

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 8, 2021

Xavier Nuno-Whelan
DIZIGNX

Re: Central Apartments
1020 Central Ave SW
Traffic Circulation Layout
Architect's Stamp 01-21-2021 (K13-D080; BP-2020-43281)

Dear Mr. Nuno-Whelan,

The TCL submittal received 6-4-2021 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. With the consideration that this project is under construction, prior to issuance of a Certificate of Occupancy, please have the following items in place;

- "Emergency Access Only" signs for the west entrance. (These were mentioned in the response letter to the TCL comments but were not shown on the actual plan submittal.)
- Sufficient dimensioning shall be provided behind the planter for wheelchair access at the northeast corner of the parking lot. (An overall sidewalk dimension was shown, but there was no dimension around obstacles.)
- Due to various lot lines crossing the parking lot, a shared parking and access easement is required.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

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Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne wolfenbarger

Jeanne Wolfenbarger, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

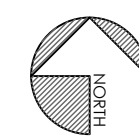
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Jeanne Wolfenbarger

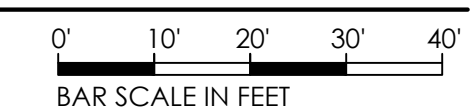
1. ALL CURB AND ASH RAMP (DRIVE-PAVING) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430
3. ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD DRAWING 2431
4. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD DRAWING 2450
5. ALL NEW CURB AND GUTTERS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING
6. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES

REQUIRED:	
DWELLING MULTI-FAMILY: 1 SPACE PER DU (JC-MS-PT ZONES)=	67 REQUIRED SPACES
30% REDUCTION ALLOW IN MS ZONES = $67 \times 30\% = 20$ $(67-20) =$	47 REQUIRED SPACES
ACCESSIBLE PARKING: 51-100 SPACES = 4 REG. W/1 VAN. ACC.=	4 SPACE REQUIRED
MOTORCYCLE: 26-50 = 2	2 SPACE REQUIRED
BICYCLE: 10% OF REQUIRED PARKING = 5	5 SPACES REQUIRED
PROVIDED:	
REGULAR PARKING SPACES =	37 SPACES PROVIDED
SMALL CAR SPACES 25% OF TOTAL=	12 SPACES PROVIDED
ACCESSIBLE PARKING SPACES=	4 SPACES PROVIDED
MOTORCYCLE:	2 SPACE PROVIDED
BICYCLE PARKING:	6 SPACES PROVIDED

1. EXISTING CONCRETE SIDEWALK OR CURB TO REMAIN
2. NEW CONCRETE CURB @ EXISTING ASPHALT. SEE DETAIL 4/A5-2
3. NEW 4'-0" WIDE ADA RAMP W/ MAX. 1:12 SLOPE. SEE DETAIL 6/A5-2
4. NEW 4'-0" WIDE PARKING STRIPING PER C&BQ STANDARDS, TYPICAL.
5. HANDICAP ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH Z STROKE, BLUE COLOR. 4'-0" WIDE WHITE STRIPING @ 1'-4" O.C. AT 5/AS-2
6. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE, SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND.
7. INSTALL HANDICAP PARKING SIGN AT ALL HANDICAP SPACES. SEE DETAIL 2/A5-2
8. NEW DUMPSITER ENCLOSURE. SEE DETAIL 5/A5-2
9. EXISTING 6'-0" WIDE CONCRETE A.D.A. RAMP WITH 1:12 MAX. SLOPE
10. NEW BIKE-RACK SEE DETAIL 1/A5-2
11. NEW 6'-0" WIDE PEDESTRIAN ACCESS AISLE, 4' WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE TYP.
12. MOTORCYCLE ONLY PARKING SIGN, SEE DETAIL 3/A5-2
13. NEW 24'-0" WIDE METAL SWING GATES TO BE USED BY WASTE MANAGEMENT AND EMERGENCY FIRE USE ONLY - GATES TO BE OPERATED BY KEY-PAD & CODE TO BE GIVEN TO WASTE MANAGEMENT & FIRE. KNOCK BOX TO BE PROVIDED WITH KEY ACCESS FOR FIRE DEPARTMENT
14. NEW 6'-0" HIGH X 24'-0" WIDE AUTOMATIC GATES AND OPERATING EQUIPMENT
15. NEW 6'-0" HIGH WROUGHT IRON METAL FENCE WITH 1' SQ. VERTICAL POSTS @ 4' O.C.
16. EXISTING TRANSFORMER & EXPOSED CONDUIT TO REMAIN, SEE ELECTRICAL PLANS
17. NEW 5'-0" WIDE 1:12 SLOPE ACCESSIBLE RAMP WITH 2'-0" WIDE AREA OF TRUNCATED DOMES AT LANDING
18. NEW CONCRETE SIDEWALK, 3000 PSI CONC. MIN & CONTROL JOINTS 6'-0" O.C. TYP. 4'-0" WIDE MAXIMUM C&BQ G2 TOTAL
20. LOCATION FOR ROLLING GATE CONTROL BOX, VERIFY REQUIRED AREA NEEDED FOR CONCRETE PAD.
21. LOCATION OF MAIL BOXES TO BE PROVIDED BY USPS.
22. RELOCATE EXISTING COMCAST, ANY LOW VOLTAGE WIRING AND EXISTING SURVEILLANCE EQUIPMENT TO THIS LOCATION WITHIN FUTURE LEASE SPACE



SCALE: 1"=10'-0"



FILE TITLE: ARCHITECTURAL SITE PLAN & TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER:

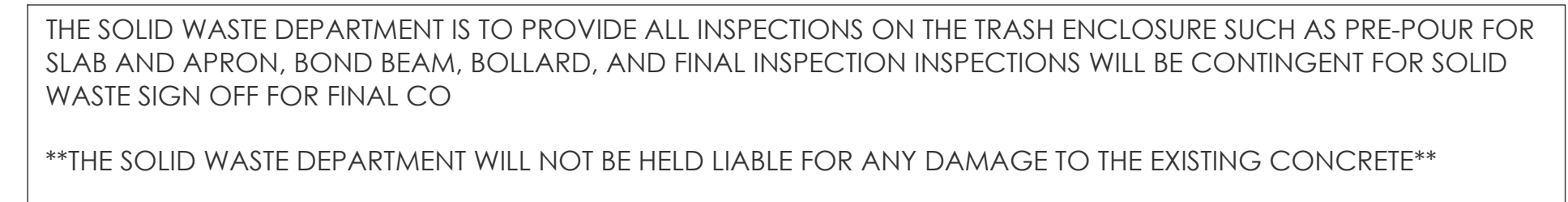
AS-1
TCL-1

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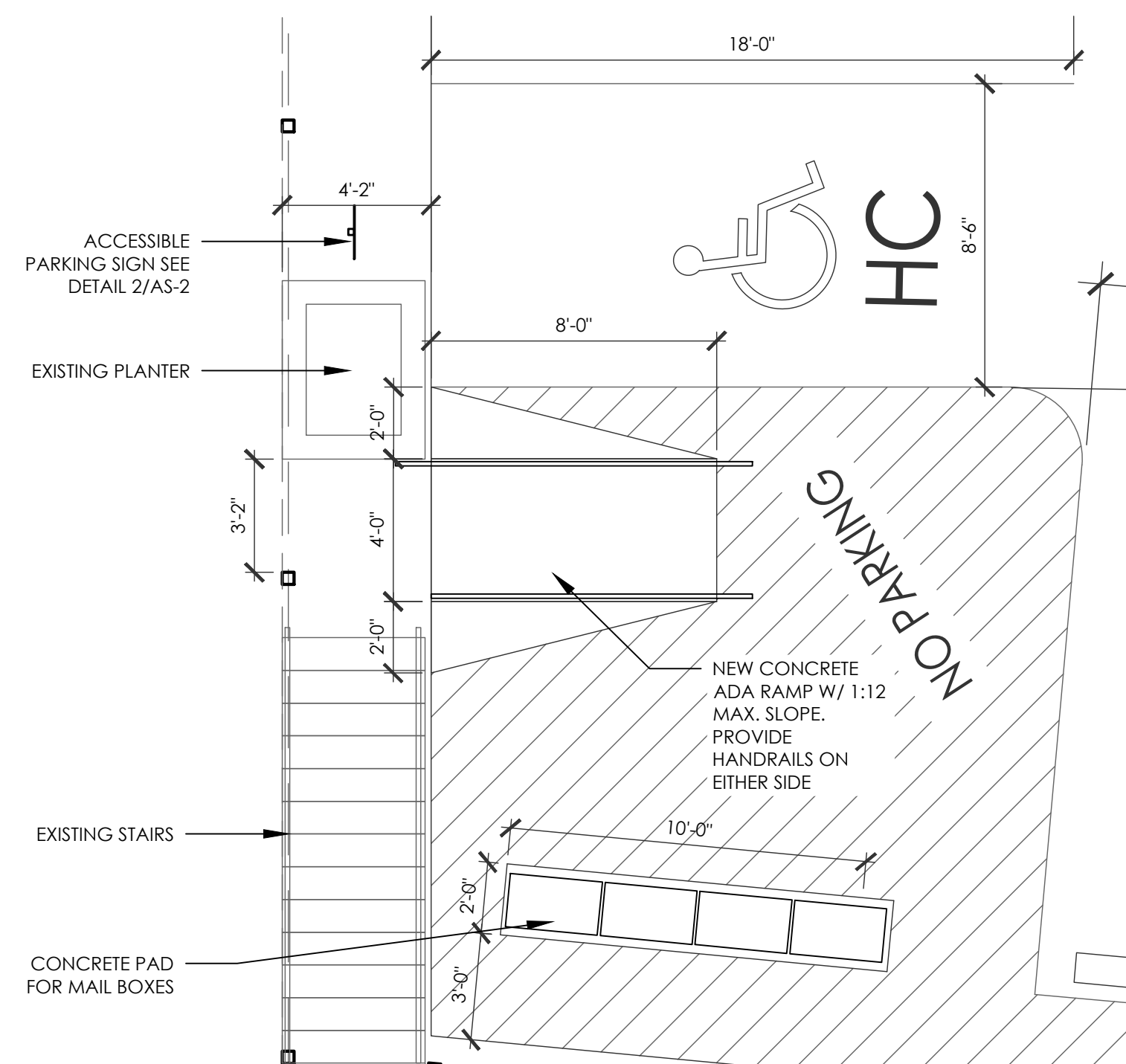
XAVIER NOINO-MILLERAN
(505) 507-3408
DIZIGNIX@GMAIL.COM



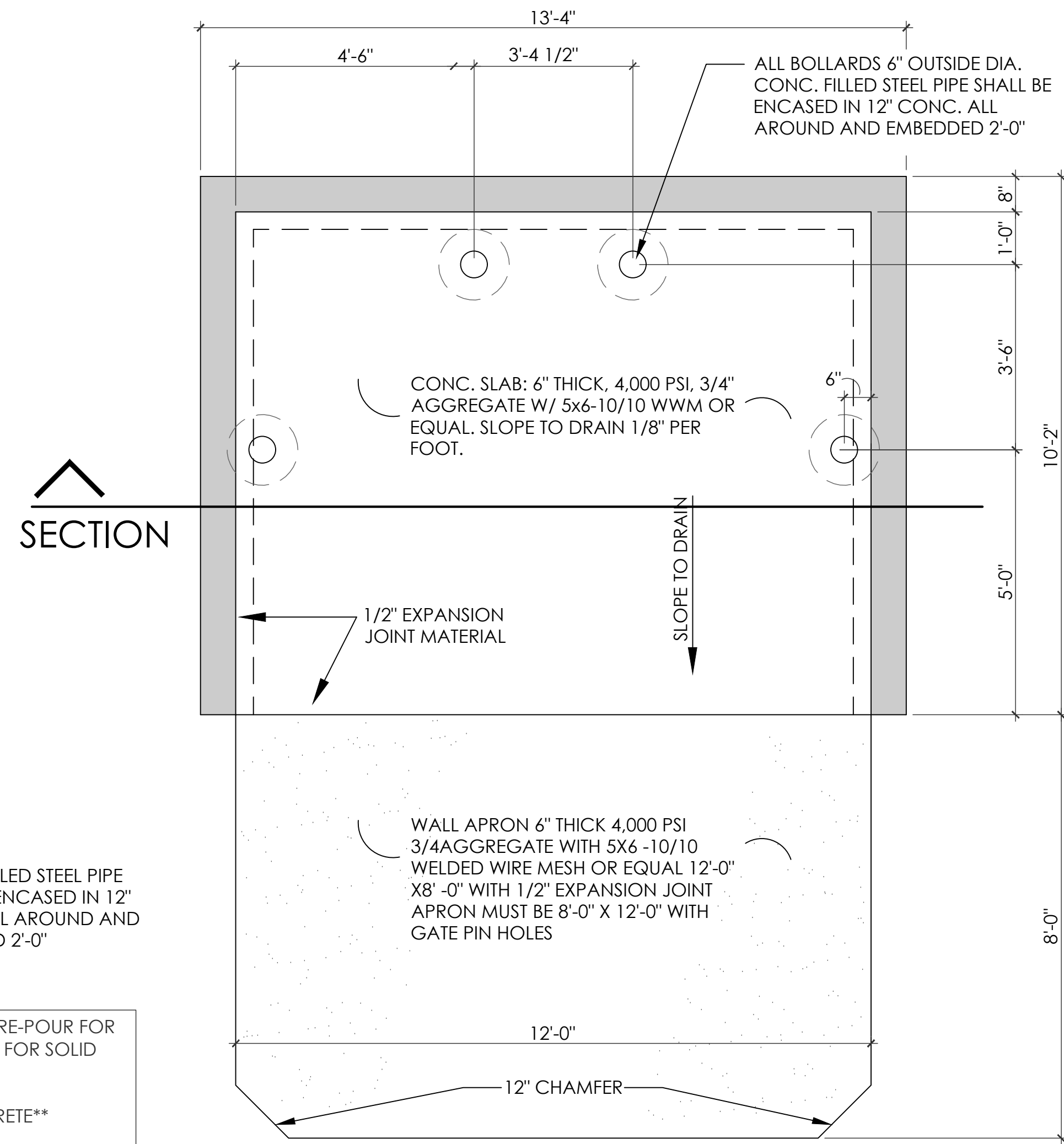
Jeanne Wolfenbarger



5 REFUSE ENCLOSURE DETAIL
1/2" = 1'-0"



NEW A.D.A. RAMP DETAIL

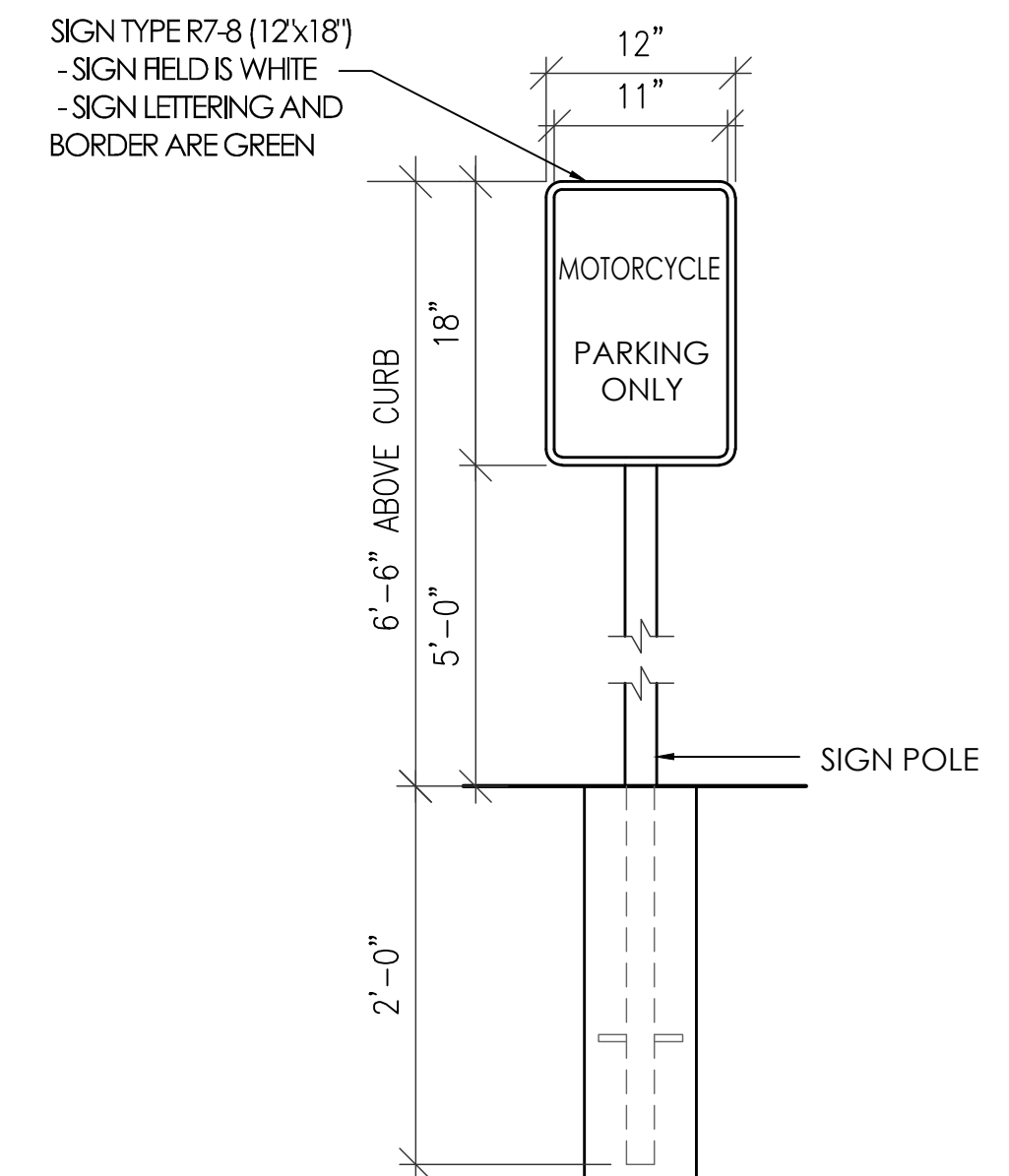


WALL APRON 6" THICK 4,000 PSI 3/4AGGREGATE WITH 5X6 - 10/10 WELDED WIRE MESH OR EQUAL
12'-0" X8'-0" WITH 1/2" EXPANSION JOINT APRON MUST BE 8'-0" X 12'-0" WITH GATE PIN HOLES

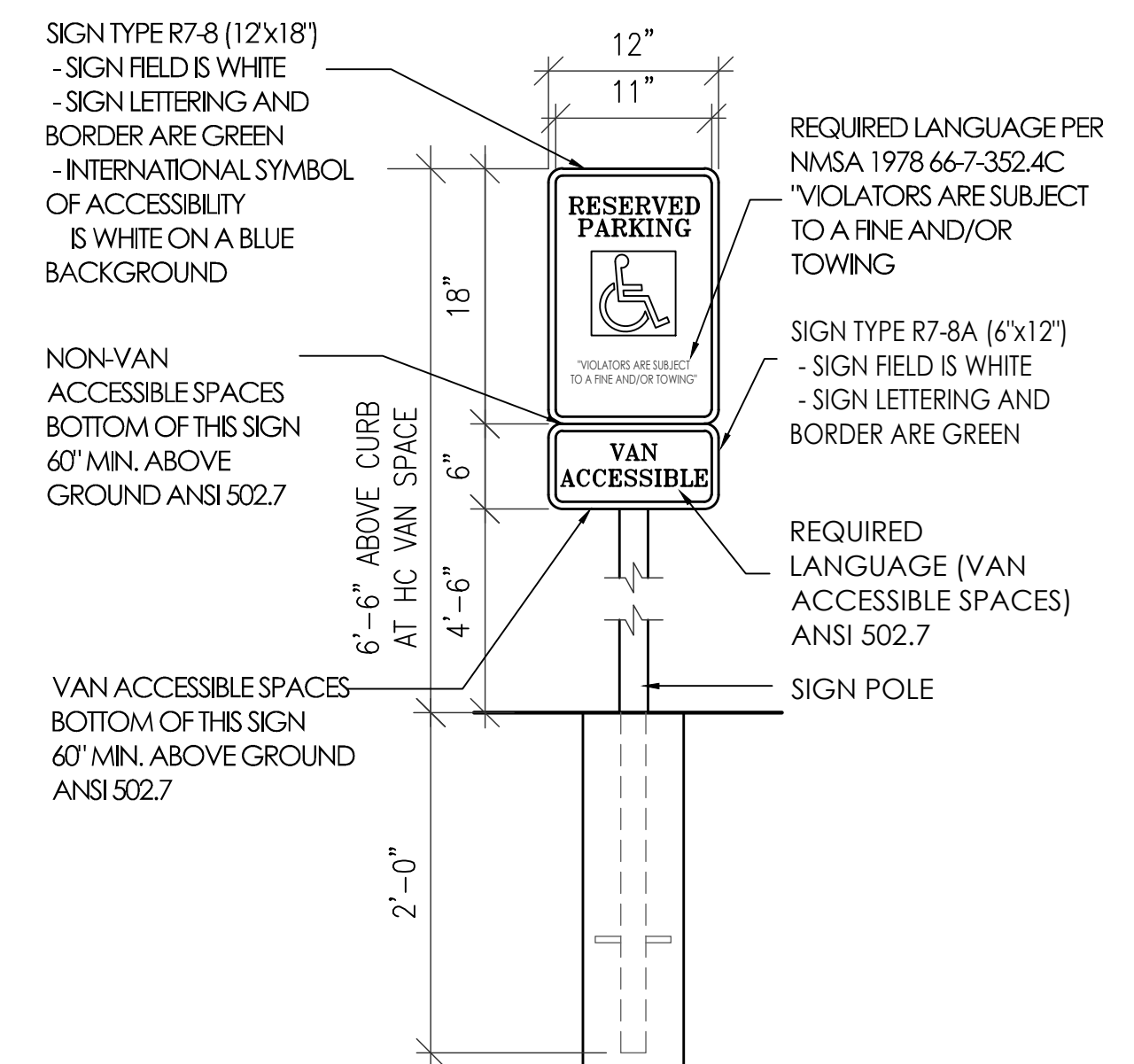
Diagram illustrating the cross-section of a curb and gutter. The curb height is 6" above the grade. The gutter width is 2" above the curb top. The radius of the curb is R=1-1/2" ON EXPOSED EDGE. The gutter depth is 6" below the curb top. The gutter width is 6" below the curb top. The gutter is labeled PAVING.

CURB @ EXISTING ASPHALT DETAIL

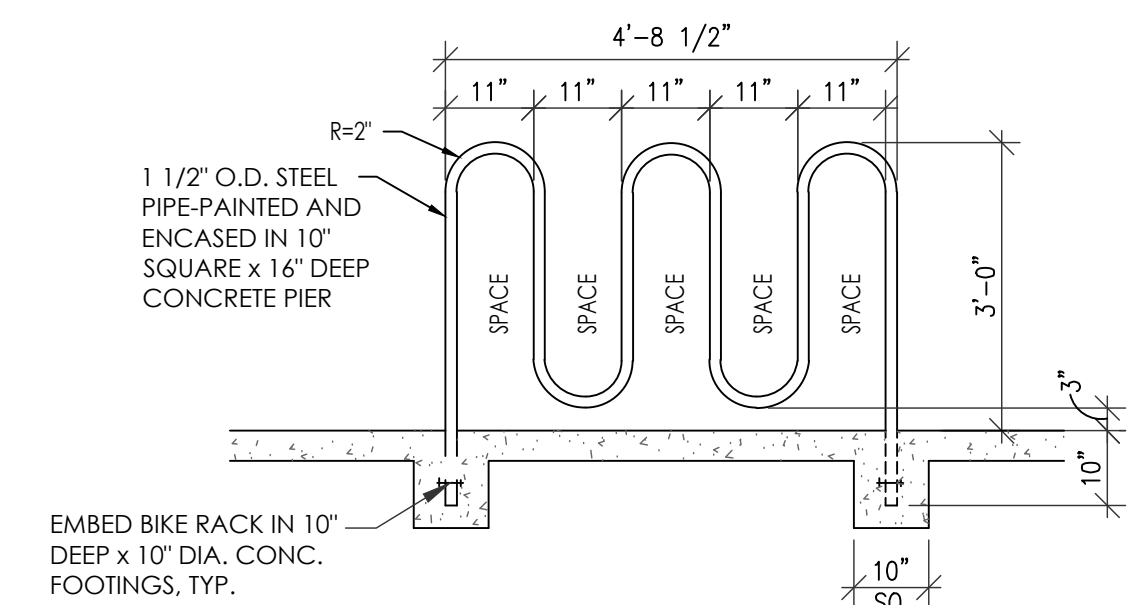
- A. THE RACK SHALL BE A MINIMUM 30 INCHES TALL AND 18 INCHES WIDE.
- B. THE RACK FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE I.D.O. FOR ADDITIONAL INFORMATION.
- D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
- E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
- F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- G. BICYCLE RACKS SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
- H. A 1'-0" CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED.
- I. BICYCLE PARKING SPACES SHALL BE AT LEAST 6'-0" LONG AND 2'-0" WIDE.



3 MOTORCYCLE SIGN DETAIL
N.T.S.



2 H.C. PARKING SIGN DETAIL
N.T.S.



1 BIKE RACK DETAIL
N.T.S.



MILLENNIUM FLATS - HOTEL TO APT. CONVERSION
1020 CENTRAL AVE SW

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SITE PLAN DETAILS

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RAWN BY: X.N.W.
HECKED BY: P.M.W.
ATE: 06-02-2021

SHEET NUMBER:

AS- 2
CL-2