

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 14, 2020

Larry Read, P.E.
Larry Read & Associates
8100 Wyoming Blvd NE, Suite M-4 Box 107
Albuquerque, NM, 87113

RE: San Patricio Townhomes
1512 San Patricio SW
Permanent C.O. - Accepted
Engineer's Certification Date: 6/17/20
Engineer's Stamp Date: 8/15/19
Hydrology File: K13D078

Dear Mr. Read:

PO Box 1293

Based upon the information provided in your submittal received 7/9/2020, this project is approved for Permanent C.O.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

NM 87103

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: San Patricio Townhomes **Building Permit #:** BP-2019-20564 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 9-A, Block 23, Huning Castle Addition
City Address: 1512 San Patricio SW

Applicant: Eagle Run Development, Inc. **Contact:** Matthew Osofsky
Address: PO Box 7095, Albuquerque, NM 87194
Phone#: 303-523-5676 **Fax#:** _____ **E-mail:** mosofsky@live.com

Other Contact: William Osofsky, AIA **Contact:** _____
Address: PO Box 7095, Albuquerque, NM 87194
Phone#: 505-463-1807 **Fax#:** 505-242-1799 **E-mail:** wosofsky@msn.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 7-9-2020

By: 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

LARRY READ & ASSOCIATES, Inc.

*Civil Engineers
Site • Drainage • Utility Design*

June 17, 2020

RE: 1512 San Patricio Ave. SW
BP-2019-20564

I, Larry D. Read, PE, OF THE FIRM Larry Read & Associates, Inc., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/15/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY me or my designated representative. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON June 17, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE attached As-Built drawing IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR a Certificate of Occupancy.

Drainage: This site was approved for flat drainage design with infiltration into the subsoil retention system and has been built in accordance with the zero-slope plan. The site has been observed in heavy rain and no standing surface water was observed.

AS-BUILT DEVIATION: The approved design called for 140 linear feet of trenching and pipe, which was installed. However, the location of forty linear feet of trenching and pipe needed to be moved from the front and side/front to the rear of the lot as depicted in the attached as-built drawing. The as-built configuration provides for the exact same volume of retention.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

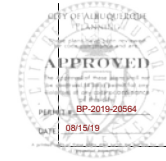
Sincerely,
LARRY READ & ASSOCIATES, Inc.



Larry D. Read, P.E.

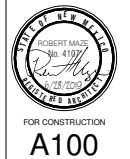


As-Built



1512 San Particio NW
Albuquerque, NM

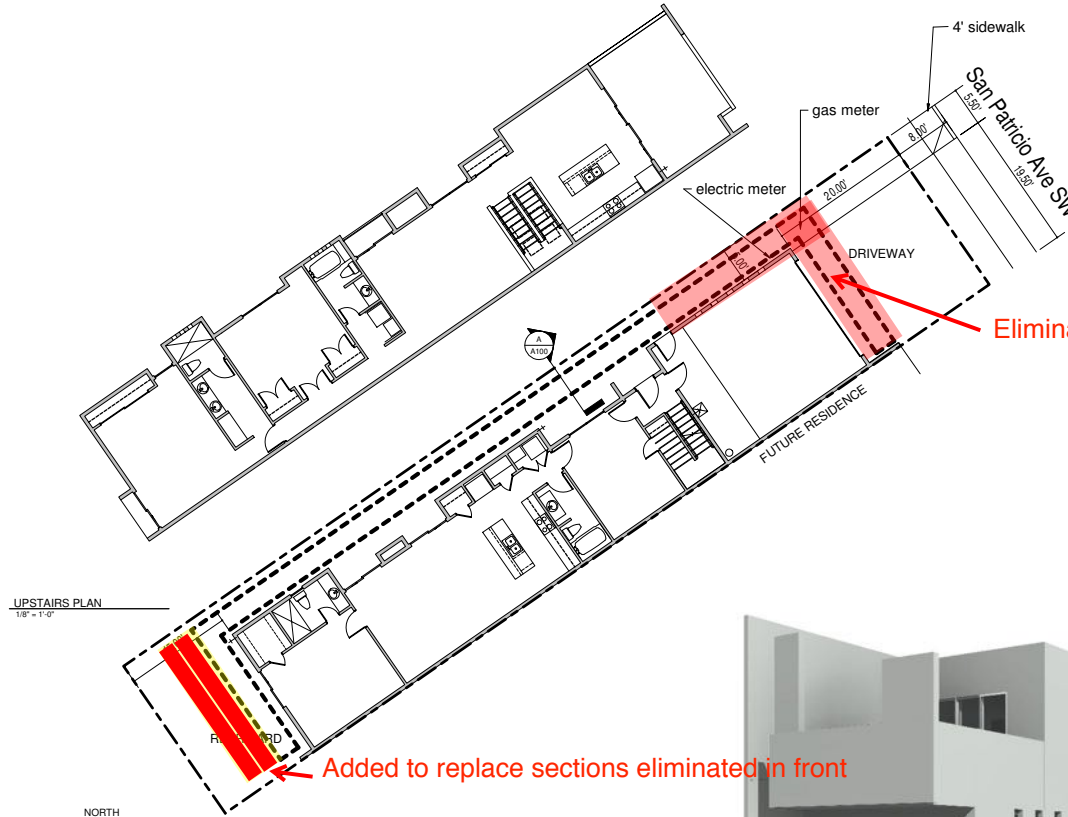
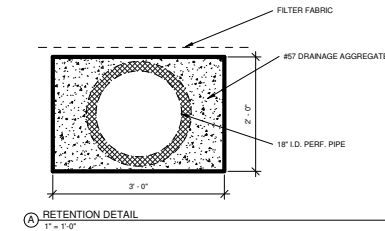
New Dwelling
SITE PLAN / COVER



FOR CONSTRUCTION
A100

AREA BREAKDOWNS:
UPSTAIRS 1587 SF
DOWNSTAIRS 1277 SF
GARAGE 481 SF

Eliminated due to conflict with utilities



SITE PLAN GRADING AND DRAINAGE

Computations:
Hard surfaces 1600 sq ft
Foundation 333 sq ft
Patios and Pavers* 1933 sq ft
x 3.67 cubic inches/sq ft for retention
= 7,094.11 cubic inches
÷ 12
= 591.18 cubic feet storage for retention

*Driveway excepted based on grading
Retention area

140 Linear Feet Corrugated Plastic Pipe (18 inch ID)
Internal void area on profile (in feet) - .75 x .75 x 3.14 = 1.76625 sq ft
Void area for 140 linear feet 247.275 cubic feet
Trench Area cased in Filter fabric and filled with #57 Aggregate
140 Linear Feet trench 3' x 3' 1260 cubic feet
Minus Pipe area (22 inch OD) .9167 x .9167 x 3.14 x 140 = 369.41
Net trench area minus pipe 890.59
#57 aggregate net void volume .4
Void area in trench outside pipe = 356.23 cubic feet
Trench plus pipe total void areas = 603.23 cubic feet



3D View

SHEET INDEX

A100	SITE PLAN / COVER
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A107	WALL SECTIONS
A108	ELECTRICAL PLAN























