14-16-5-5-5(C):
DWELLING, MULTI-FAMILY: 1.5 PARKING SPACES PER DWELLING UNIT (14-16-5 TABLE 5-5-1). TOTAL EXISTING DWELLING UNITS: 6
REQUIRED PARKING SPACES PER CURRENT CODES = 9 PARKING SPACES
EXISTING PARKING SPACES = 7 ON-STREET, 0 ADA
NEW PARKING SPACES = 7 ON-STREET, 0 ADA

NOTE: REQUESTING APPROVAL TO MAINTAIN EXISTING PARKING CONDITIONS. ONLY LOCATION WHERE OFF-STREET PARKING COULD OCCUR WOULD NOT MEET STANDARD PARKING STALL DIMENSIONAL REQUIREMENTS AS THERE IS ONLY 17'-2" FROM EXISTING BUILDING FOOTPRINT AND PROPERTY LINE. SEE EXISTING SITE PLAN AS NECESSARY. IN ADDITION, SOLID WASTE DEPARTMENT VISITED THE SITE AND DETERMINED THAT THE EXISTING DUMPSTER LOCATION IS TO REMAIN AS IS AND ANY PROPOSED PARKING SPACES IN THAT GENERAL AREA COULD CONFLICT WITH THEIR ABILITY TO SERVICE THE DUMPSTER.

MOTORCYCLE PARKING 14-16-5-5-5(D):
RESIDENTIAL EXCEPTION PER 14-16-5-5-5(D)(1)

BICYCLE PARKING 14-16-5-5-5(E):
3 SPACES REQUIRED PER TABLE 5-5-5.

TRAFFIC CIRCULATION LAYOUT APPROVED

4/24/20
Date
Signed

SITE GENERAL NOTES:

- STRIPPING SHOWN FOR ON-STREET PARKING ONLY SHOWN FOR REFERENCE AND DIMENSIONS. NO STRIPPING REQUIRED ON-STREET.
- PROVIDE ANY NEW SIGNAGE OR OTHER REGULATORY REQUIREMENTS AS REQUIRED BY THE CITY OF ALBUQUERQUE IDO OR DPM STANDARDS.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CURRENT CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, STANDARD DETAIL DRAWINGS. SPECIFICALLY STANDARD DETAILS FOR PAVING-SECTION 2400. REFER TO ANY DETAILS AND REQUIREMENTS AS NECESSARY, SUCH AS, BUT NOT LIMITED TO, 2415A AND 2415B (CURB AND GUTTERS), 2430, 2431, & 2432 (SIDEWALKS), AND 2440 & 2441 (ACCESS RAMPS).

BICYCLE RACK GENERAL NOTES:

- ALL BICYCLE RACKS SHALL BE DESIGNED ACCORDING TO THE FOLLOWING GUIDELINES:
 - THE RACK SHALL BE A MINIMUM 30 INCHES TALL AND 18 INCHES WIDE.
 - THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
 - THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- BICYCLE RACKS SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
- A 1-FOOT CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED.
- BICYCLE PARKING SPACES SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.



BLUE SKY @ 12TH ST
311 12th St. SW Albuquerque, NM 87102
SITE PLANS

PROJECT #	1906
DATE	04.22.20
SHEET #	TCL-1

DESIGN & CONSULTING