

623 14th Street SW Townhouses

1 PROJECT TEAM

OWNER: Tim Borrow
-
Albuquerque, New Mexico -

ARCHITECT: Treveston Elliott Architect
811 12th Street NW
Albuquerque, New Mexico 87102
(505) 259-4617

STRUCTURAL ENGINEER: Randal Structural Engineering
10155 W White Feather Lane
Peoria AZ 85383

2 PROJECT SUMMARY

New three Story Townhouse Building with three townhouse units.

3 PROJECT INFORMATION

PROJECT ADDRESS

619 14th Ave. SW
Albuquerque, New Mexico 87104

APPLICABLE CODES

2015 International Residential Code
2018 International Energy Conservation Code

4 BUILDING DATA

OCCUPANCY GROUP

R-3 CONSTRUCTION TYPE = Vb

INSULATION

EXTERIOR WALLS = R-20
EXTERIOR CEILING = R-49
EXTERIOR FLOOR = R-19
SLAB R-VALUE DEPTH = R-10 @ 2'

FENESTRATION U FACTOR =0.32
SCGC =0.40

WIND SPEED = 115 MPH
SEISMIC ZONE = C
SEPARATION = 1 HOUR @ LOT LINE

ZONING

R-ML

Setbacks- 15 ft. Front
0 Interior
15 ft. rear
Height- 38 ft.

Open Space 285 sq.ft. / 2 Bedroom = 285 sq.ft. required
Total required = 855 sq.ft.
Total provided = 1,035 sq.ft.
(965 Ground Level 70 Deck Level)

Site Area 2,989 sq.ft.
Ground Level (Unit #1) 537 sq.ft.
Ground Level (Unit #2/#3) 409 sq.ft.
Second Level (ea Unit) 410 sq.ft.
Third Level (ea Unit) 462 sq.ft.

Total Residence Heated (Unit #1) 1,409 sq.ft.
Total Residence Heated (Unit #2/#3) 1,281 sq.ft.

Total Residence Heated 3,971 sq.ft.

PARKING REQUIREMENTS

No Traffic Impact Study is required.

Parking: 1 spaces / DU with 2 BR
ADA NA Townhouse
Motorcycle NA Residential
Bicycle NA Townhouse

Total Spaces required = 3
Total Spaces provided = 3

MINIMUM LANDSCAPE

per 14-16-5-6
Site Area 2,989 sq.ft.
Building Footprint 1,355 sq.ft.

Landscape Area Required per 5-c(C)(2)(B) 15% of 1,634 sq.ft. =245 sq.ft.
Landscape Area Provided: =349 sq.ft.

Parking and drive aisle for fire apparatus access roads shall have an asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. Contractor to provide engineer data for approval.

Fire Flow Requirements
Construction Type Vb
Square Footage = 6,000 sq.ft. (1,409 / Unit) Fire Flow = 1,000 GPM - 1 Hr.
1 Hydrant required max 250' away from street frontage.

1 Hydrant Existing approx. 27' from building

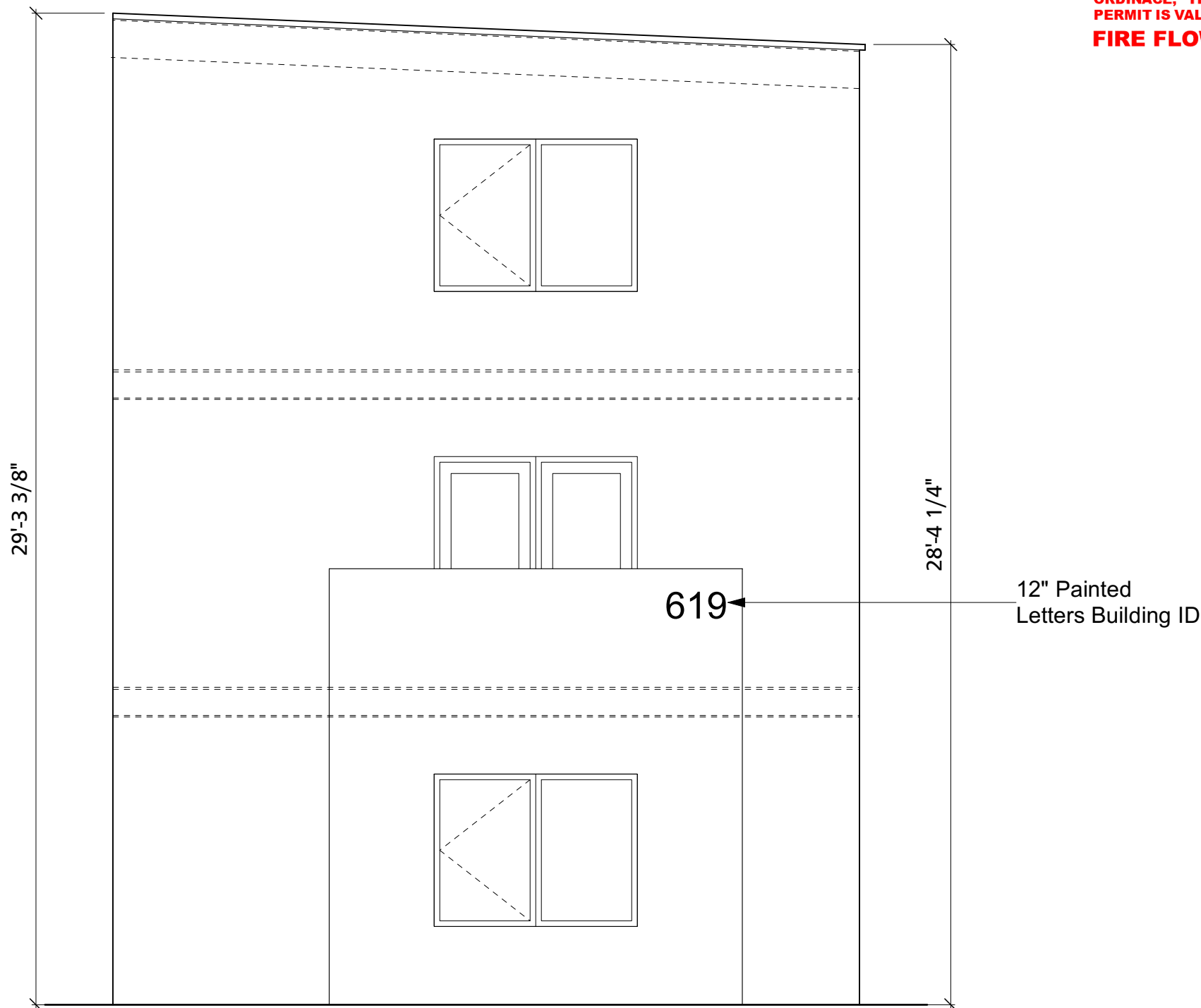
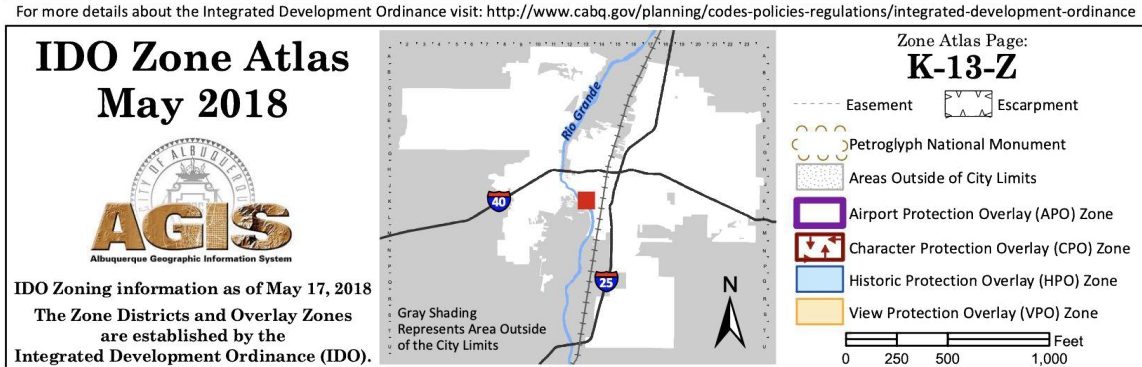
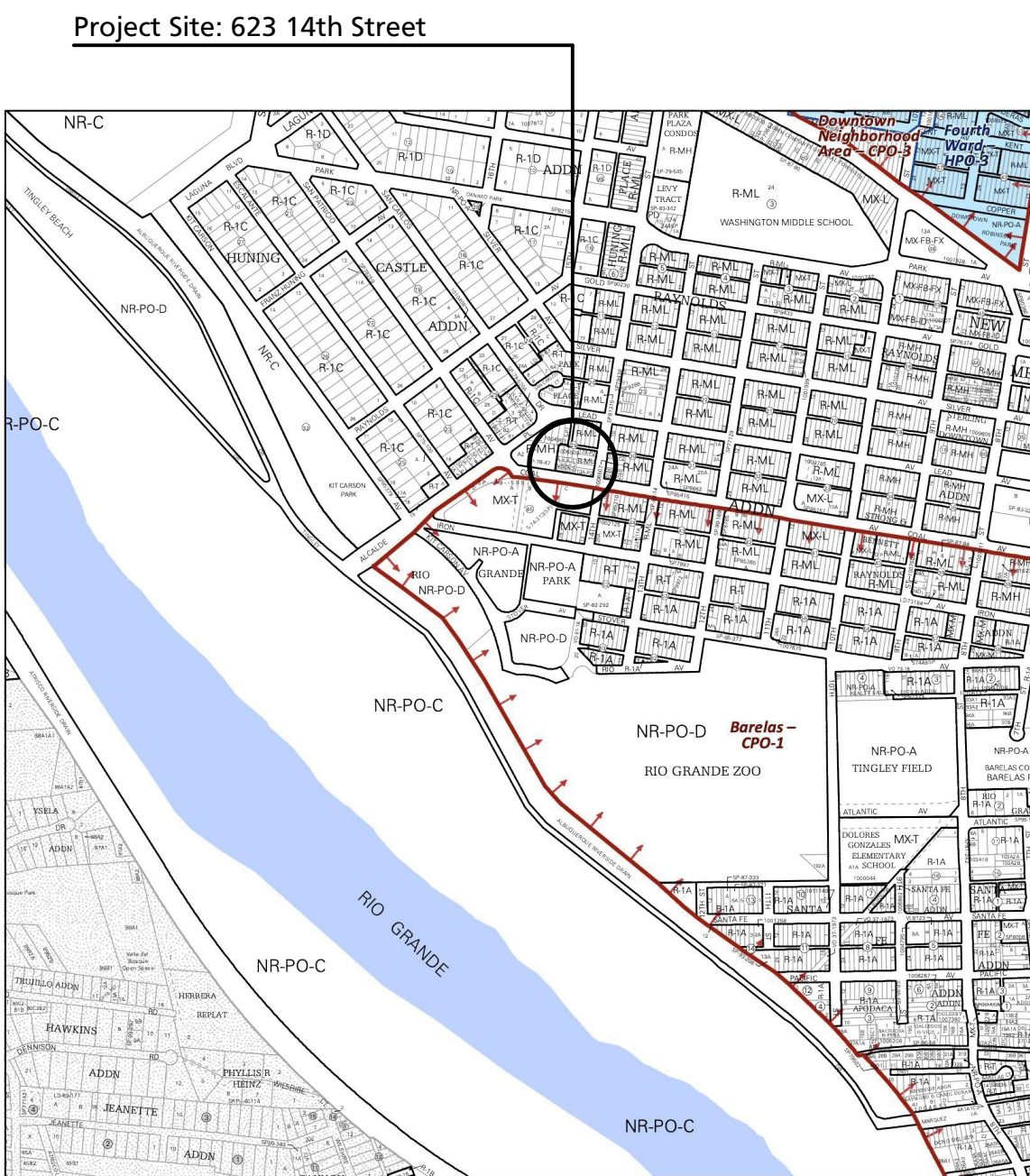
Three story

No Key Box

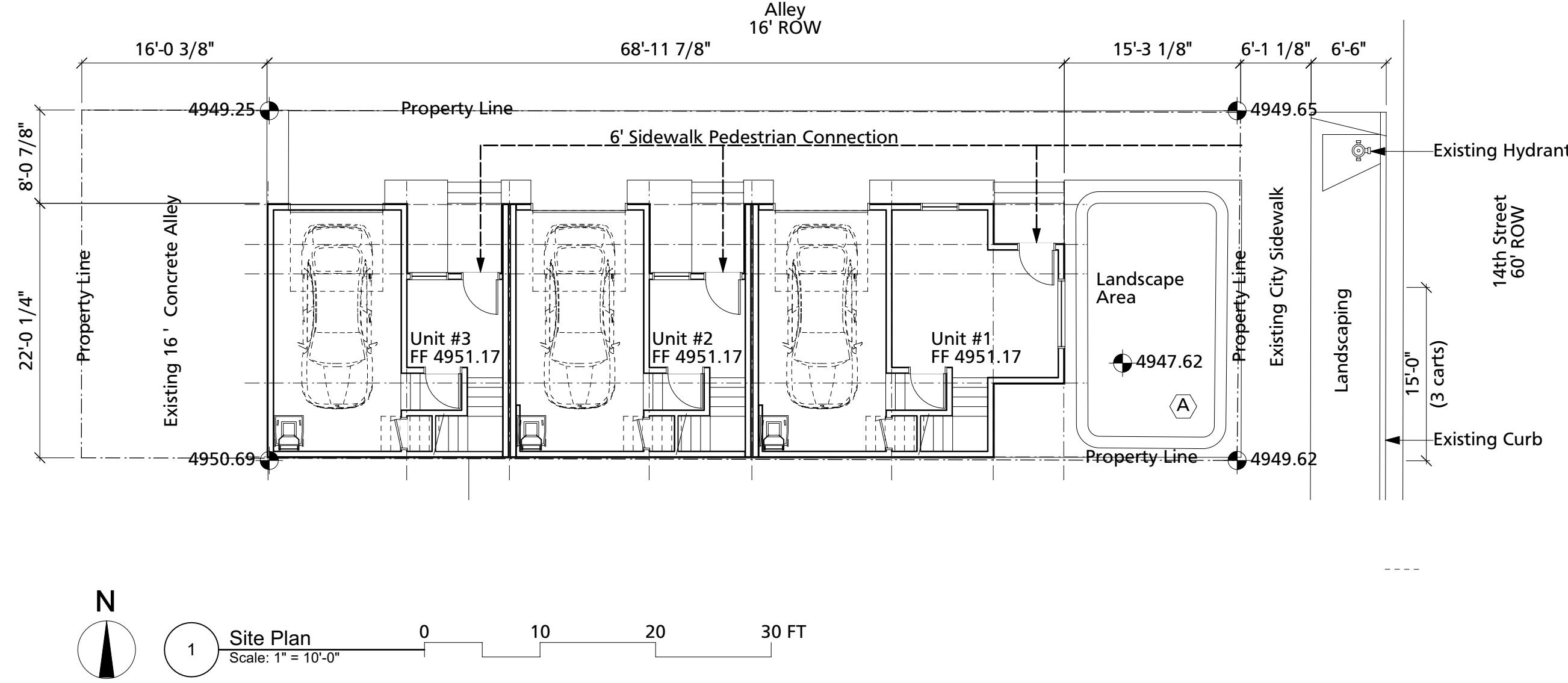
NO Sprinkler System

Sprinkler System:
1) Shop drawings will be submitted to the fire marshal's office for review and approval of any installation or modification to fire sprinkler system, fire alarm system, kitchen suppression system, or any other fire related system.
2) The fire sprinkler system will be supervised when required by the 2015 International fire code.

7 VICINITY MAP



E East Elevation
Scale: 1/4" = 1'-0"



1 Site Plan
Scale: 1" = 10'-0"



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-22-010279
APPROVED DATE: 06/10/22
APPROVED
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1409 SQ FT V-B 1500 GPM 1 HYDRANT

GENERAL NOTES

A. DO NOT SCALE DRAWINGS

B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.

D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

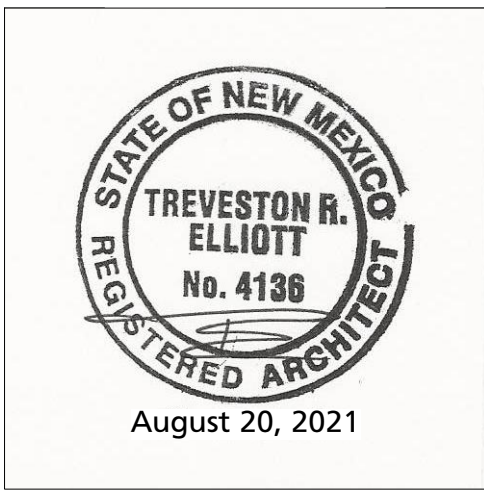
E. * DIMENSIONS TO FACE OF FINISH

TREVESTON ELLIOTT
ARCHITECT

811 12TH ST. NW
ALBUQUERQUE, NEW MEXICO
87102
C 505.259.4617
treveston@treearchitect.com
www.treearchitect.com

619 14th Street SW

ALBUQUERQUE, NEW MEXICO 87102



Date: August 20, 2021

Sheet: Fire-1

Fire-1