

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

July 15, 2021

Xavier Nuno-Whelan, R.A.  
Dizignx  
879 Silver Ave SW  
Albuquerque, NM 87102

**Re: Central Apartments**  
**1020 Central Ave SW, 87102**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 1-22-21 (K13D080)  
Certification dated 7-9-21

Dear Mr. Nuno-Whelan,

Based upon the information provided in your submittal received 7-9-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT APPROVED  
6/8/2021

*Jeanne Wolfenbarger*

### DESIGN STANDARDS

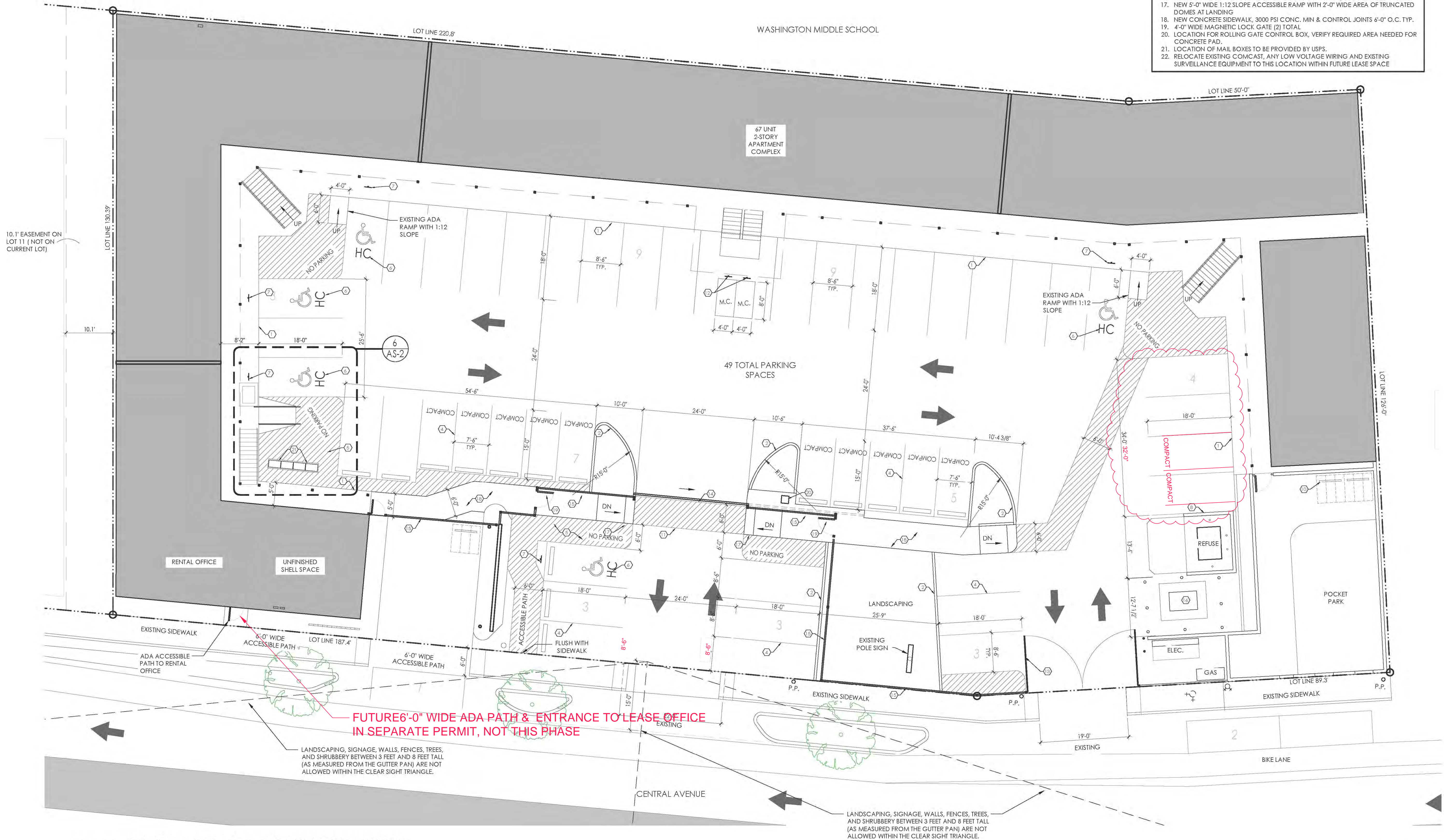
1. ALL CURB ACCESS RAMPS (DRIVE-PADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430
3. ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD DRAWING 2431
4. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD DRAWING 2450
5. ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING
6. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES

### PARKING CALCULATIONS

REQUIRED:	
DWELLING MULTI-FAMILY: 1 SPACE PER DU (UC-MS-PT ZONES)=	67 REQUIRED SPACES
30% REDUCTION ALLOWED IN MS ZONES = $67 \times 30\% = 20$ (67-20) =	47 REQUIRED SPACES
ACCESSIBLE PARKING: 51-100 SPACES = 4 REG. W/1 VAN. ACC.=	4 SPACE REQUIRED
MOTORCYCLE: 26-50 = 2	2 SPACE REQUIRED
BICYCLE: 10% OF REQUIRED PARKING = 5	5 SPACES PROVIDED
PROVIDED:	
REGULAR PARKING SPACES =	37 SPACES PROVIDED
SMALL CAR SPACES 25% OF TOTAL=	12 SPACES PROVIDED
ACCESSIBLE PARKING SPACES=	4 SPACES PROVIDED
MOTORCYCLE:	2 SPACE PROVIDED
BICYCLE PARKING:	6 SPACES PROVIDED

### KEYED NOTES

1. EXISTING CONCRETE SIDEWALK OR CURB TO REMAIN
2. NEW CONCRETE CURB @ EXISTING ASPHALT, SEE DETAIL 4/AS-2
3. NEW 4'-0" WIDE ADA RAMP W/ MAX. 1:12 SLOPE, SEE DETAIL 4/AS-2
4. NEW 4" WIDE PARKING STRIPING PER CABQ STANDARDS, TYPICAL
5. HANDICAP ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH 2" STROKE, BLUE COLOR, 4" WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE, TYP.
6. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE, SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND.
7. INSTALL HANDICAP PARKING SIGN AT ALL HANDICAP SPACES, SEE DETAIL 2/AS-2
8. NEW DUMPSTER ENCLOSURE, SEE DETAIL 5/AS-2
9. EXISTING 6'-0" WIDE CONCRETE A.D.A. RAMP WITH 1:12 MAX. SLOPE
10. NEW BIKE-RACK SEE DETAIL 1/AS-2
11. NEW 6'-0" WIDE PEDESTRIAN ACCESS AISLE, 4" WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE, TYP.
12. MOTORCYCLE ONLY PARKING SIGN, SEE DETAIL 3/AS-2
13. NEW 24'-0" WIDE METAL SWING GATES TO BE USED BY WASTE MANAGEMENT AND EMERGENCY FIRE USE ONLY - GATES TO BE OPERATED BY KEY-PAD & CODE TO BE GIVEN TO WASTE MANAGEMENT & FIRE. KNOCK BOX TO BE PROVIDED WITH KEY ACCESS FOR FIRE DEPARTMENT.
14. NEW 6'-0" HIGH x 24'-0" WIDE AUTOMATIC GATES AND OPERATING EQUIPMENT
15. NEW 6'-0" HIGH WROUGHT IRON METAL FENCE WITH 1" SQ. VERTICAL POSTS @ 4" O.C.
16. EXISTING TRANSFORMER & EXPOSED CONDUIT TO REMAIN, SEE ELECTRICAL PLANS
17. NEW 5'-0" WIDE 1:12 SLOPE ACCESSIBLE RAMP WITH 2'-0" WIDE AREA OF TRUNCATED DOMES AT LANDING
18. NEW CONCRETE SIDEWALK, 3000 PSI CONC. MIN & CONTROL JOINTS 6'-0" O.C. TYP.
19. 4'-0" WIDE MAGNETIC LOCK GATE (2) TOTAL
20. LOCATION FOR ROLLING GATE CONTROL BOX, VERIFY REQUIRED AREA NEEDED FOR CONCRETE PAD.
21. LOCATION OF MAIL BOXES TO BE PROVIDED BY USPS.
22. RELOCATE EXISTING COMCAST, ANY LOW VOLTAGE WIRING AND EXISTING SURVEILLANCE EQUIPMENT TO THIS LOCATION WITHIN FUTURE LEASE SPACE

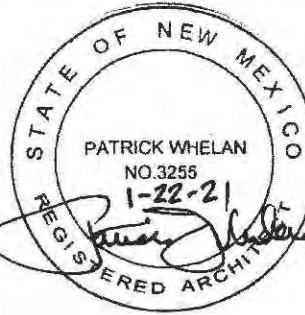


### SITE PLAN & TRAFFIC CIRCULATION LAYOUT

SCALE: 1"=10'-0"

0' 10' 20' 30' 40'  
BAR SCALE IN FEET

DIZIGN X



PROJECT TITLE:  
**MILLENNIUM FLATS - HOTEL TO APT. CONVERSION**  
1020 CENTRAL AVE SW  
ALBUQUERQUE, NM 87102

SHEET TITLE:  
**ARCHITECTURAL SITE PLAN &  
TRAFFIC CIRCULATION LAYOUT**

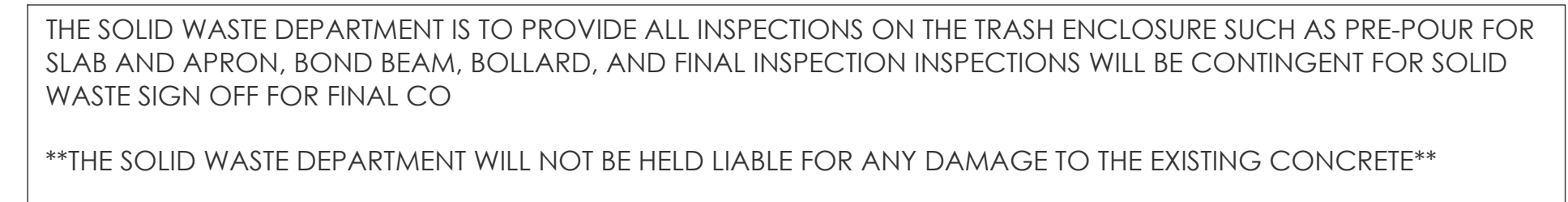
DRAWN BY: X.N.W.  
CHECKED BY: P.M.W.  
DATE: 06-02-2021

SHEET NUMBER:

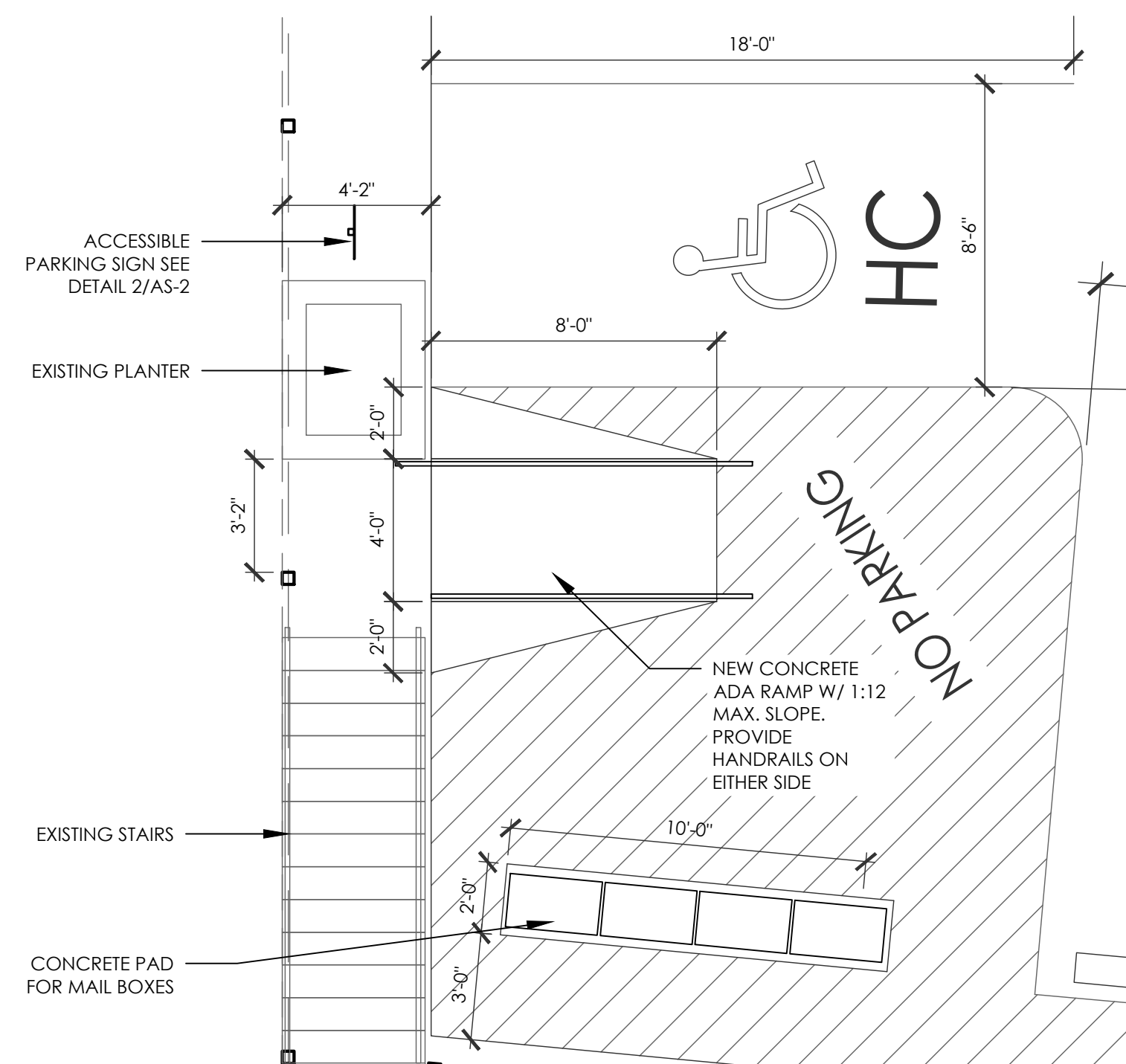
**AS-1  
TCL-1**



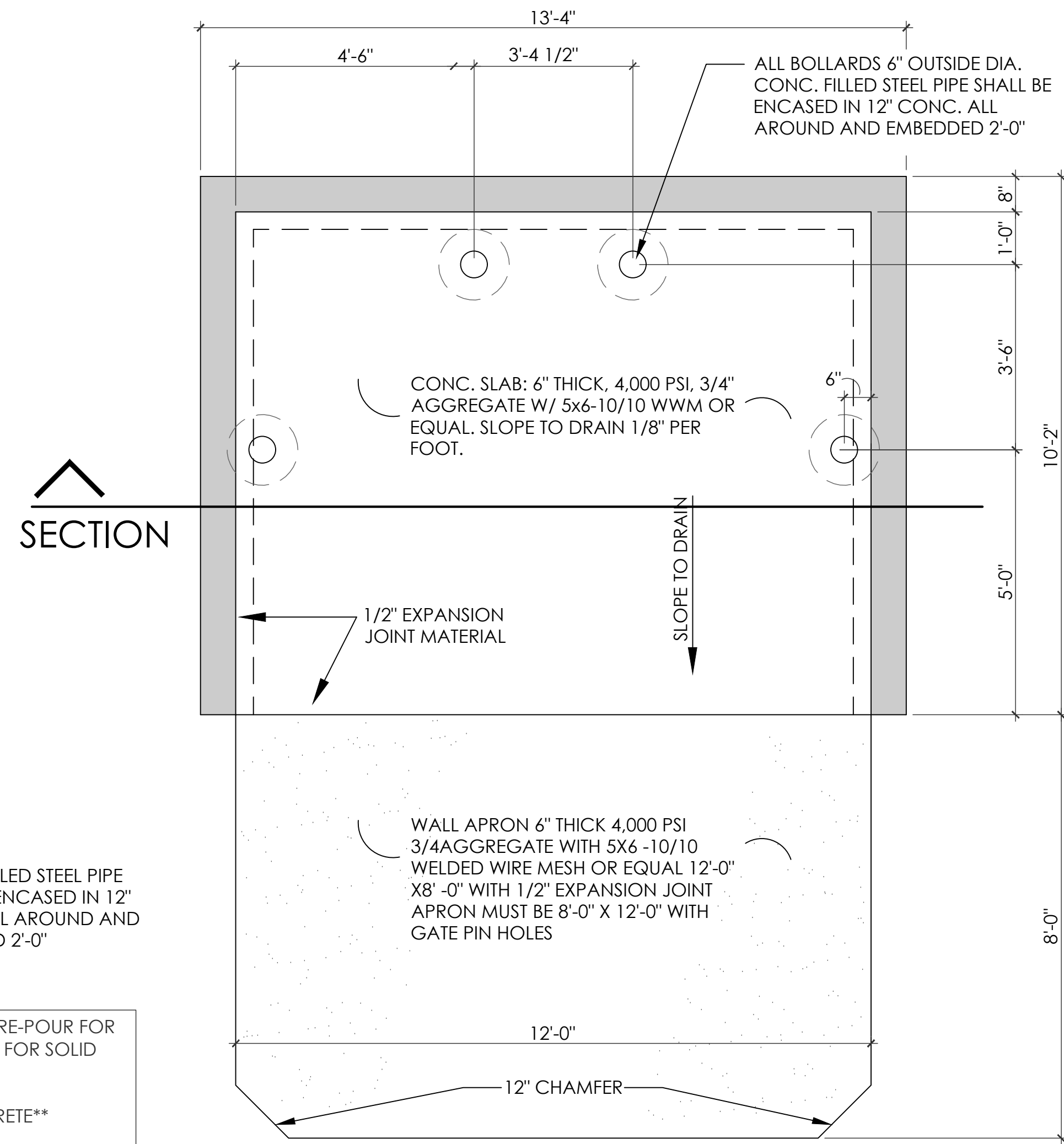
*Jeanne Wolfenbarger*



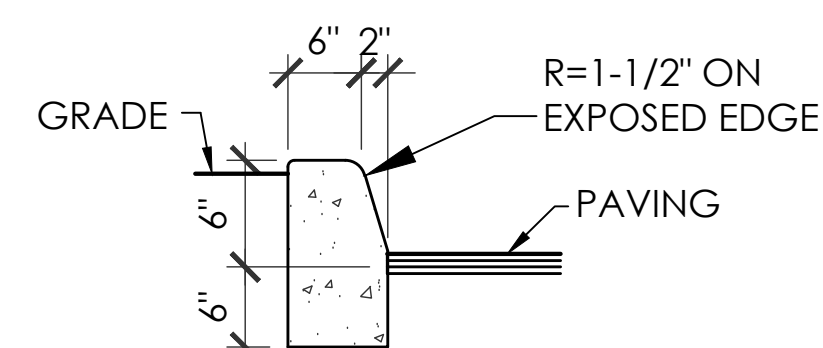
5 REFUSE ENCLOSURE DETAIL  
1/2" = 1'-0"



## NEW A.D.A. RAMP DETAIL

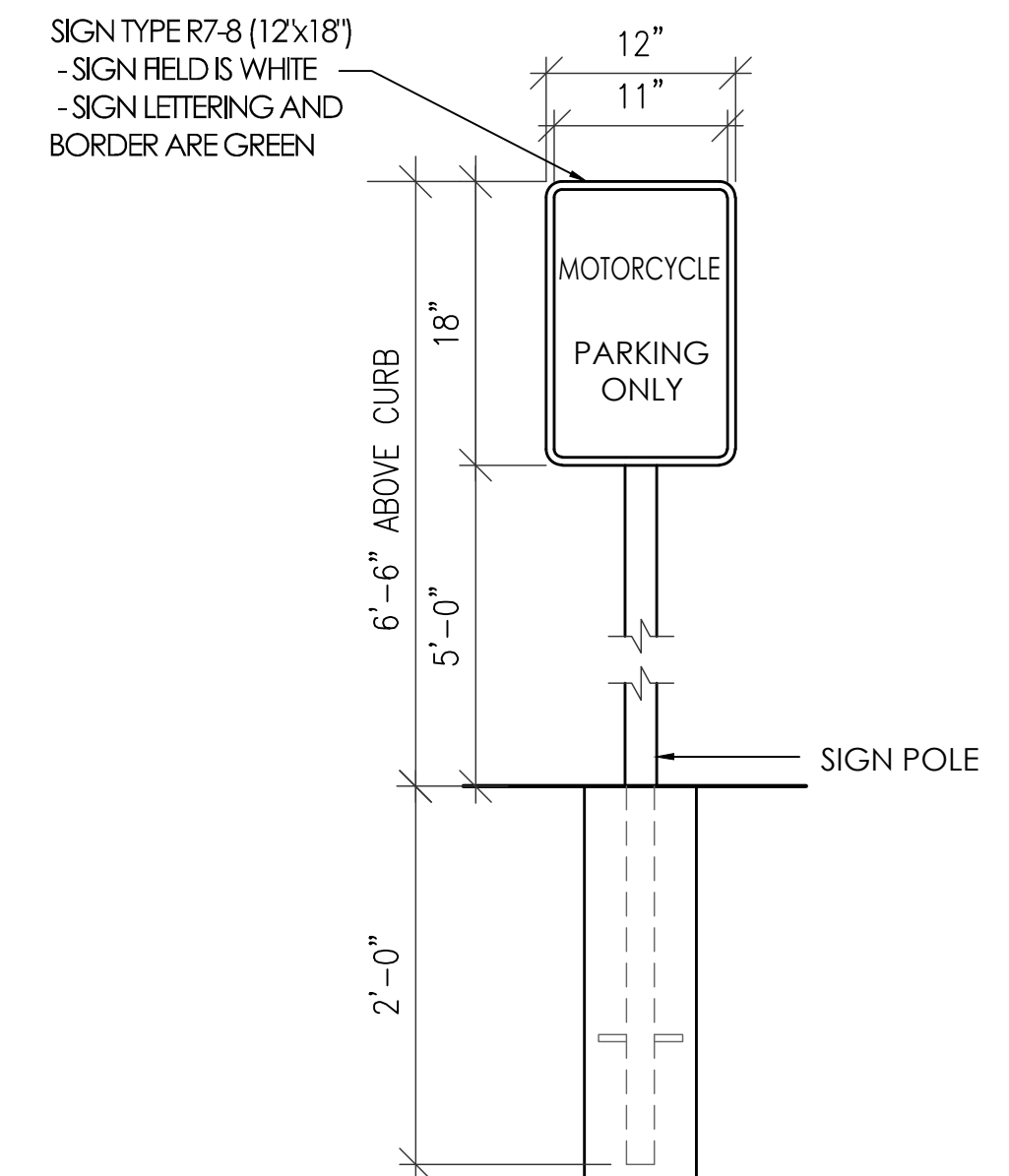


NOTE: INSTALL CONTROL JOINTS AT 6'-0" O.C. MAX. AND EXPANSION JOINTS AT 24'-0" O.C. MAX.

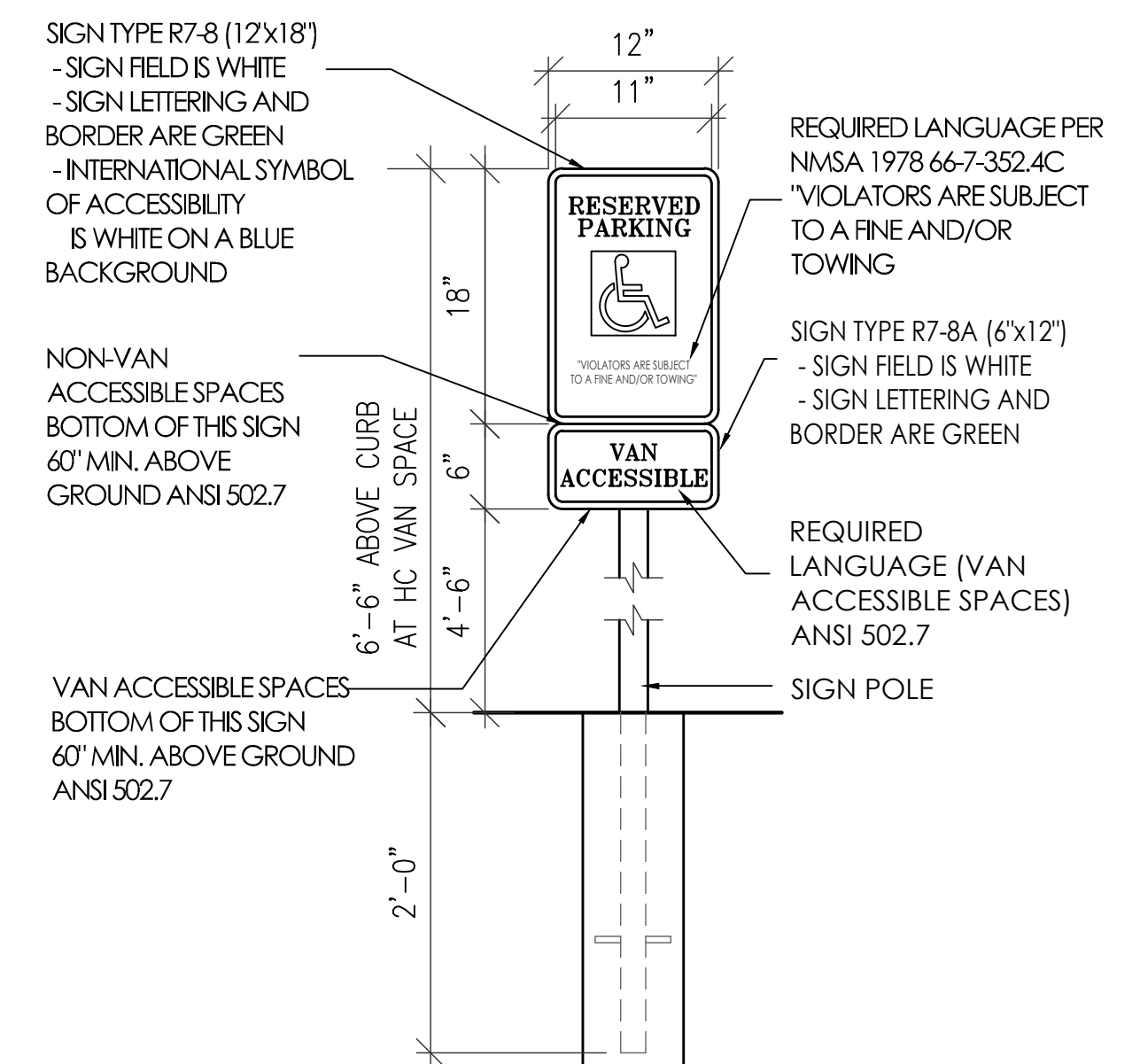


CURB @ EXISTING ASPHALT DETAIL

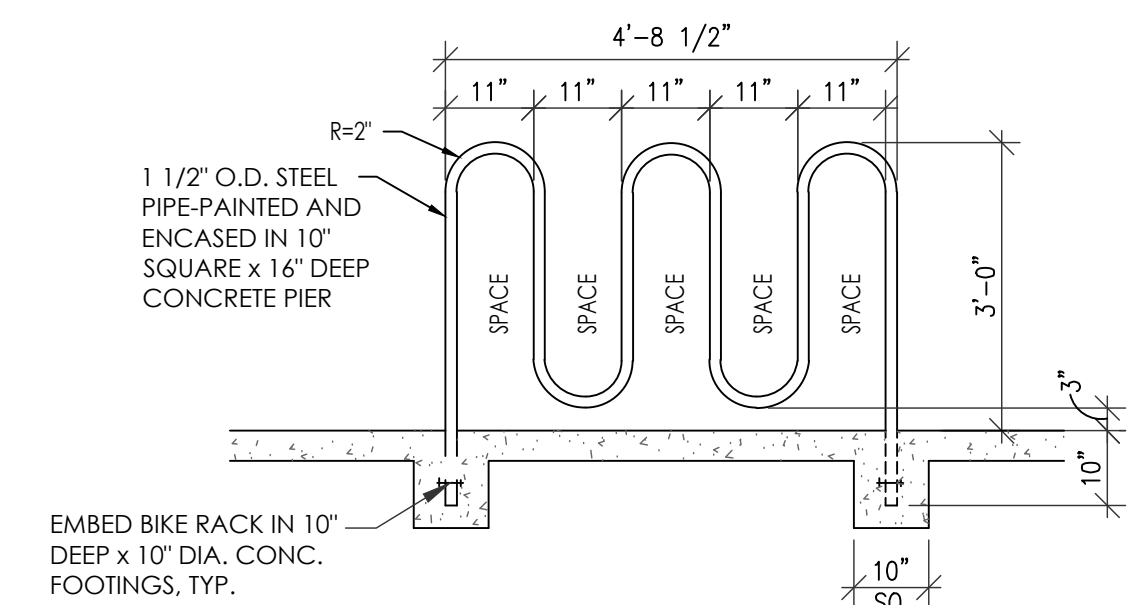
- A. THE RACK SHALL BE A MINIMUM 30 INCHES TALL AND 18 INCHES WIDE.
- B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE I.D.O. FOR ADDITIONAL INFORMATION.
- D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
- E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
- F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- G. BICYCLE RACKS SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
- H. A 1'-0" CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED.
- I. BICYCLE PARKING SPACES SHALL BE AT LEAST 6'-0" LONG AND 2'-0" WIDE.



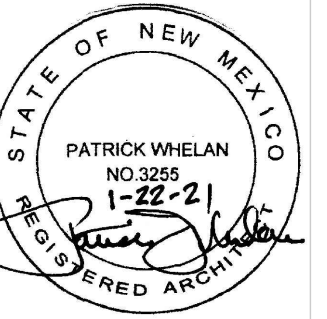
3 MOTORCYCLE SIGN DETAIL  
N.T.S.



2 H.C. PARKING SIGN DETAIL  
N.T.S.



1 BIKE RACK DETAIL  
N.T.S.



ALBUQUERQUE, NM 87102

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RAWN BY: X.N.W.  
CHECKED BY: P.M.W.  
DATE: 06-02-2021

SHEET NUMBER:

AS- 2  
CL-2