

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 4, 2022

Treveston Elliott, RA
Treveston Elliott Architect
811 12th St. NW
Albuquerque, NM 87102

Re: Townhouses
619 14th St. SW
Traffic Circulation Layout K13D084
Engineer's Stamp 11-02-2022 (K13D083)

Dear Mr. Elliott,

The TCL submittal received 11-02-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

619 14th Street SW Townhouses

1 PROJECT TEAM

OWNER: Tim Borrow
Albuquerque, New Mexico -

ARCHITECT: Treveston Elliott Architect
811 12th Street NW
Albuquerque, New Mexico 87102
(505) 259-4617

STRUCTURAL
ENGINEER: Randal Structural Engineering
10155 W White Feather Lane
Peoria AZ 85383

2 PROJECT SUMMARY

New three Story Townhouse Building with three townhouse units.

3 PROJECT INFORMATION

PROJECT ADDRESS

619 14th Ave. SW
Albuquerque, New Mexico 87104

APPLICABLE CODES

2015 International Residential Code
2018 International Energy Conservation Code

4 BUILDING DATA

OCCUPANCY GROUP

R-3
CONSTRUCTION TYPE = Vb

INSULATION

EXTERIOR WALLS = R-20
EXTERIOR CEILING = R-49
EXTERIOR FLOOR = R-19
SLAB R-VALUE DEPTH = R-10 @ 2'

FENESTRATION U FACTOR =0.32
SCGC =0.40

WIND SPEED = 115 MPH
SEISMIC ZONE = C
SEPARATION = 1 HOUR @ LOT LINE

ZONING

R-ML

Setbacks- 15 ft. Front
0 Interior
15 ft. rear
Height- 38 ft.

Open Space 285 sq.ft. / 2 Bedroom = 285 sq.ft. required
Total required = 855 sq.ft.
Total provided = 1,035 sq.ft.
(965 Ground Level 70 Deck Level)

Site Area	2,989 sq.ft.
Ground Level (Unit #1)	537 sq.ft.
Ground Level (Unit #2/#3)	409 sq.ft.
Second Level (ea Unit)	410 sq.ft.
Third Level (ea Unit)	462 sq.ft.

Total Residence Heated (Unit #1)	1,409 sq.ft.
Total Residence Heated (Unit #2/#3)	1,281 sq.ft.

Total Residence Heated 3,971 sq.ft.

PARKING REQUIREMENTS

No Traffic Impact Study is required. per 14-16-5-5

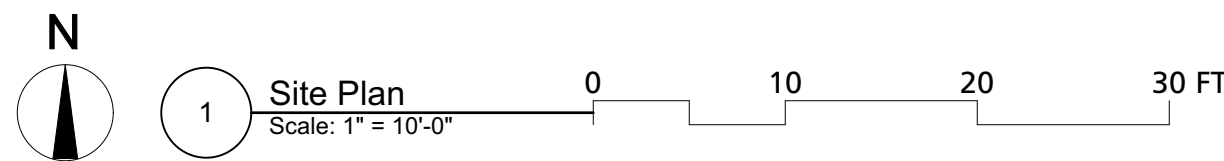
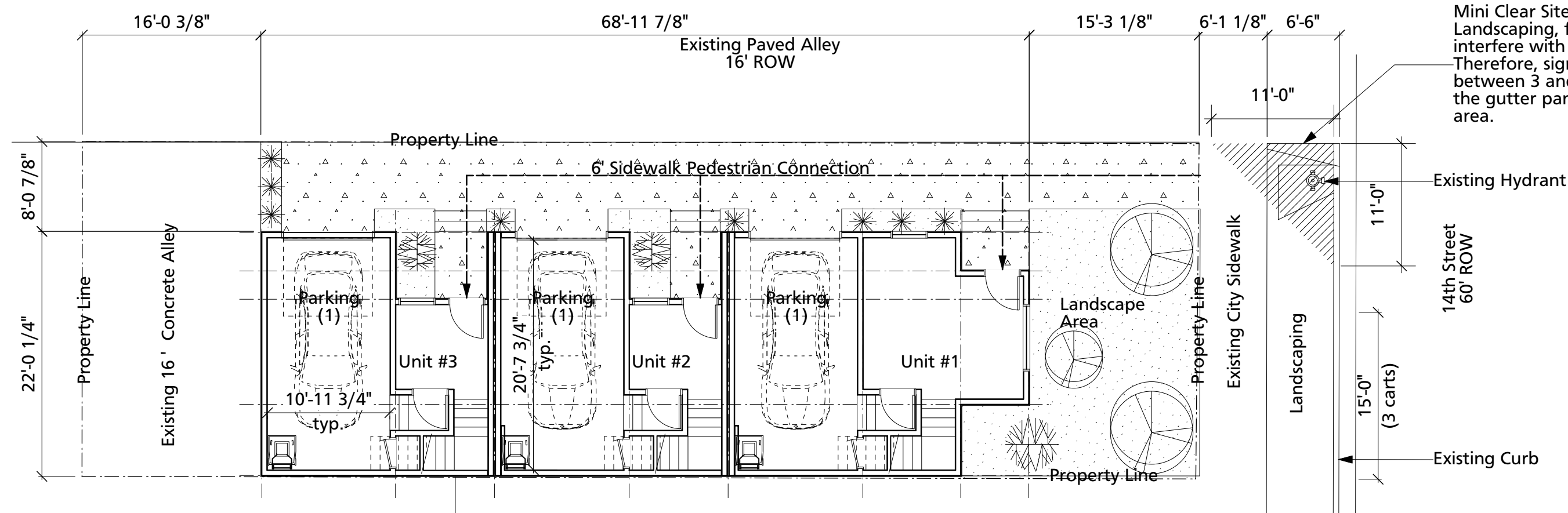
Parking: 1 spaces / DU with 2 BR
ADA NA Townhouse
Motorcycle NA Residential
Bicycle NA Townhouse

Total Spaces required	= 3
Total Spaces provided	= 3

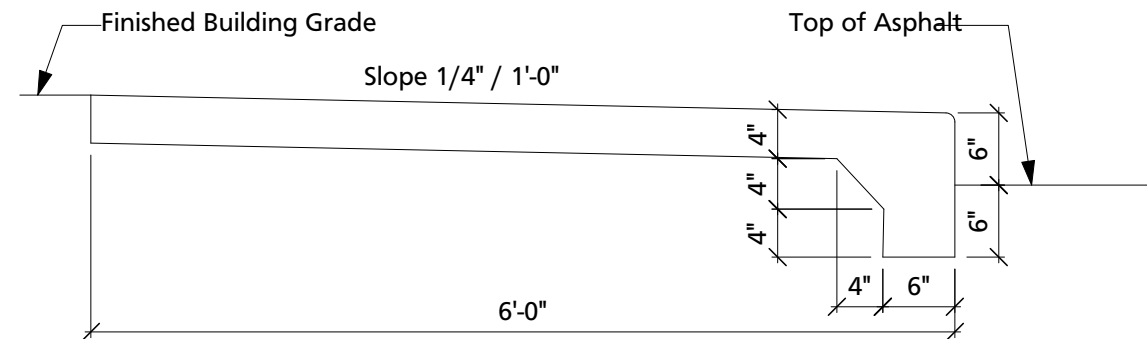
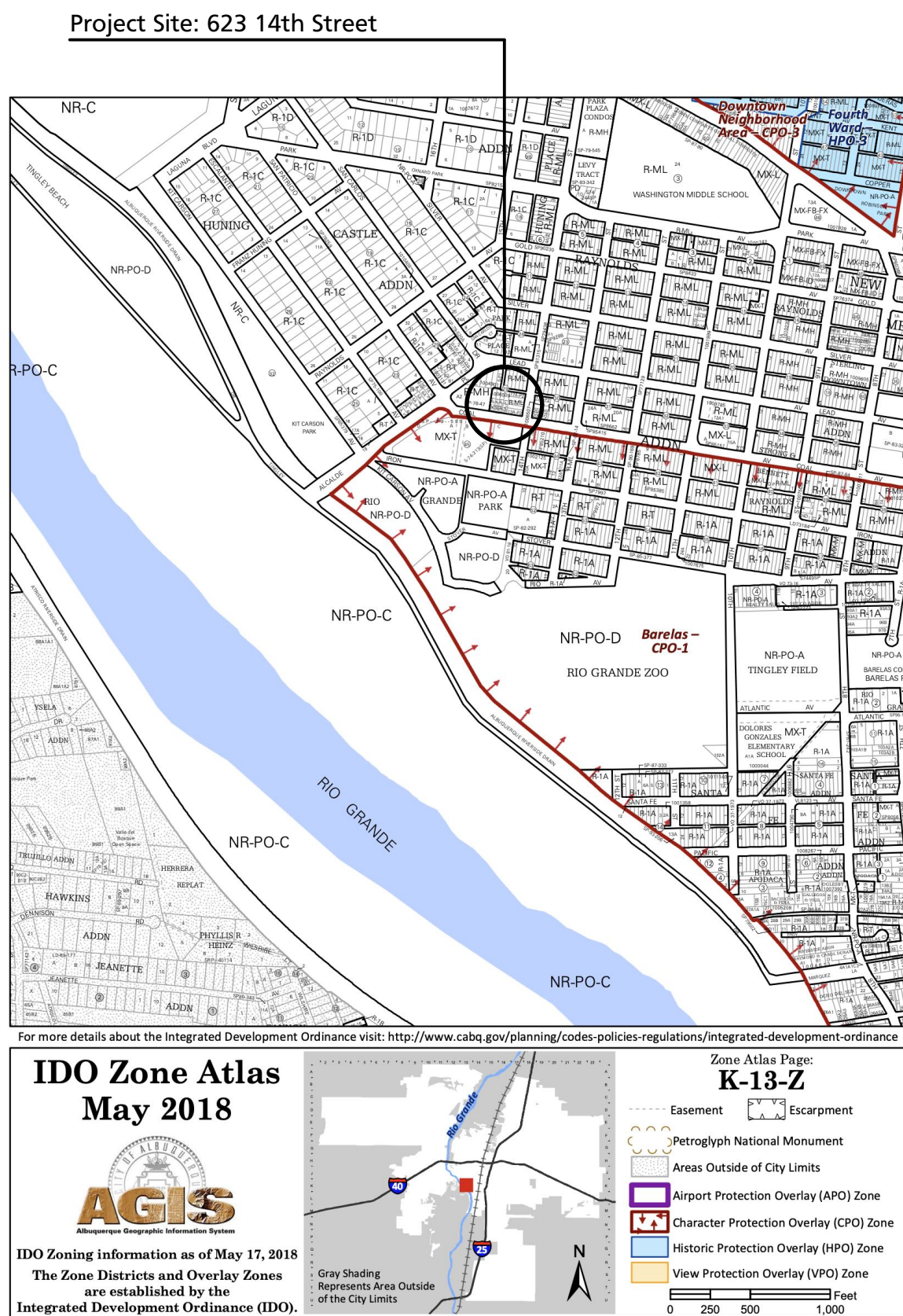
MINIMUM LANDSCAPE

per 14-16-5-6
Site Area 2,989 sq.ft.
Building Footprint 1,355 sq.ft.

Landscape Area Required per 5-c(C)(2)(B) 15% of 1,634 sq.ft. =245 sq.ft.
Landscape Area Provided: =349 sq.ft.



7 VICINITY MAP



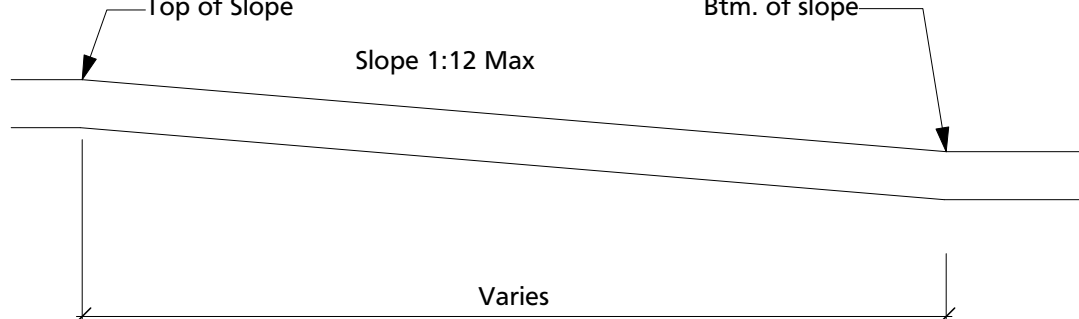
2a Standard Sidewalk Detail

Scale: 3/4" = 1'-0"

Per CoA std. dwg 2430
cross slope of 1/4" per foot shall be provided and shall slope towards the direction of the drainage area.

Concrete walks shall have contraction joints at 6' o.c. Intervals. 1/2" Expansion joints shall be installed every 36", unless otherwise shown on plans.

1/2" Expansion joints shall be installed where walk about rigid structures.



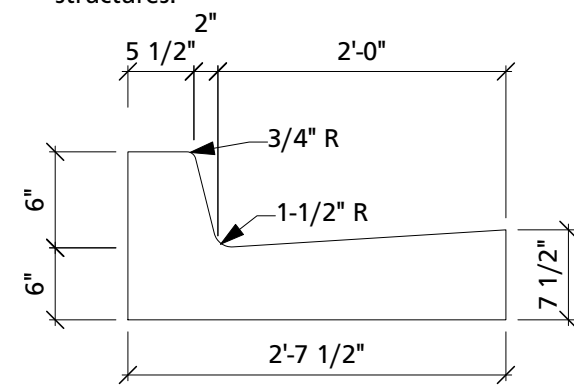
2b Standard Ramp Detail

Scale: 3/4" = 1'-0"

Width per Plan
Per CoA std. dwg 2430
maximum cross slope of 2%

Concrete walks shall have contraction joints at 6' o.c. Intervals.

1/2" Expansion joints shall be installed where walk about rigid structures.



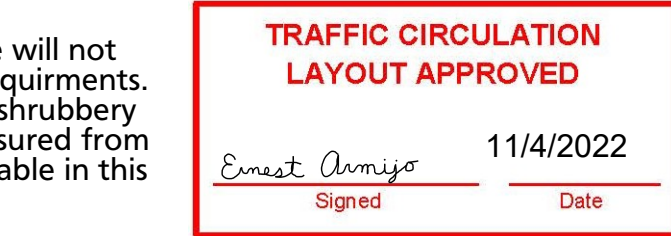
3 Standard Curb / Gutter Detail

Scale: 3/4" = 1'-0"

Per CoA std. dwg 2415A
Provide 1/2" Expansion joints at 36" o.c. at immovable objects and at the beginning and end of curves

Provide contraction joints at 6' o.c.

All exposed concrete corners to have 3/4" radius.



KEYED NOTES

1. CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2415A SEE DETAIL TCL SHEET
2. CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION. REFER TO CITY STANDARD DETAIL 2430 SEE DETAIL TCL SHEET
3. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST INCLUDE A WORK ORDER
5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CoA STD. DTL. 2415
6. ALL INTERNAL RAMPS TO ADA ACCESSIBLE MAX SLOPE 1:12 WITH MAX 2% CROSS SLOPE LANDING AREA MIN. 5'X5' SEE CoA DWG 2430

SOLID WASTE NOTES

1. SITE WILL NOT HAVE RECYCLING CARTS.

LEGEND

- PROPERTY LINE
- NEW CONCRETE
- LANDSCAPE AREA

NOTE:

- Townhouse project
1. No ADA parking required.
 2. No dumpster - each unit has roll out cart.
 3. No bicycle racks required.
 4. No motorcycle parking required.

Plant Material

- | | |
|--|---|
| Chitalpa mature 15' spread 20' hgt. | Fountain Grass mature 2' spread 3' hgt. |
| Desert Willow mature 15' spread 20' hgt. | Apache Plume mature 4' spread 3' hgt. |
| | Russian Sage mature 4' spread 4' hgt. |

Irrigation System
Irrigation system standards outlined in the Water Conservation
Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

GENERAL NOTES

A. DO NOT SCALE DRAWINGS

B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.

D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

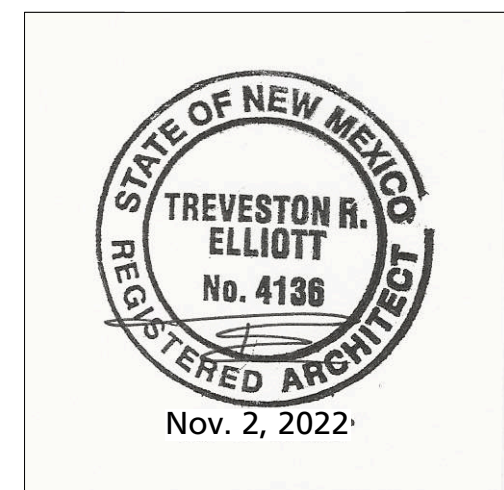
E. * DIMENSIONS TO FACE OF FINISH

TREVESTON ELLIOTT
ARCHITECT

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www.trevestonarchitect.com

619 14th Street SW

ALBUQUERQUE, NEW MEXICO 87102



Date: Nov. 2, 2022

Sheet: Traffic Circulation Layout

TCL