

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 7, 2023

Treveston Elliott
Treveston Elliott Architect
811 12th St NW
Albuquerque, NM 87102

RE: 623 14th St. SW
Grading and Drainage Plan (Tierra West)
Engineer's Stamp Date: 1/15/2014 (K13D050A)
Pad Certification Date: 02/2022
Hydrology File: K13D083

Dear Mr. Elliott:

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 01/31/2023 and previously approved Grading & Drainage Plan by Tierra West, this plan is approved for Building Permit and Building Pad Certification for **623 14th St. SW**. Please attach a copy of the Tierra West Grading & Drainage Plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

www.cabq.gov

1. The site needs to ensure that it follows the Tierra West approved Grading & Drainage Plan.
2. A licensed New Mexico civil engineer will need to submit to Hydrology an Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: 623 14th Street Townhouse **Building Permit #** BP-2022-48552 **Hydrology File #** _____
DRB# _____ **EPC#** _____
Legal Description: _____ **City Address OR Parcel** 623 14th Street SW

Applicant/Agent: Treveston Elliott Architect **Contact:** Treveston Elliott
Address: 811 12th St NW, Alb. NM 87102 **Phone:** 505.259.4617
Email: treveston@tearchitect.com

Applicant/Owner: Tim Borrow **Contact:** Treveston Elliott
Address: 623 14th St. SW Alb. NM **Phone:** 505.259.4617
Email: treveston@tearchitect.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: _____
RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: TRANSPORTATION ☒ HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G&D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ADMINISTRATIVE
☐ TRAFFIC CIRCULATION LAYOUT FOR DRB
APPROVAL
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

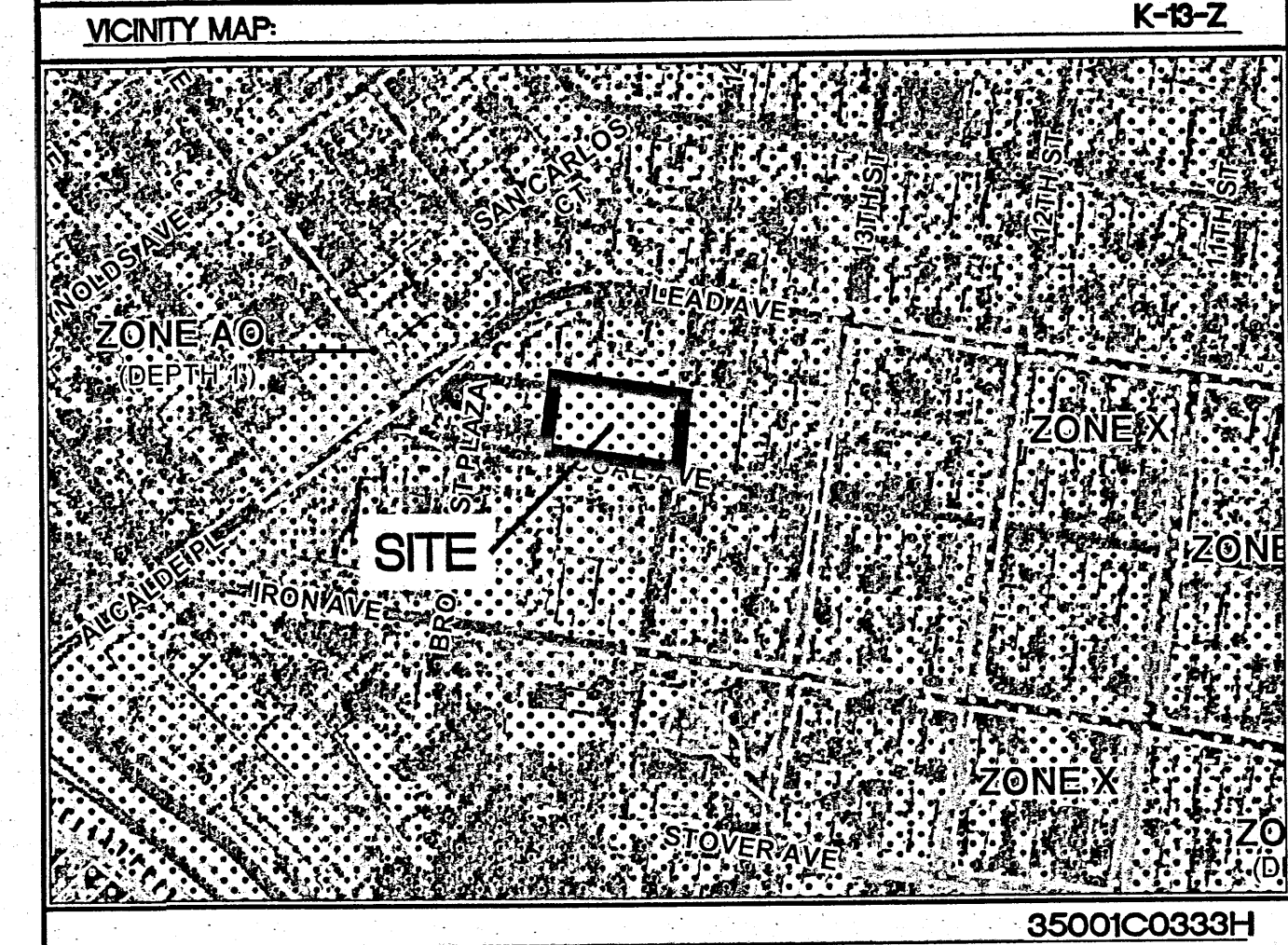
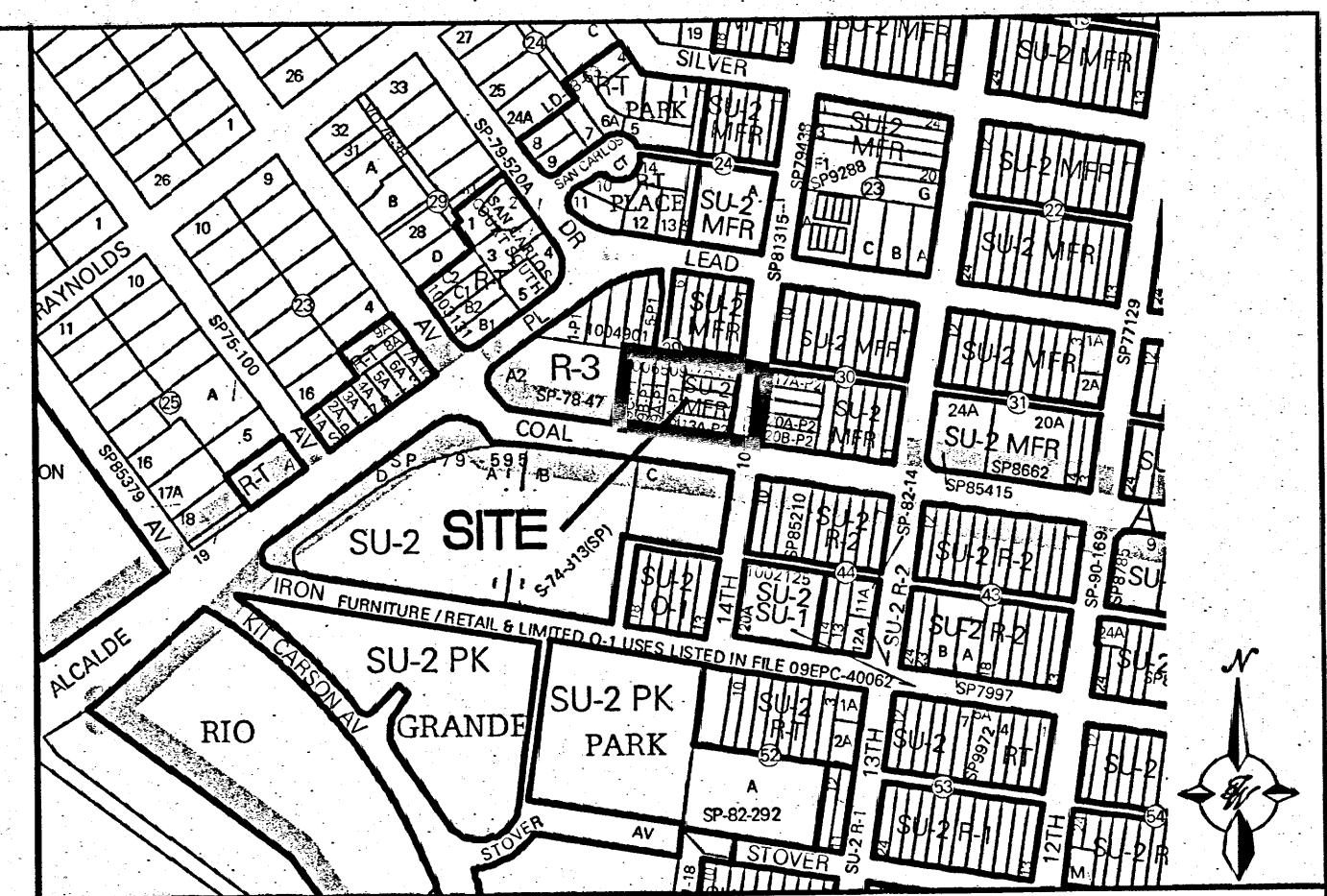
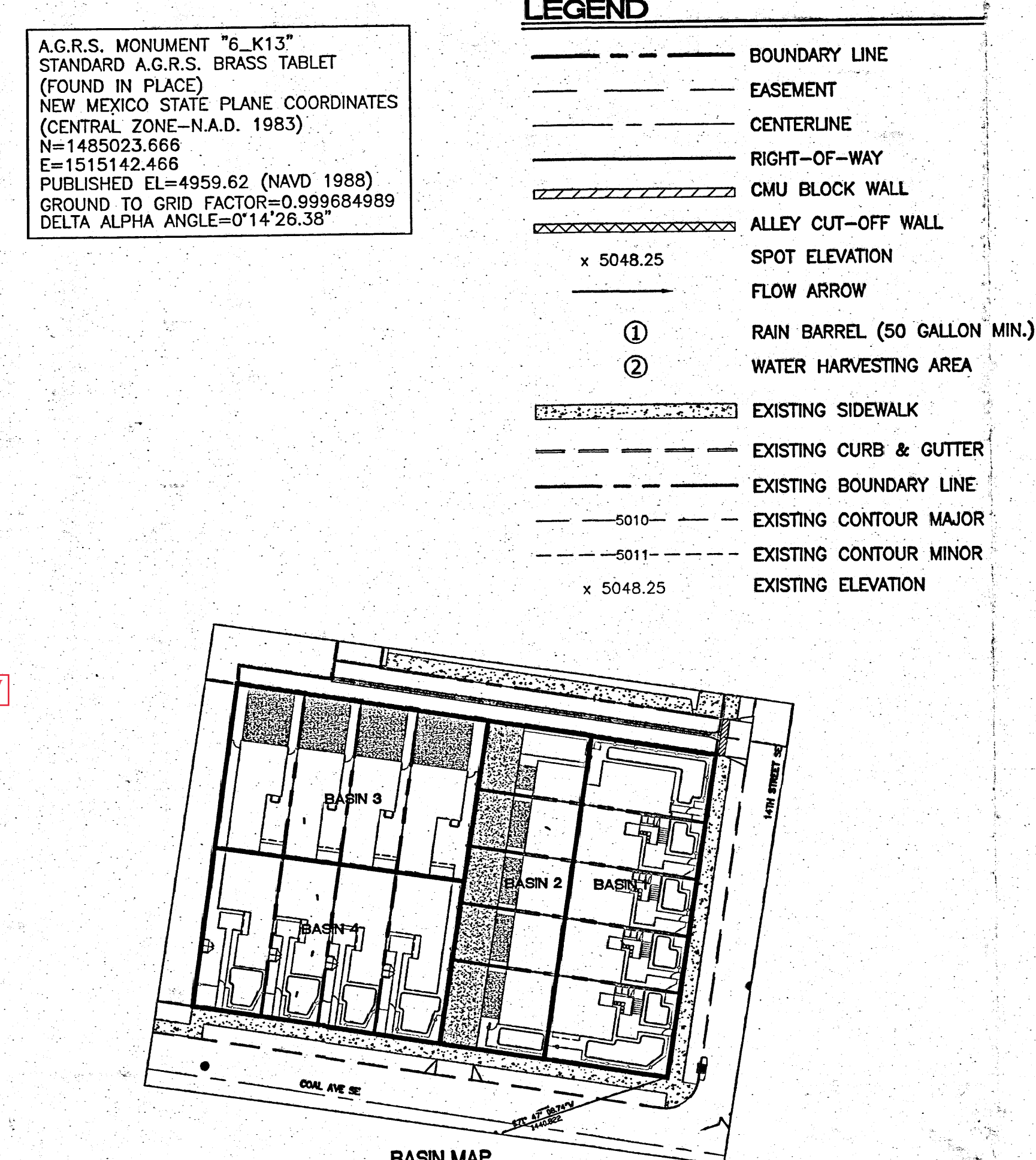
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ CONCEPTUAL TCL DRB APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOOD PLAN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

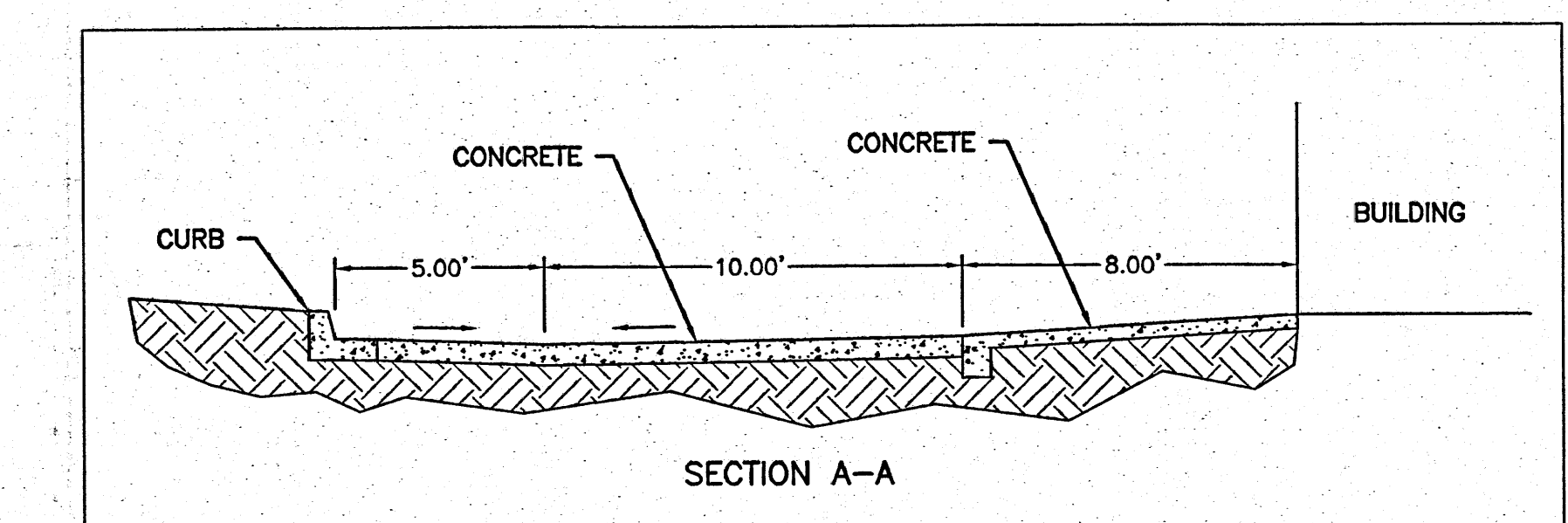
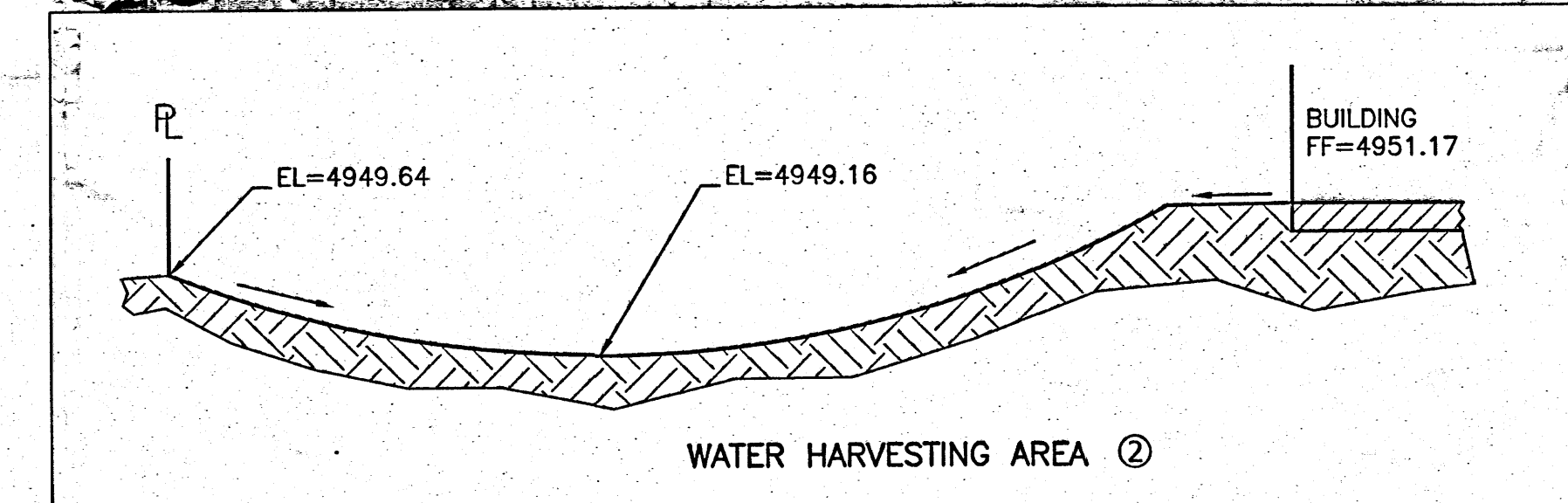
DATE SUBMITTED: Jan. 30th, 2023





Sheet 2 of 2



1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



RECEIVED
JAN 15 2014
LAND DEVELOPMENT SECTION

<p>ENGINEER'S SEAL</p>  <p>RONALD R. BOHANNAN NEW MEXICO 8688 PROFESSIONAL ENGINEER</p>	<p>THE 14TH WEST 14TH AND COAL</p>	<p>DRAWN BY BJF</p>
	<p>GRADING AND DRAINAGE PLAN</p>	<p>DATE 01/15/14</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>	 <p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # C1</p> <p>JOB # 2013044</p>

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM
RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION
PROVIDED BY OTHERS. IT SHALL BE THE SOLE
RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR TO AND
INCLUDING ANY EXCAVATION, TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES AND OTHER
IMPEDEMENTS PRIOR TO STARTING THE WORK. ANY
CHANGES FROM THIS PLAN SHALL BE COORDINATED
WITH AND APPROVED BY THE ENGINEER.

