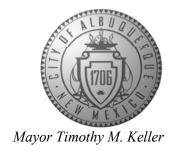
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



February 7, 2023

Treveston Elliott Treveston Elliott Architect 811 12th St NW Albuquerque, NM 87102

RE: 623 14th St. SW

Grading and Drainage Plan (Tierra West) Engineer's Stamp Date: 1/15/2014 (K13D050A)

Pad Certification Date: 02/2022 Hydrology File: K13D083

Dear Mr. Elliott:

PO Box 1293

Based upon the information provided in your submittal received 01/31/2023 and previously approved Grading & Drainage Plan by Tierra West, this plan is approved for Building Permit and Building Pad Certification for **623 14th St. SW**. Please attach a copy of the Tierra West Grading & Drainage Plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. The site needs to ensure that it follows the Tierra West approved Grading & Drainage Plan.

www.cabq.gov

2. A licensed New Mexico civil engineer will need to submit to Hydrology an Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



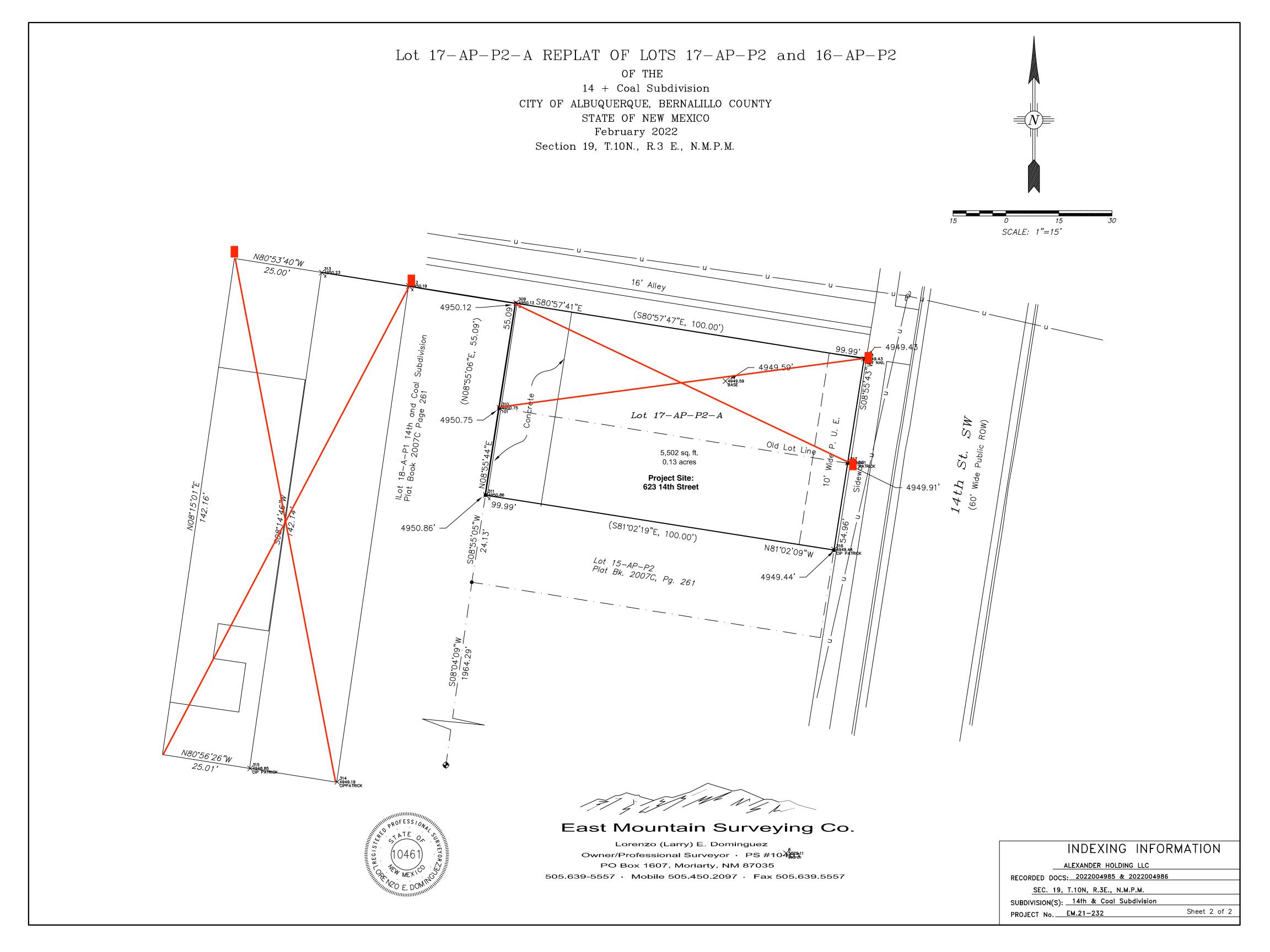
City of Albuquerque

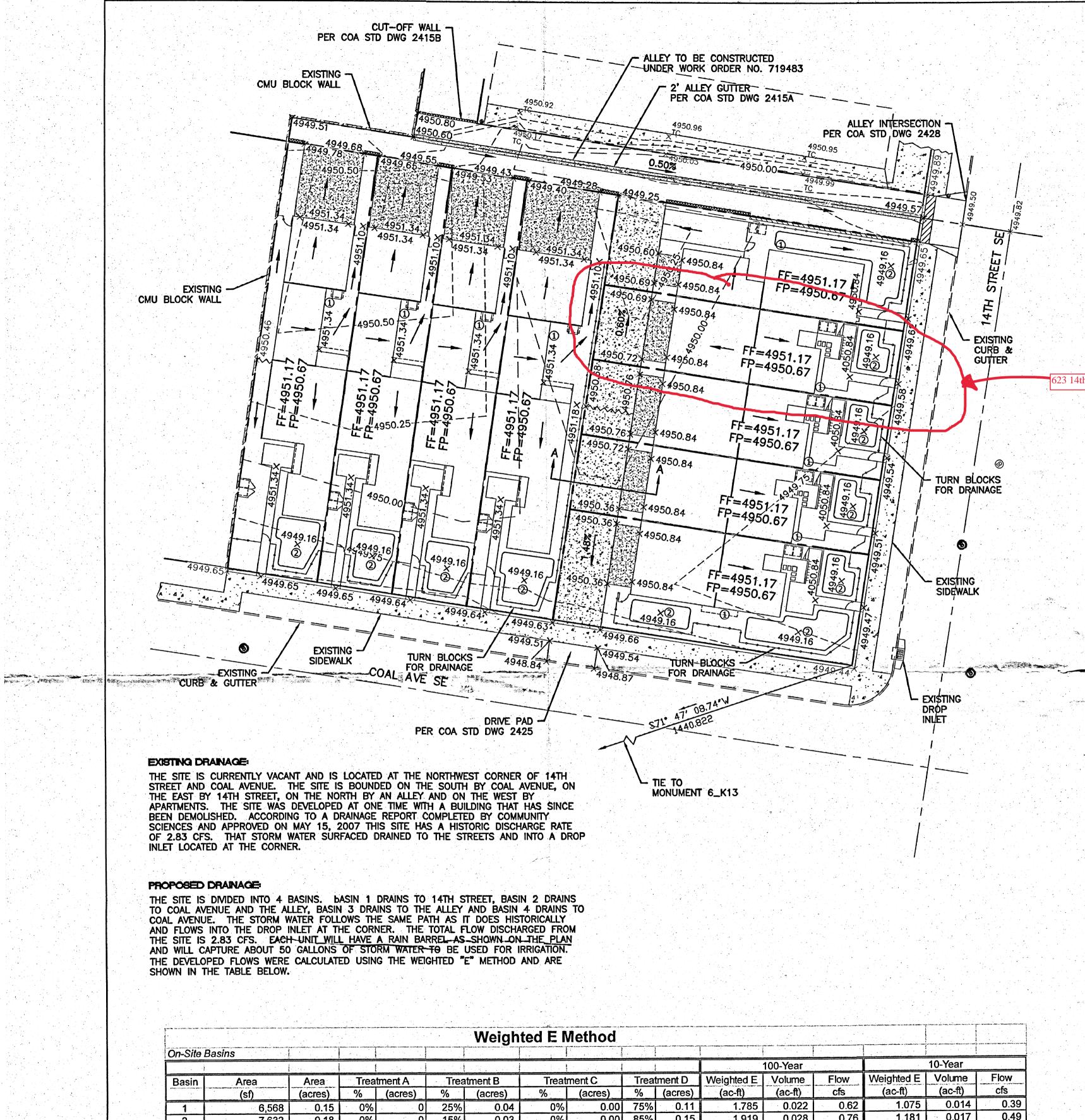
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: 623 14th Street Townhouse Building	BP-2022- Permit #48552 Hydrology File #							
DRB#								
Legal Description:	City Address OR Parcel 623 14th Street SW							
Applicant/Agent:Treveston Elliott Architect	Contact: Treveston Elliott							
Address: 811 12th St NW, Alb. NM 87102	Phone: 505.259.4617							
Email: treveston@tearchitect.com								
								
Applicant/Owner: Tim Borrow	Contact:Treveston Elliott							
Address: 623 14th St. SW Alb. NM	Phone:505.259.4617							
Email: <u>treveston@tearchitect.com</u>								
TYPE OF DEVELOPMENT:PLAT (#of lots)RERE-SUBMITTAL:YES _X NO	SIDENCEDRB SITE ADMIN SITE:							
DEPARTMENT: TRANSPORTATION _ x Check all that apply:	HYDROLOGY/DRAINAGE							
TYPE OF SUBMITTAL: TYPE	OF APPROVAL/ACCEPTANCE SOUGHT:							
ENGINEER/ARCHITECT CERTIFICATION	X BUILDING PERMIT APPROVAL							
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY							
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DRB APPROVAL							
GRADING PLAN	PRELIMINARY PLAT APPROVAL							
DRAINAGE REPORT	SITE PLAN FOR SUB'D APPROVAL							
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT APPROVAL							
FLOOD PLAN DEVELOPMENT PERMIT APP.	FINAL PLAT APPROVAL							
ELEVATION CERTIFICATE	SIA/RELEASE OF FINANCIAL GUARANTEE							
CLOMR/LOMR	FOUNDATION PERMIT APPROVAL							
TRAFFIC CIRCULATION LAYOUT (TCL)	GRADING PERMIT APPROVAL							
ADMINISTRATIVE	SO-19 APPROVAL							
TRAFFIC CIRCULATION LAYOUT FOR DRB	PAVING PERMIT APPROVAL							
APPROVAL	GRADING PAD CERTIFICATION							
TRAFFIC IMPACT STUDY (TIS)	WORK ORDER APPROVAL							
STREET LIGHT LAYOUT	CLOMR/LOMR							
OTHER (SPECIFY)	FLOOD PLAN DEVELOPMENT PERMIT							
PRE-DESIGN MEETING?	OTHER (SPECIFY)							
DATE SUBMITTED: Jan. 30th, 2023	_							

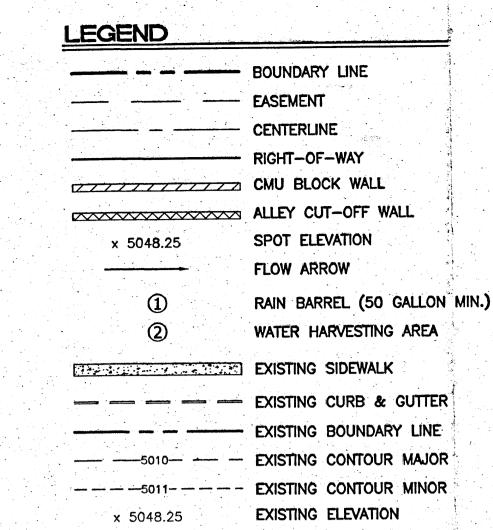


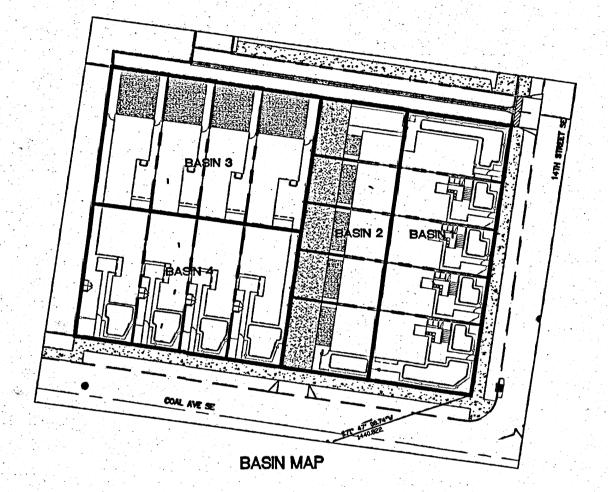


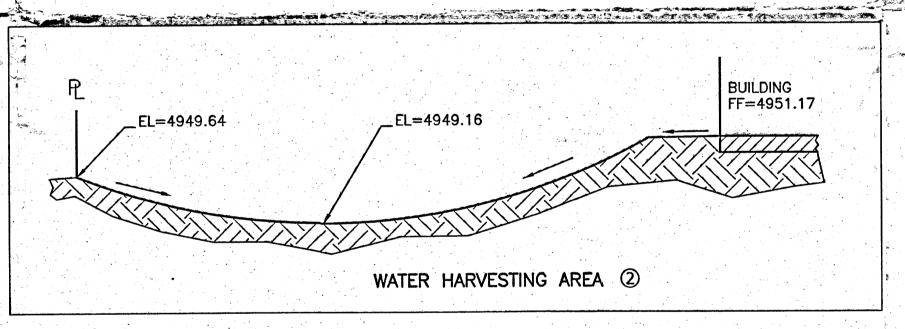
						Weigh	ted E	Method								
On-Site Ba	asins					***************************************									•	ja v lužbali s
				6-1-2						100-Year		10-Year				
Basin	Area	Area	Trea	tment A	Trea	itment B	Treat	ment C	Treat	tment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
rening of the second of the property of the second	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%_	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)	(ac-ft)	cfs
1	6,568	0.15	0%	. 10	25%	0.04	0%	0.00	75%	0.11	1.785	0.022	0.62	1.075	0.014	0.3
2	7,632	0.18	0%	0	15%	0.03	0%	0.00	85%	0.15	1.919	0.028	0.76	1.181	0.017	0.4
3	7,956	0.18	0%	0	30%	0.05	0%	0.00	70%	0.13	1.718	0.026	0.73	1.022	0.016	0.4
4	7,735	0.18	0%	0	25%	0.04	0%	0.00	75%	0.13	1.785	0.026	0.73	1.075	0.016	0.4
						A Mary Land			2012 M				2.83	and a result of the second Association (where the parties of the second		
Equations	S:															
	a partir and a superior and a superi				AND DESCRIPTION OF THE PARTY OF	Excess Precipitation, E (inches)				Peak	Discharge (cf	s/acre)				والمعاولة والمداعة المعاولة المعادمين ومعالمين
Veighted	E = Ea*Aa + Eb*/	h + Ec*Ac	+ Ed*Ad	/ (Total Area	1)	Zone 2	100-Year	10 - Year	representative and representative and	Zone 2	100-Year	10 - Year				
					-	Ea	0.53	0.13		Qa	1.56	0.38				agramatical are superior that of our digitals in the
Volume = Weighted D * Total Area						E _b	0.78	0.28	.,,	Q_b	2.28	0.95				
		and the second s				E _c	1.13	0.52		Q_c	3.14	1.71				
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad						Ed	2.12	1.34	Agental attention of the process	Q_d	4.70	3.14				

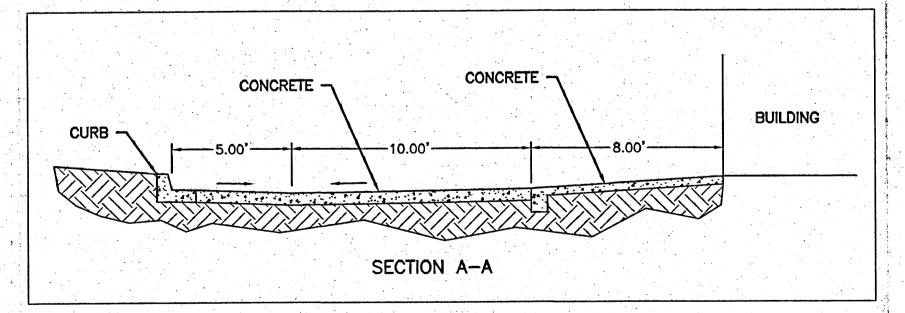
A.G.R.S. MONUMENT "6_K13"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1485023.666
E=1515142.466
PUBLISHED FL=4959.62 (NAVD 1988)

PUBLISHED EL=4959.62 (NAVD 1988)
GROUND TO GRID FACTOR=0.999684989
DELTA ALPHA ANGLE=0'14'26.38"



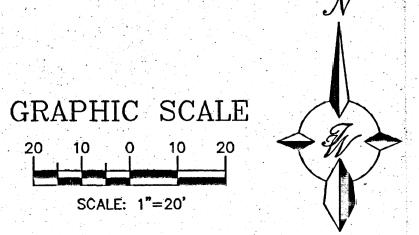


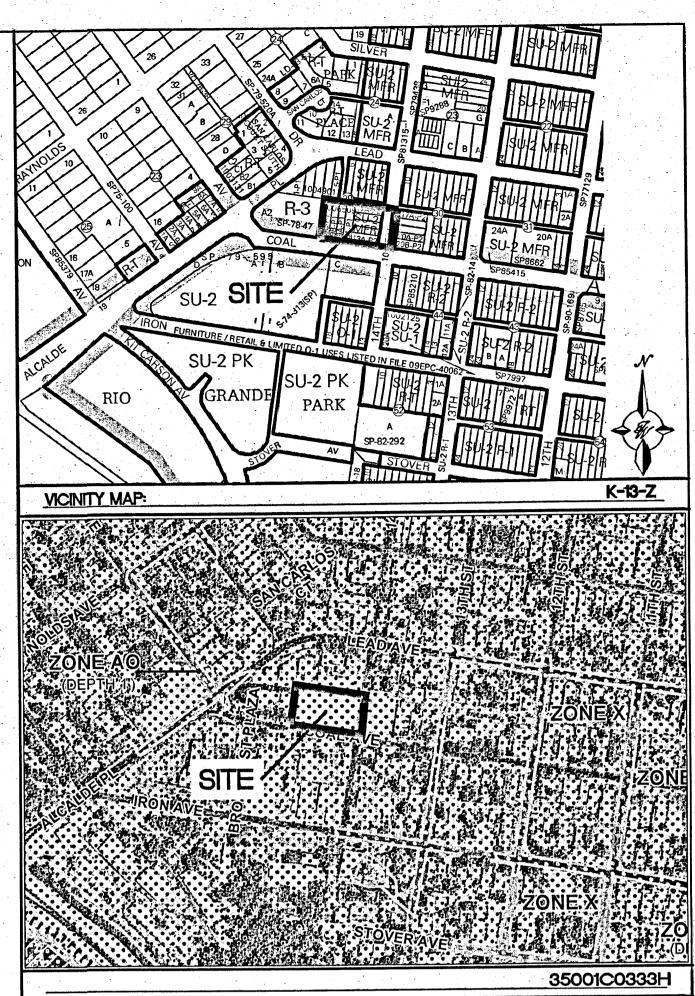




CAUTION:

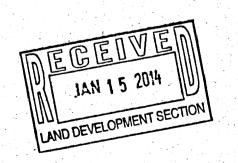
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS—BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.





NOTICE TO CONTRACTORS

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ENGINEER'S SEAL	THE 14TH WEST	DRAWN BY BJF		
TRESIONAL ENGINEER	GRADING AND	<i>DATE</i> 01/15/14		
	DRAINAGE PLAN	2013044_GRE		
	TIEDDA WEST II &	SHEET #		
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109	C 1		
RONALD R. BOHANNAN P.E. #7868	(505) 858-3100 www.tierrawestllc.com	JOВ # 2013044		