

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

November 4, 2022

Treveston Elliott, RA  
Treveston Elliott Architect  
811 12<sup>th</sup> St. NW  
Albuquerque, NM 87102

**Re: Townhouses**  
**619 14<sup>th</sup> St. SW**  
**Traffic Circulation Layout**  
Engineer's Stamp 11-02-2022 (**K13-D083**)

Dear Mr. Elliott,

The TCL submittal received 11-02-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# 619 14th Street SW Townhouses

## 1 PROJECT TEAM

OWNER: Tim Borrow  
Albuquerque, New Mexico

ARCHITECT: Treveston Elliott Architect  
811 12th Street NW  
Albuquerque, New Mexico 87102  
(505) 259-4617

STRUCTURAL  
ENGINEER: Randal Structural Engineering  
10155 W White Feather Lane  
Peoria AZ 85383

## 2 PROJECT SUMMARY

New three Story Townhouse Building with three townhouse units.

## 3 PROJECT INFORMATION

### PROJECT ADDRESS

619 14th Ave. SW  
Albuquerque, New Mexico 87104

### APPLICABLE CODES

2015 International Residential Code  
2018 International Energy Conservation Code

## 4 BUILDING DATA

### OCCUPANCY GROUP

R-3  
CONSTRUCTION TYPE = Vb

### INSULATION

EXTERIOR WALLS = R-20  
EXTERIOR CEILING = R-49  
EXTERIOR FLOOR = R-19  
SLAB R-VALUE DEPTH = R-10 @ 2'

FENESTRATION U FACTOR = 0.32  
SCGC = 0.40

WIND SPEED = 115 MPH  
SEISMIC ZONE = C  
SEPARATION = 1 HOUR @ LOT LINE

### ZONING

R-ML

Setbacks- 15 ft. Front  
0 Interior  
15 ft. rear  
Height- 38 ft.

Open Space 285 sq.ft. / 2 Bedroom = 285 sq.ft. required  
Total required = 855 sq.ft.  
Total provided = 1,035 sq.ft.  
(965 Ground Level 70 Deck Level)

Site Area	2,989 sq.ft.
Ground Level (Unit #1)	537 sq.ft.
Ground Level (Unit #2/#3)	409 sq.ft.
Second Level (ea Unit)	410 sq.ft.
Third Level (ea Unit)	462 sq.ft.

Total Residence Heated (Unit #1)	1,409 sq.ft.
Total Residence Heated (Unit #2/#3)	1,281 sq.ft.

Total Residence Heated 3,971 sq.ft.

### PARKING REQUIREMENTS

No Traffic Impact Study is required. per 14-16-5-5

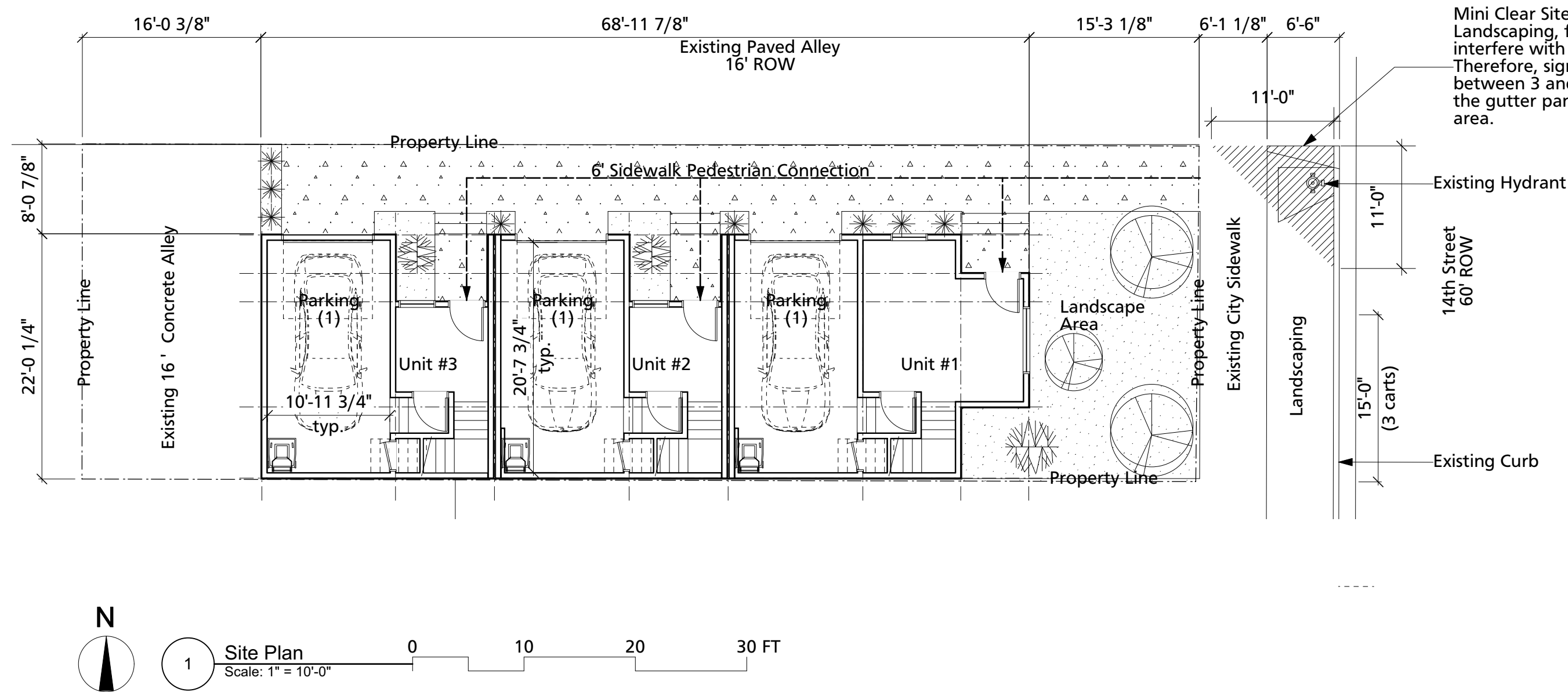
Parking: 1 spaces / DU with 2 BR  
ADA NA Townhouse  
Motorcycle NA Residential  
Bicycle NA Townhouse

Total Spaces required	= 3
Total Spaces provided	= 3

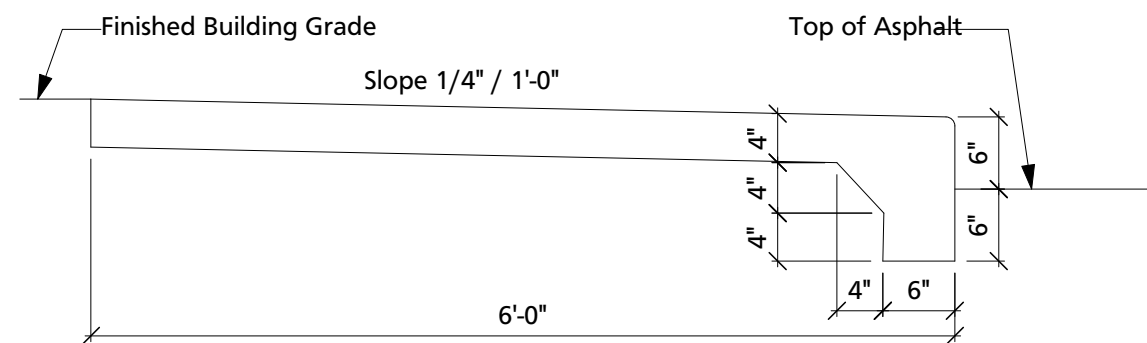
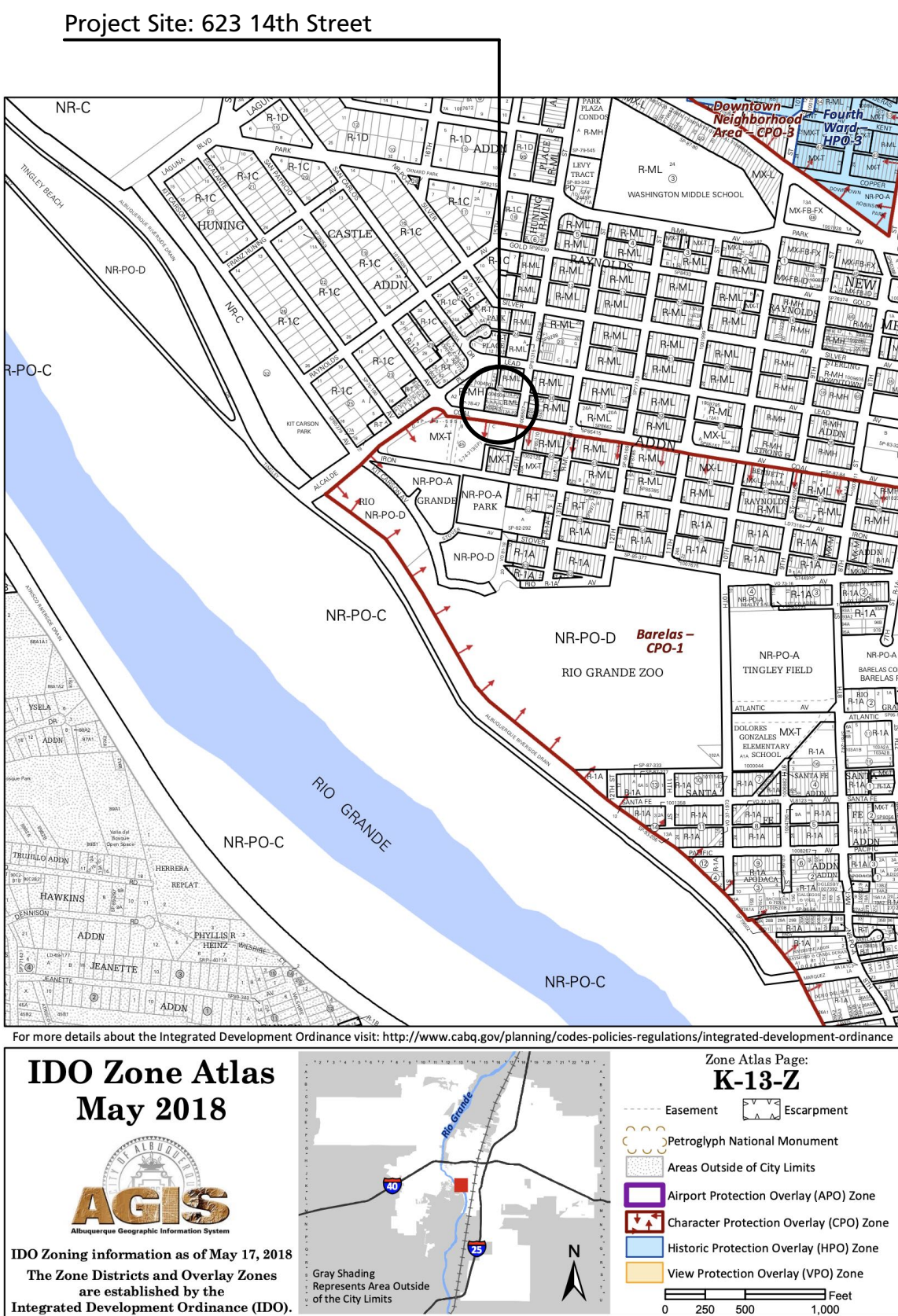
### MINIMUM LANDSCAPE

Site Area 2,989 sq.ft.  
Building Footprint 1,355 sq.ft.

Landscape Area Required per 5-C(2)(B) 15% of 1,634 sq.ft. = 245 sq.ft.  
Landscape Area Provided: = 349 sq.ft.



## 7 VICINITY MAP



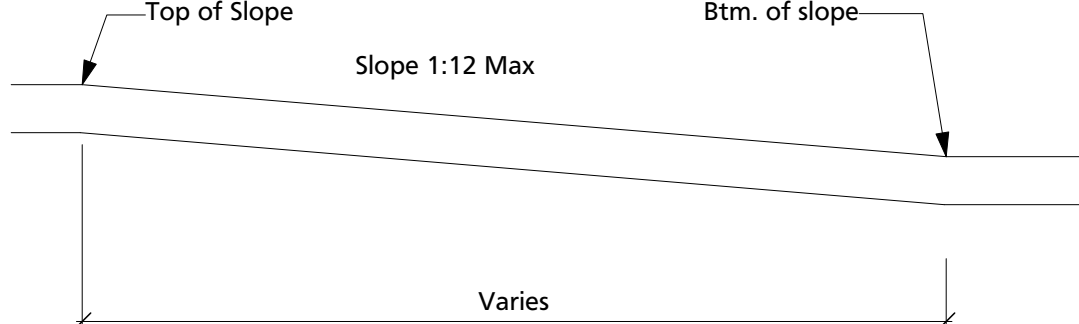
### 2a Standard Sidewalk Detail

Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430  
cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.

Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36", unless otherwise shown on plans.

1/2" Expansion joints shall be installed where walk about rigid structures.



### 2b Standard Ramp Detail

Scale: 3/4" = 1'-0"

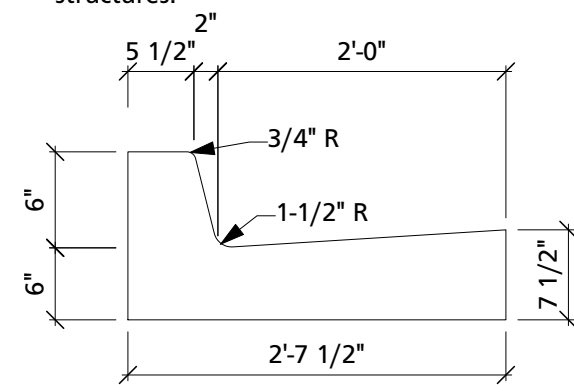
Width per Plan

Per CoA std. dwg 2430

maximum cross slope of 2%

Concrete walks shall have contraction joints at 6' o.c. Intervals.

1/2" Expansion joints shall be installed where walk about rigid structures.



### 3 Standard Curb / Gutter Detail

Scale: 3/4" = 1'-0"

Per CoA std. dwg 2415A  
Provide 1/2" Expansion joints at 36" o.c. at immovable objects and at the beginning and end of curves

Provide contraction joints at 6' o.c.

All exposed concrete corners to have 3/4" radius.

### LEGEND

PROPERTY LINE  
NEW CONCRETE  
LANDSCAPE AREA

### NOTE:

Townhouse project  
1. No ADA parking required.  
2. No dumpster - each unit has roll out cart.  
3. No bicycle racks required.  
4. No motorcycle parking required.

### Plant Material

Chitalpa mature 15' spread 20' hgt.	Fountain Grass mature 2' spread 3' hgt.
Desert Willow mature 15' spread 20' hgt.	Apache Plume mature 4' spread 3' hgt.
	Russian Sage mature 4' spread 4' hgt.

Irrigation System  
Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

### GENERAL NOTES

A. DO NOT SCALE DRAWINGS

B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.

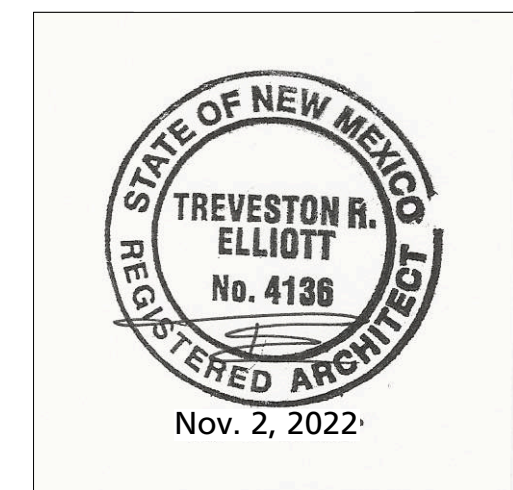
D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

E. \* DIMENSIONS TO FACE OF FINISH

TREVESTON ELLIOTT  
ARCHITECT

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619 14th Street SW  
ALBUQUERQUE, NEW MEXICO 87102



Date: Nov. 2, 2022

Sheet: Traffic Circulation Layout

TCL