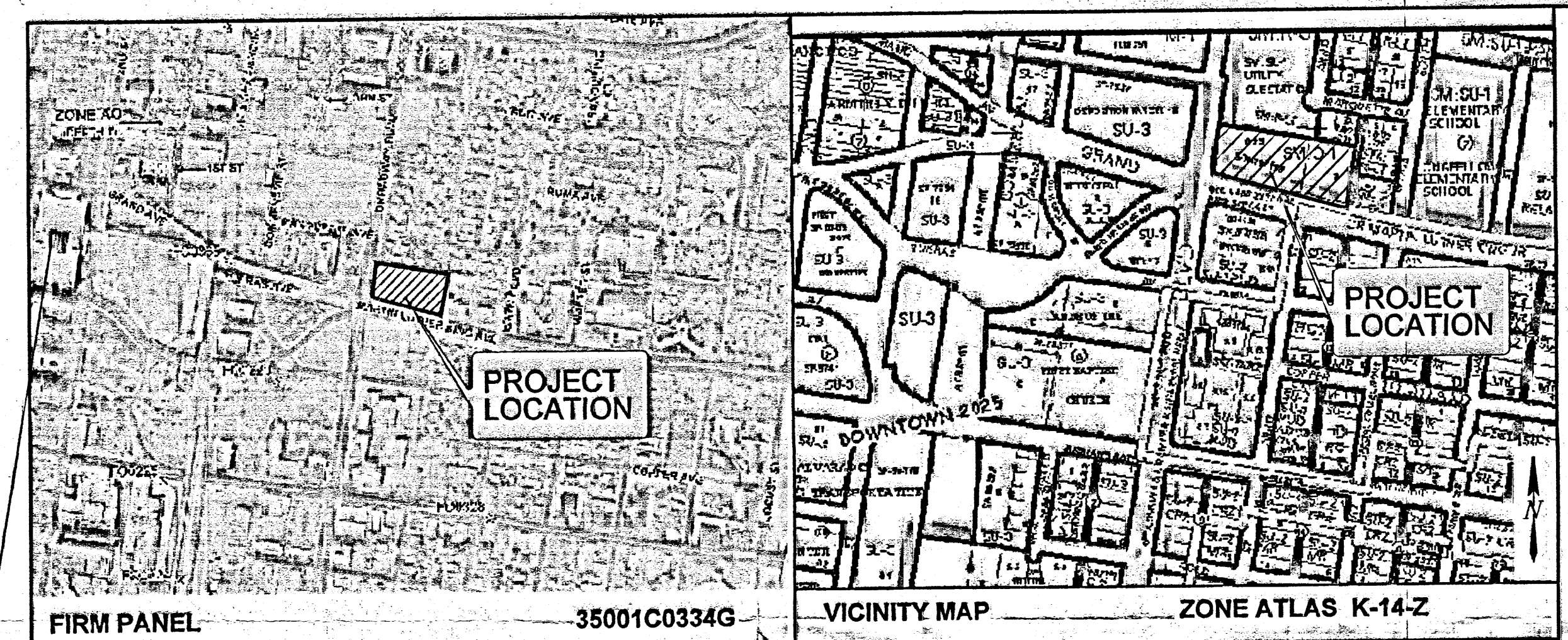
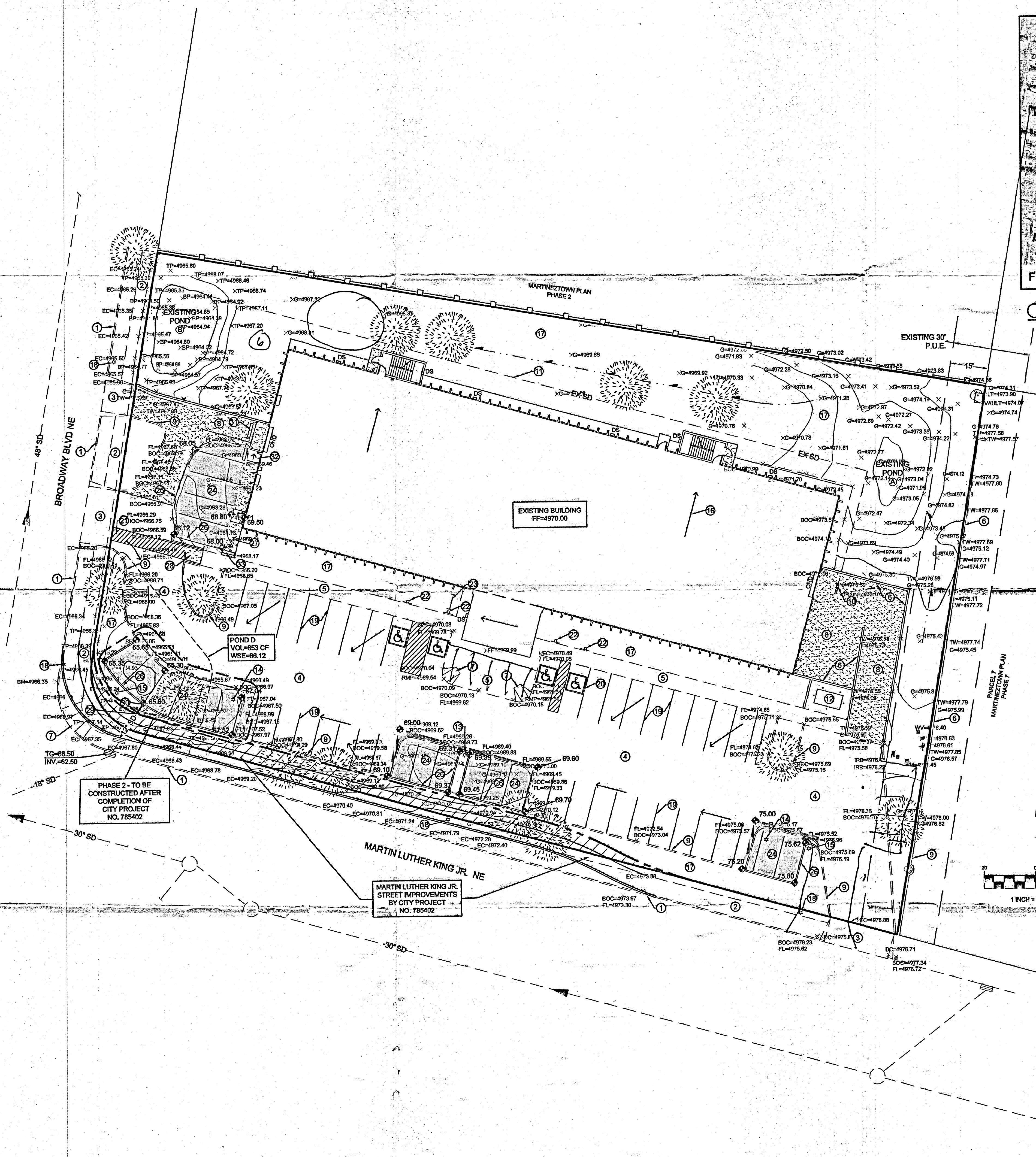




- KEYED NOTES**
1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
 2. EXISTING PUBLIC SIDEWALK.
 3. EXISTING DRIVEPAD TO REMAIN.
 4. EXISTING ASPHALT PAVEMENT TO BE RECONDITIONED PER GEOTECHNICAL EVALUATION.
 5. EXISTING CONCRETE TURNDOWN SIDEWALK.
 6. EXISTING CONCRETE RETAINING WALL.
 7. EXISTING HANDICAP RAMP.
 8. EXISTING CONCRETE PAVEMENT.
 9. EXISTING CONCRETE CURB.
 10. EXISTING TRENCH DRAIN.
 11. EXISTING STORM DRAIN.
 12. EXISTING REFUSE PAD.
 13. EXISTING LIGHT POLE TO REMAIN.
 14. EXISTING LIGHT POLE TO BE RELOCATED.
 15. RELOCATED LIGHT POLE.
 16. DIRECTION OF ROOF DRAINAGE-TYPICAL.
 17. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.
 18. EXISTING PUBLIC LIGHT POLE.
 19. NEW 4-INCH WHITE PARKING STRIPE-TYP.
 20. NEW HANDICAP PARKING SYMBOL PER CODE-TYP.
 21. NEW PEDESTRIAN ACCESSIBLE ROUTE STRIPED PER CODE.
 22. INSTALL HANDICAP PARKING SIGN ASSEMBLY. SEE SHEET C-2 FOR DETAILS-TYP.
 23. INSTALL BIKE RACK.
 24. REMOVE & DISPOSE EXISTING LANDSCAPING, CONCRETE CURBS AND PAVEMENT TO LIMITS SHOWN. INSTALL NEW ASPHALT PAVEMENT. SEE SHEET C-2 FOR DETAILS.
 25. REMOVE AND REPLACE EXISTING CONCRETE PAVEMENT AS NECESSARY TO LIMITS SHOWN. SEE SHEET C-2 FOR DETAILS.
 26. CONSTRUCT 6-INCH CONCRETE CURB. SEE SHEET C-2.0.
 27. CONSTRUCT TURN DOWN SIDEWALK. SEE SHEET C-2.0.
 28. REMOVE & DISPOSE EXISTING DAMAGED SIDEWALK. REPLACE WITH HANDICAP RAMP. SEE SHEET C-2 FOR DETAILS.
 29. 12 INCH STORM DRAIN TO BE PROVIDED BY CITY PROJECT NO. 785402.
 30. CONSTRUCT 12 INCH END SECTION. SEE FOR DETAIL H/C-2.0.
 31. INSTALL CONCRETE TIRE STOP - 2 PLACES.
 32. CONSTRUCT HANDICAP RAMP @ 12:1.
 33. CONSTRUCT 2 - 6 INCH STEPS.

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
HEADER CURB		
CURB ELEVATIONS		
SPOT ELEV.	X 4977.60	16.7
RIGHT OF WAY EASEMENT		
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
FLOWLINE ELEV.	EX FL 16.2	FL 16.2
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
CONCRETE		
BLOCK WALL		
STORM INLET		
TREE		
PHASE BOUNDARY		
DOWNSPOUT	DS	
STORM DRAIN	36" SD	36" SD

- DRAINAGE PLAN NOTES**
1. LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
 4. This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
 6. LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
 8. All spot elevations are finished grade or top of pavement, unless noted otherwise.
 9. The City of Albuquerque has received its EPA MS4 Permit for stormwater quality with an effective date of March 1, 2012.

PROJECT DATA

SURVEY: 10/12/15

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HARRIS SURVEYING, INC., 2412 MONROE STREET NE ALBUQUERQUE, NEW MEXICO JANUARY 2015.

PROPERTY ADDRESS: 301 MARTIN LUTHER KING JR. BLVD NE, ALBUQUERQUE, NEW MEXICO

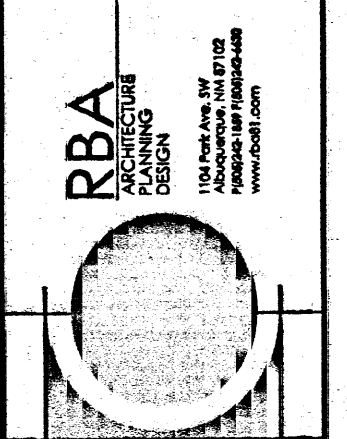
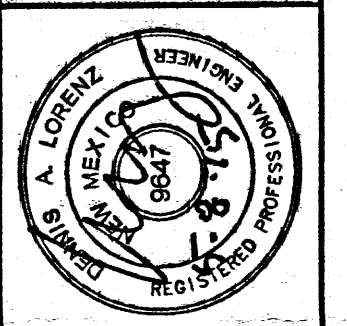
LEGAL DESCRIPTION: PARCELS 8 & 9, PLAT OF MARTINEZ PLAN PHASE 7

PROJECT BENCHMARK: ACS MONUMENT "22_K14" HAVING AN ELEVATION OF 4,968.352.

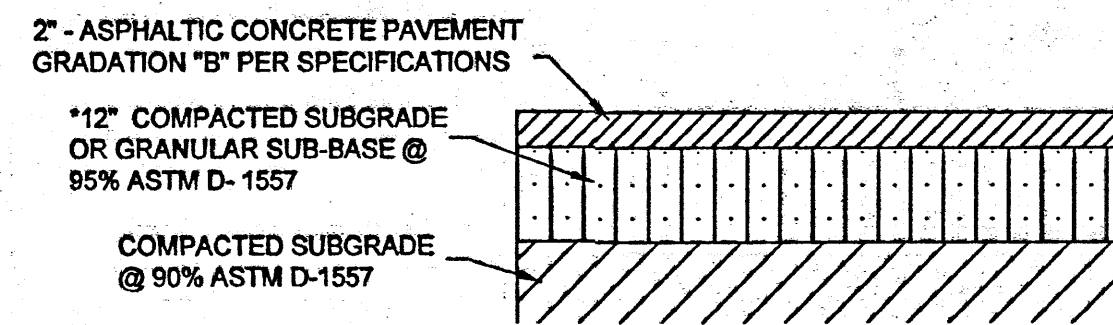
LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering & Construction Management
2601 Rio Grande Blvd NE, Suite A Albuquerque, New Mexico 87106
PH: 505-888-0088 FAX: 505-242-6655

JACKSON WINK ACADEMY MMA GYM
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-034

REVISION DATE: 05/08/2015
CITY ROW TAKE
REVISED PARKING

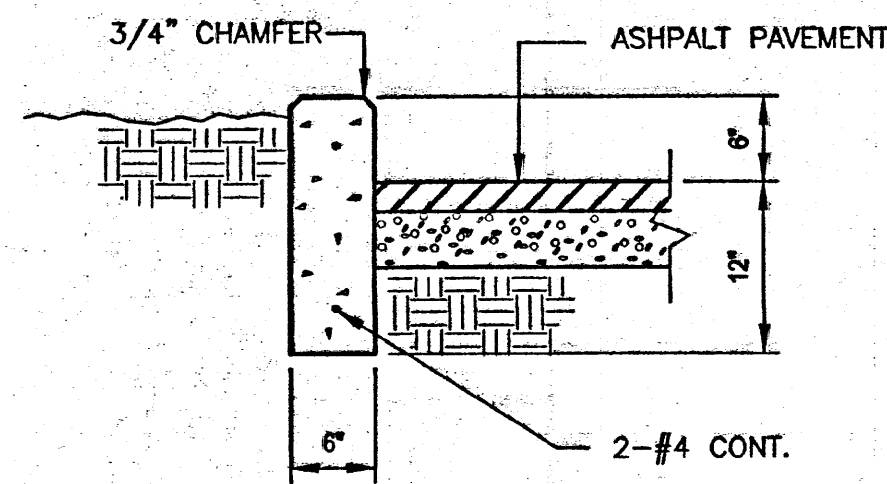


DATE: 05/08/2015
SHEET NUMBER: C-1.0



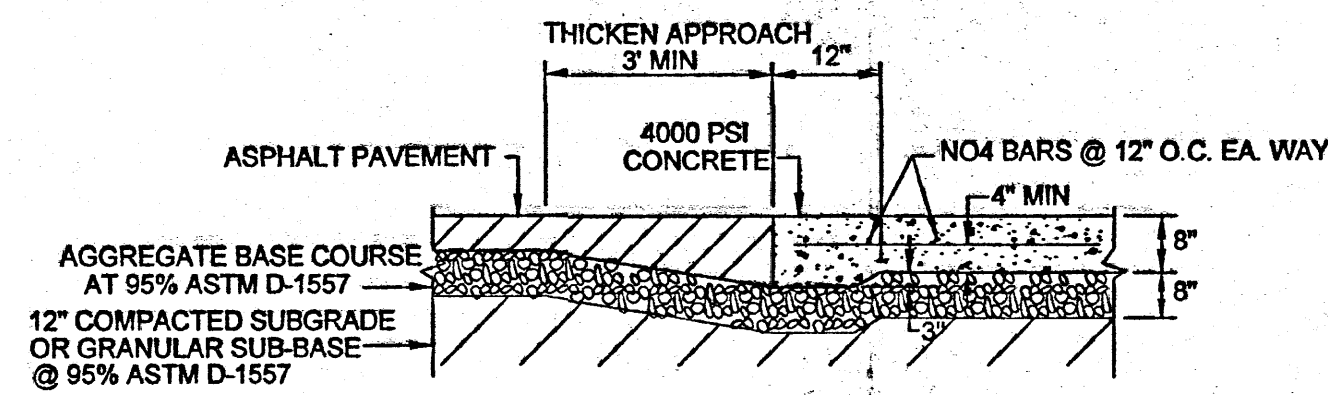
ASPHALT PAVEMENT SECTION
AUTO/PICKUP TRUCK

A
C-2.0



HEADER CURB-DETAIL

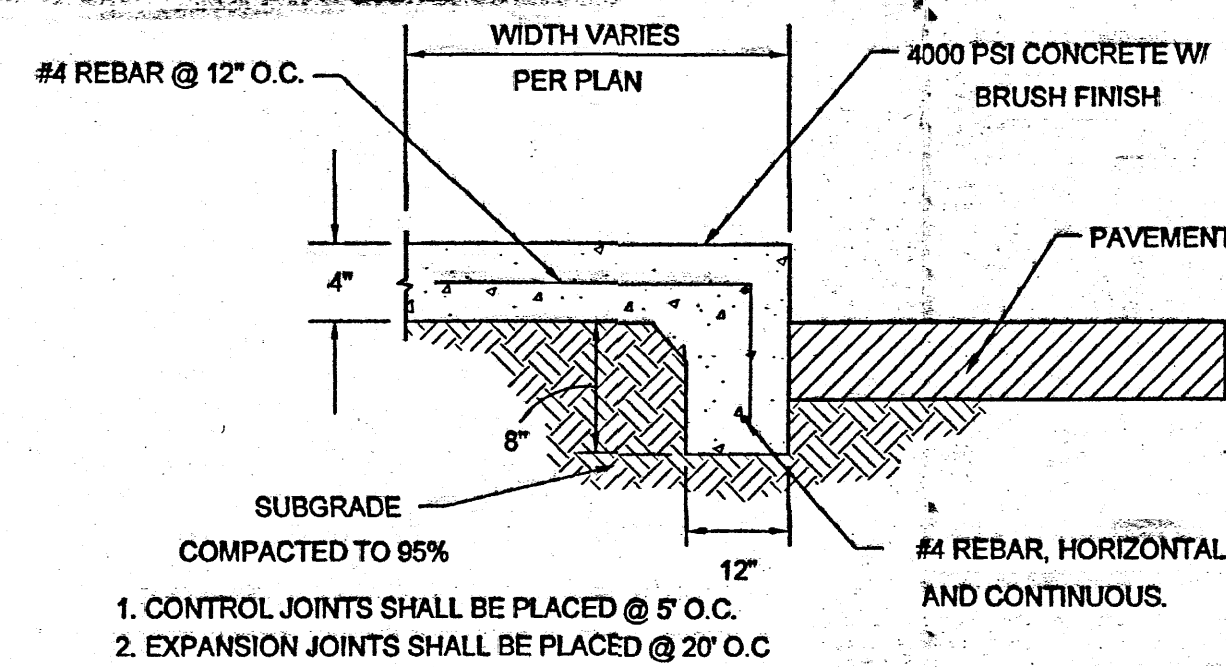
E
C-2.0



CONCRETE PAVEMENT SECTION

NTS

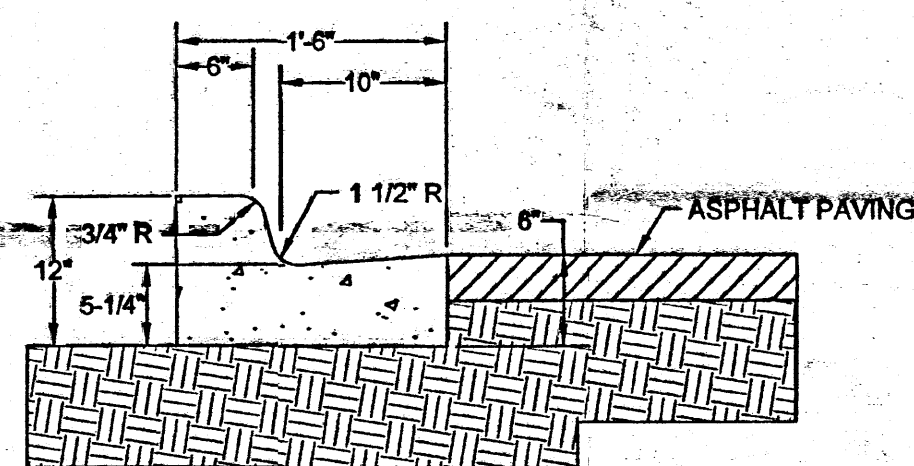
B
C-2.0



TURN DOWN SIDEWALK

NTS

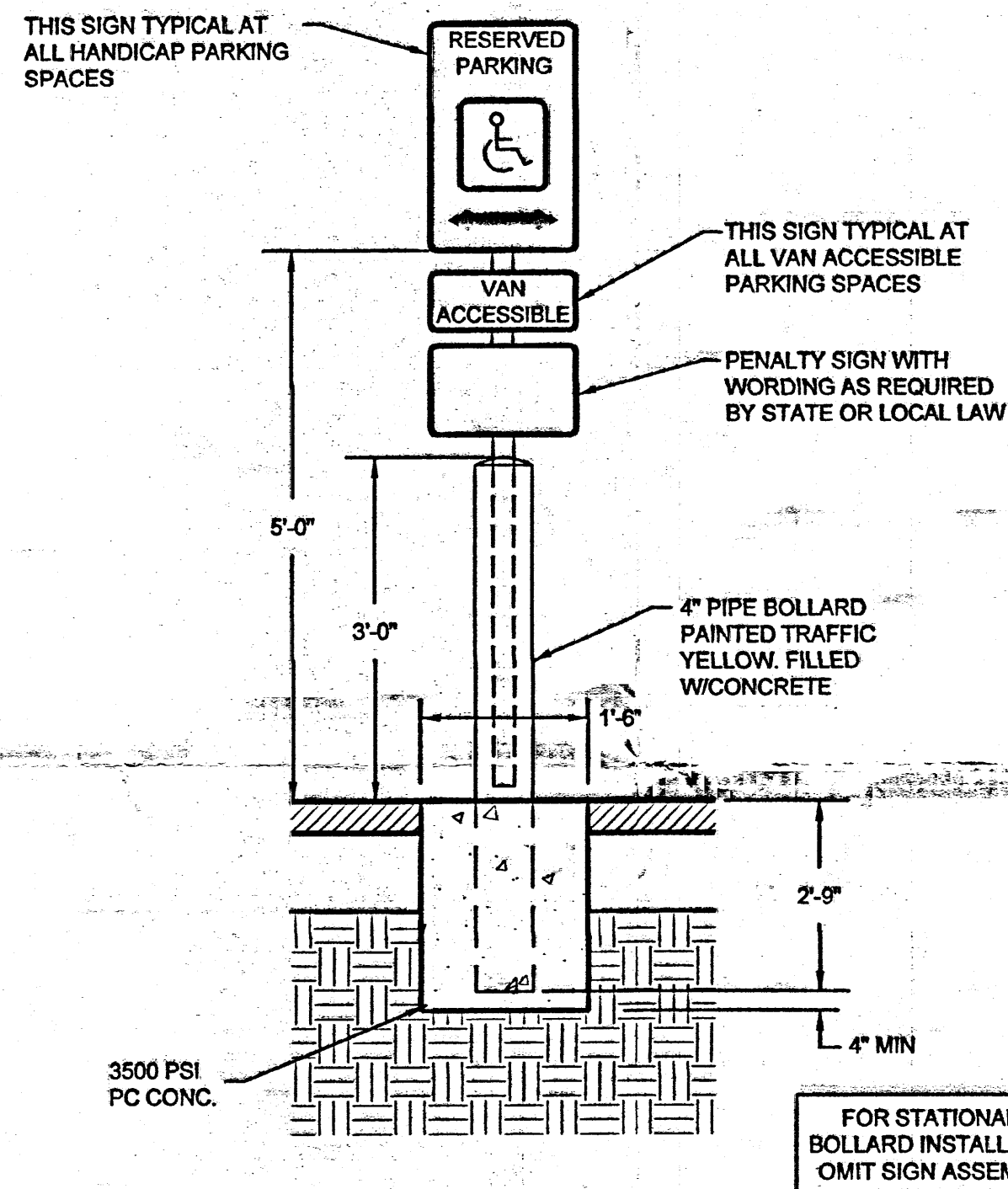
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C-2.0



CONCRETE CURB AND GUTTER

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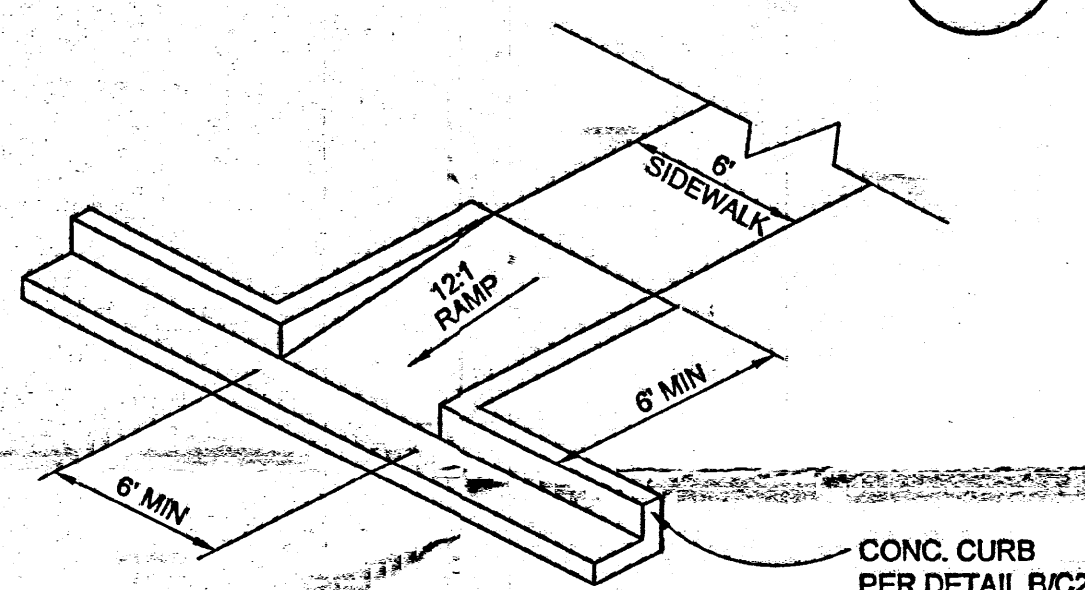
D
C-2.0



HC SIGN ASSEMBLY / BOLLARD DETAIL

NTS

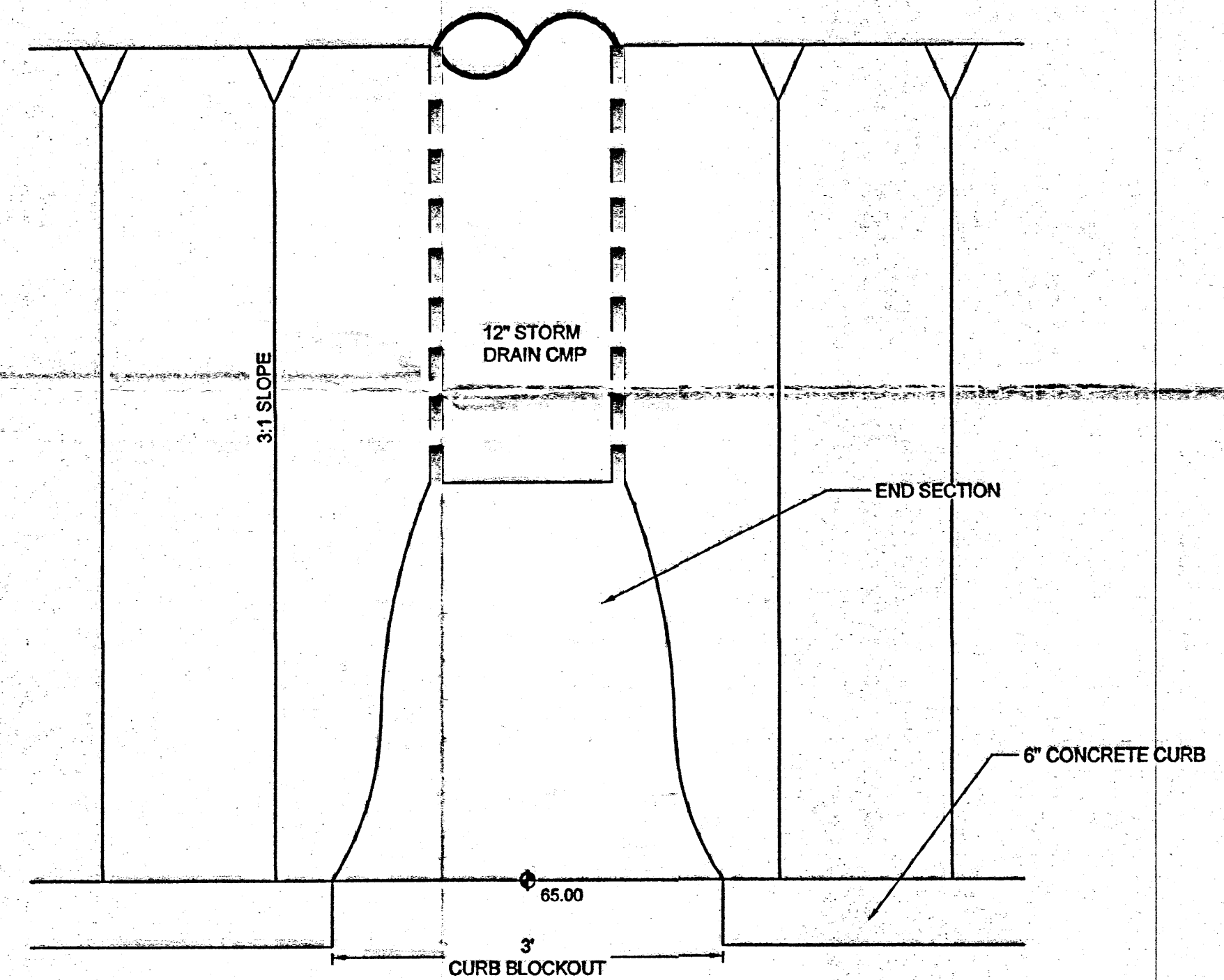
F
C-2.0



HANDICAP ACCESS RAMP - 1

NTS

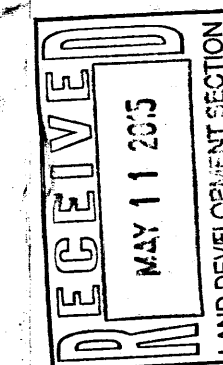
G
C-2.0



POND OUTLET DETAIL

NTS

H
C-2.0



JACKSON WINK ACADEMY MMA GYM ENGINEER'S CERTIFICATION (HYDROLOGY) FOR TEMPORARY CERTIFICATE OF OCCUPANCY

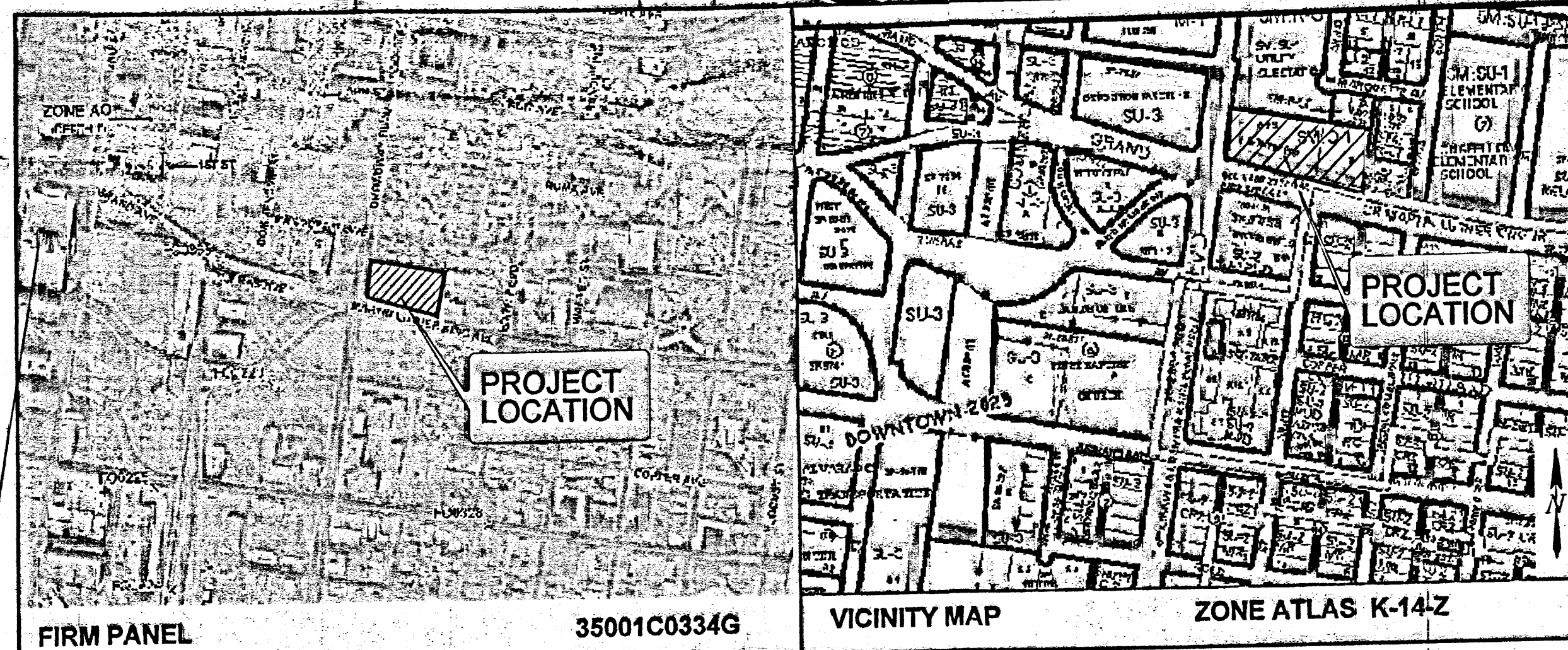
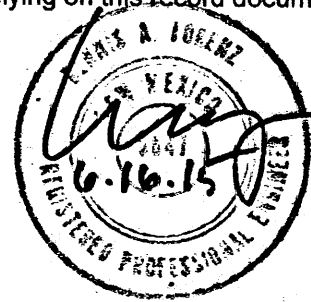
I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan prepared by this office, dated 05-08-2015.

The record information edited onto the original design document has been provided to me by Construction Survey Technologies Inc., David R. Vigil, NMPLS 8911, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

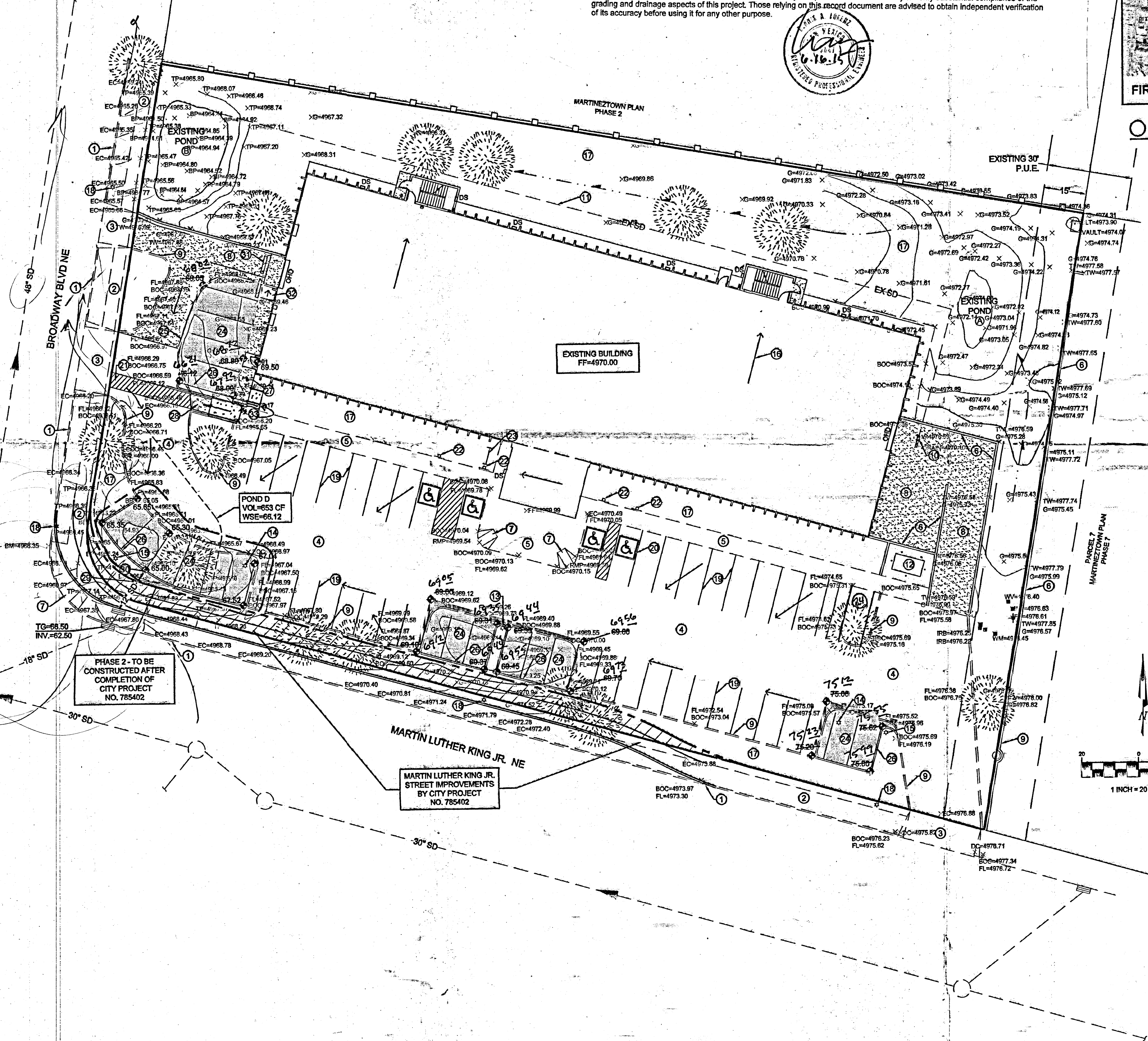
The following items must be completed before a Permanent C.O. is issued:

1. Phase 2 improvements as identified on the Plan.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering & Construction Management
2601 Rio Grande Blvd NW, Suite A, Albuquerque, NM 87104
Phone: 505-444-0001 Fax: 505-444-0003



KEYED NOTES

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK.
3. EXISTING DRIVEPAD TO REMAIN.
4. EXISTING ASPHALT PAVEMENT TO BE RECONDITIONED PER GEOTECHNICAL EVALUATION.
5. EXISTING CONCRETE TURNDOWN SIDEWALK.
6. EXISTING CONCRETE RETAINING WALL.
7. EXISTING HANDICAP RAMP.
8. EXISTING CONCRETE PAVEMENT.
9. EXISTING CONCRETE CURB.
10. EXISTING TRENCH DRAIN.
11. EXISTING STORM DRAIN.
12. EXISTING REFUSE PAD.
13. EXISTING LIGHT POLE TO REMAIN.
14. EXISTING LIGHT POLE TO BE RELOCATED.
15. RELOCATED LIGHT POLE.
16. DIRECTION OF ROOF DRAINAGE-TYPICAL.
17. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.
18. EXISTING PUBLIC LIGHT POLE.
19. NEW 4-INCH WHITE PARKING STRIPE - TYP.
20. NEW HANDICAP PARKING SYMBOL PER CODE-TYP.
21. NEW PREDSTRIAN ACCESSIBLE ROUTE STRIPED PER CODE.
22. INSTALL HANDICAP PARKING SIGN ASSEMBLY. SEE SHEET C-2 FOR DETAILS - TYP.
23. INSTALL BIKE RACK.
24. REMOVE & DISPOSE EXISTING LANDSCAPING, CONCRETE CURBS AND PAVEMENT TO LIMITS SHOWN. INSTALL NEW ASPHALT PAVEMENT. SEE SHEET C-2 FOR DETAILS.
25. REMOVE AND REPLACE EXISTING CONCRETE PAVEMENT AS NECESSARY TO LIMITS SHOWN. SEE SHEET C-2 FOR DETAILS.
26. CONSTRUCT 8-INCH CONCRETE CURB. SEE SHEET C-2.0.
27. CONSTRUCT TURN DOWN SIDEWALK. SEE SHEET C-2.0.
28. REMOVE & DISPOSE EXISTING DAMAGED SIDEWALK. REPLACE WITH HANDICAP RAMP. SEE SHEET C-2 FOR DETAILS.
29. 12 INCH STORM DRAIN TO BE PROVIDED BY CITY PROJECT NO. 785402.
30. CONSTRUCT 12 INCH END SECTION. SEE FOR DETAIL HIC-2.0.
31. INSTALL CONCRETE TIRE STOP - 2 PLACES.
32. CONSTRUCT HANDICAP RAMP @ 12.1.
33. CONSTRUCT 2 - 6 INCH STEPS.

LEGEND

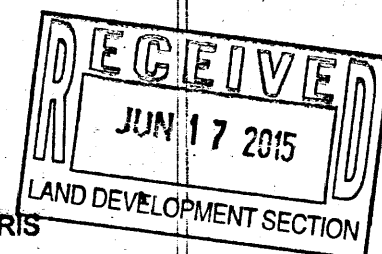
ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
HEADER CURB		
CURB ELEVATIONS		
SPOT ELEV.	X 4977.80	16.7
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 18.2
FLOWLINE ELEV	EX FL 16.2	FL 16.2
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
CONCRETE		
BLOCK WALL		
STORM INLET		
TREE		
PHASE BOUNDARY		
DOWNSPOUT		
STORM DRAIN	36" SD	36" SD
AS-BUILT SPOT		75.10

DRAINAGE PLAN NOTES

1. LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
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9. The City of Albuquerque has received its EPA MS4 Permit for stormwater quality with an effective date of March 1, 2012.

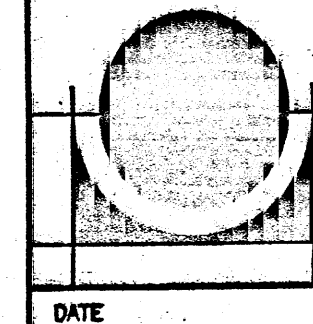
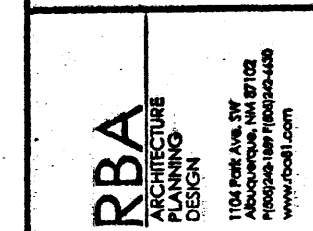
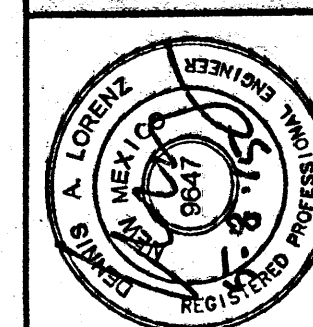
PROJECT DATA

SURVEY:
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HARRIS SURVEYING, INC., 2412 MONROE STREET NE ALBUQUERQUE, NEW MEXICO JANUARY 2015.
PROPERTY ADDRESS:
301 MARTIN LUTHER KING JR. BLVD NE, ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION:
PARCELS 8 & 9, PLAT OF MARTINEZ PLAN PHASE 7
PROJECT BENCHMARK:
ACS MONUMENT "22_K14" HAVING AN ELEVATION OF 4,968.352.

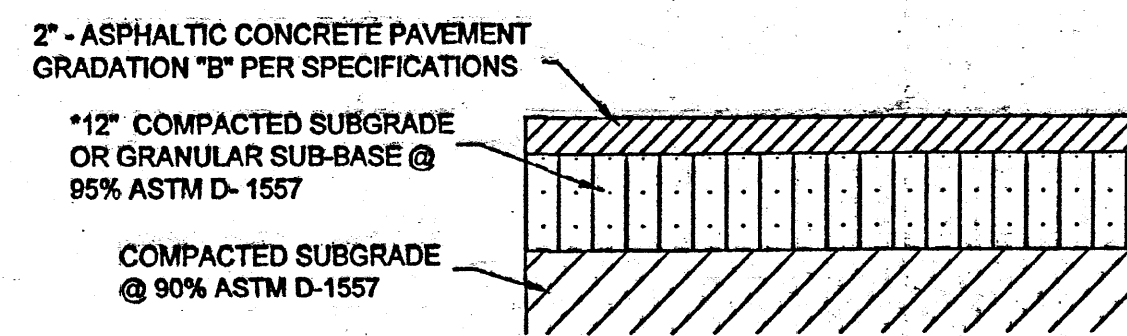


JACKSON WINK ACADEMY MMA GYM
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-034

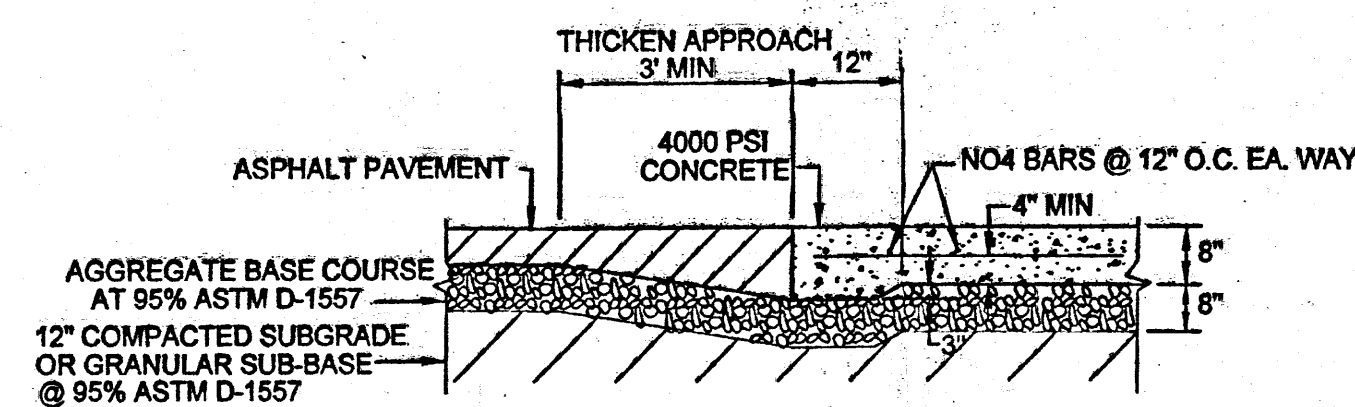
REVISION DATE
CITY ROW TAKE
REVISED PARKING
05/08/2015



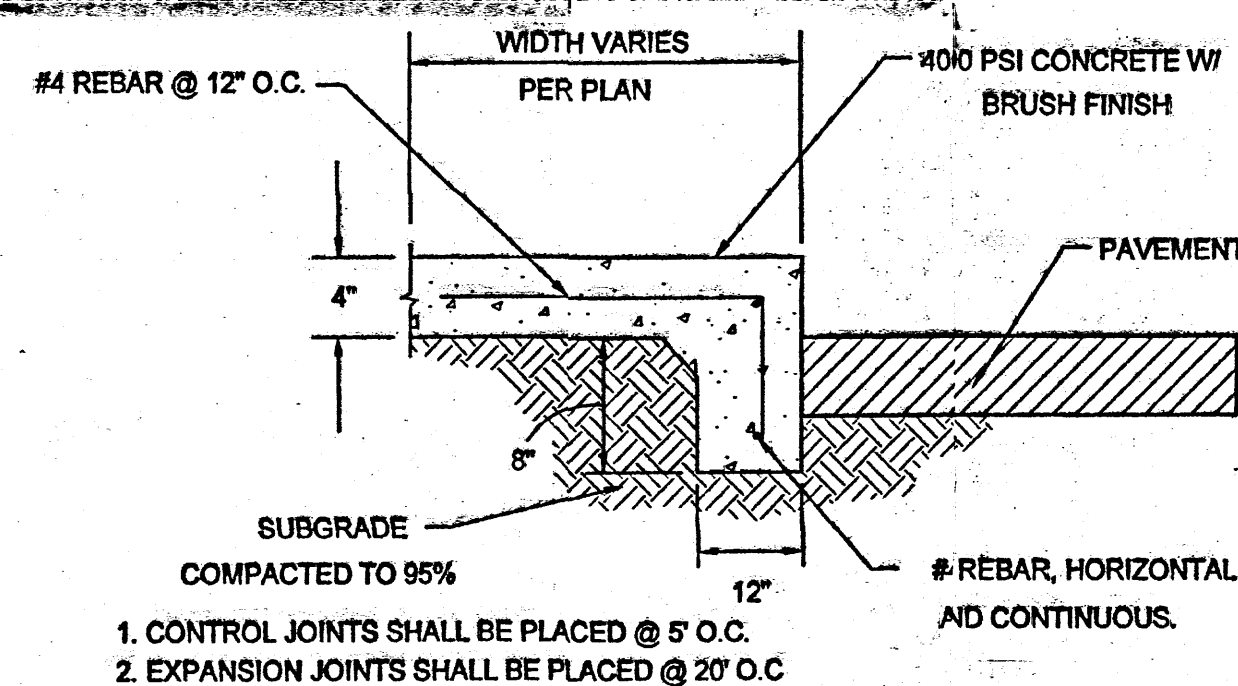
DATE
05/08/2015
SHEET NUMBER
C-1.0



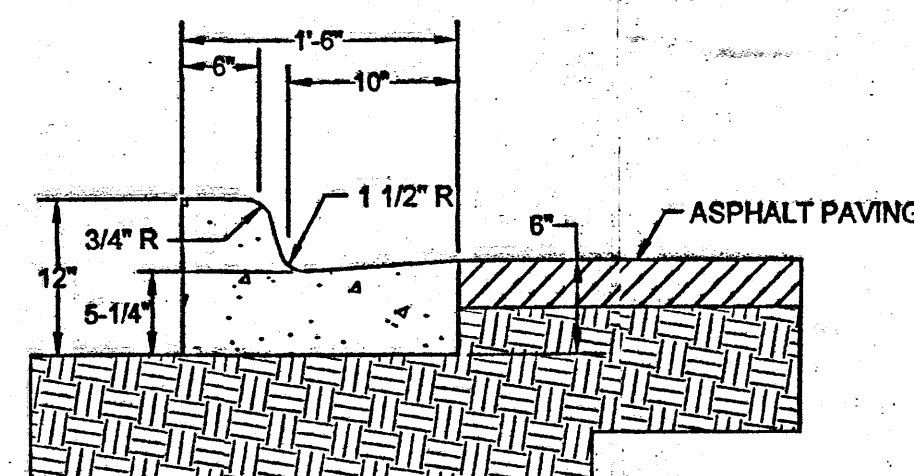
ASPHALT PAVEMENT SECTION A
AUTO/PICKUP TRUCK
NTS C-2.0



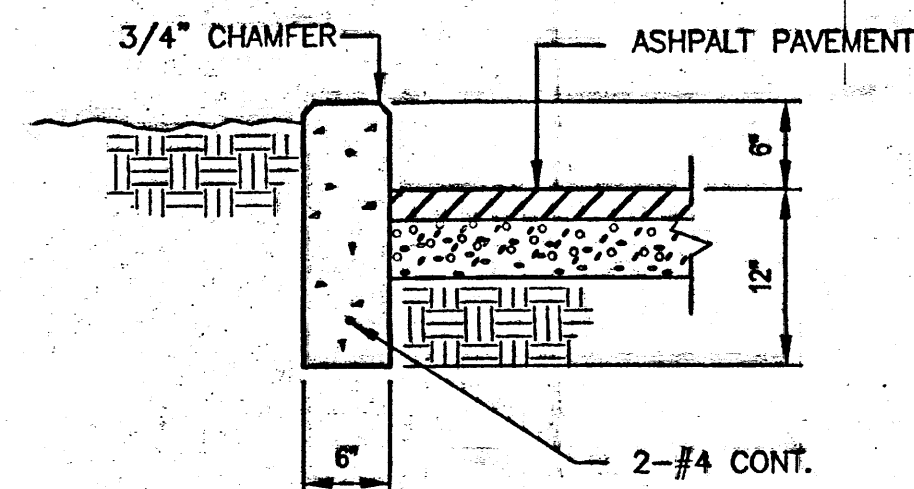
CONCRETE PAVEMENT SECTION B
NTS C-2.0



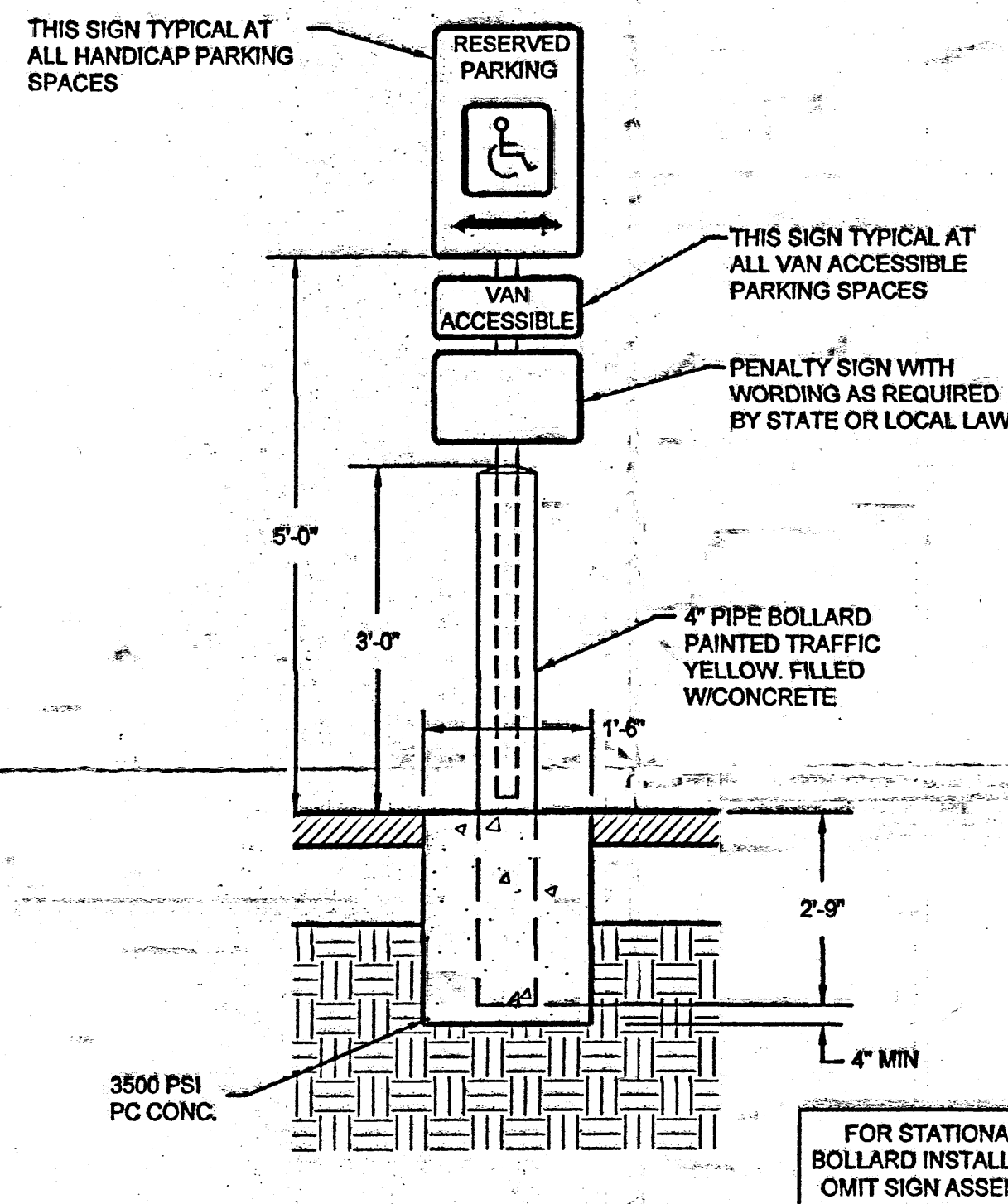
TURN DOWN SIDEWALK C
NTS C-2.0



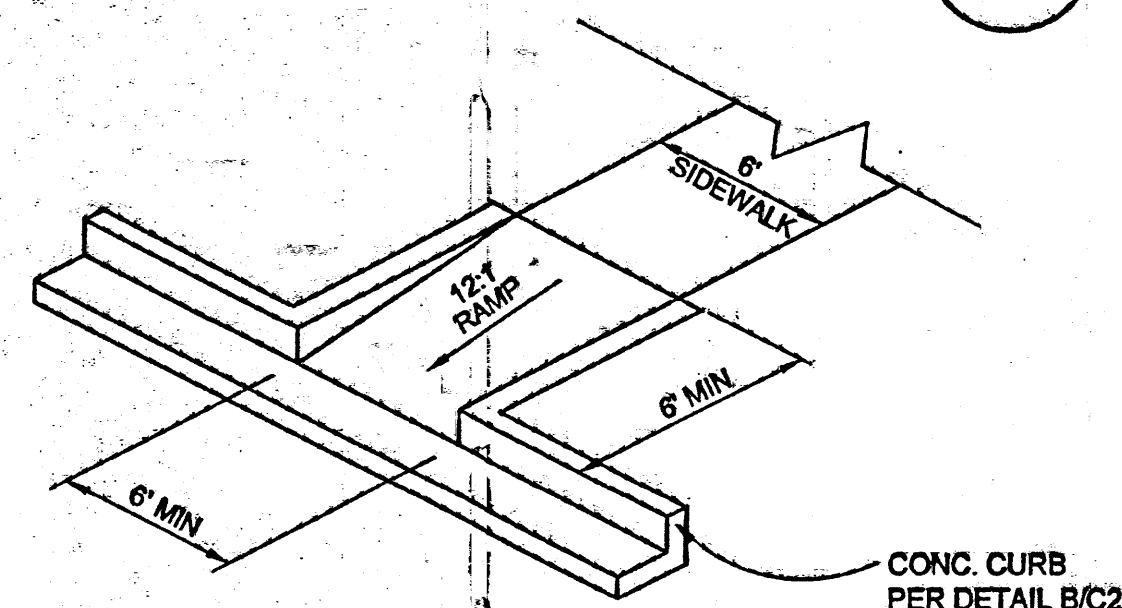
CONCRETE CURB AND GUTTER D
NTS C-2.0



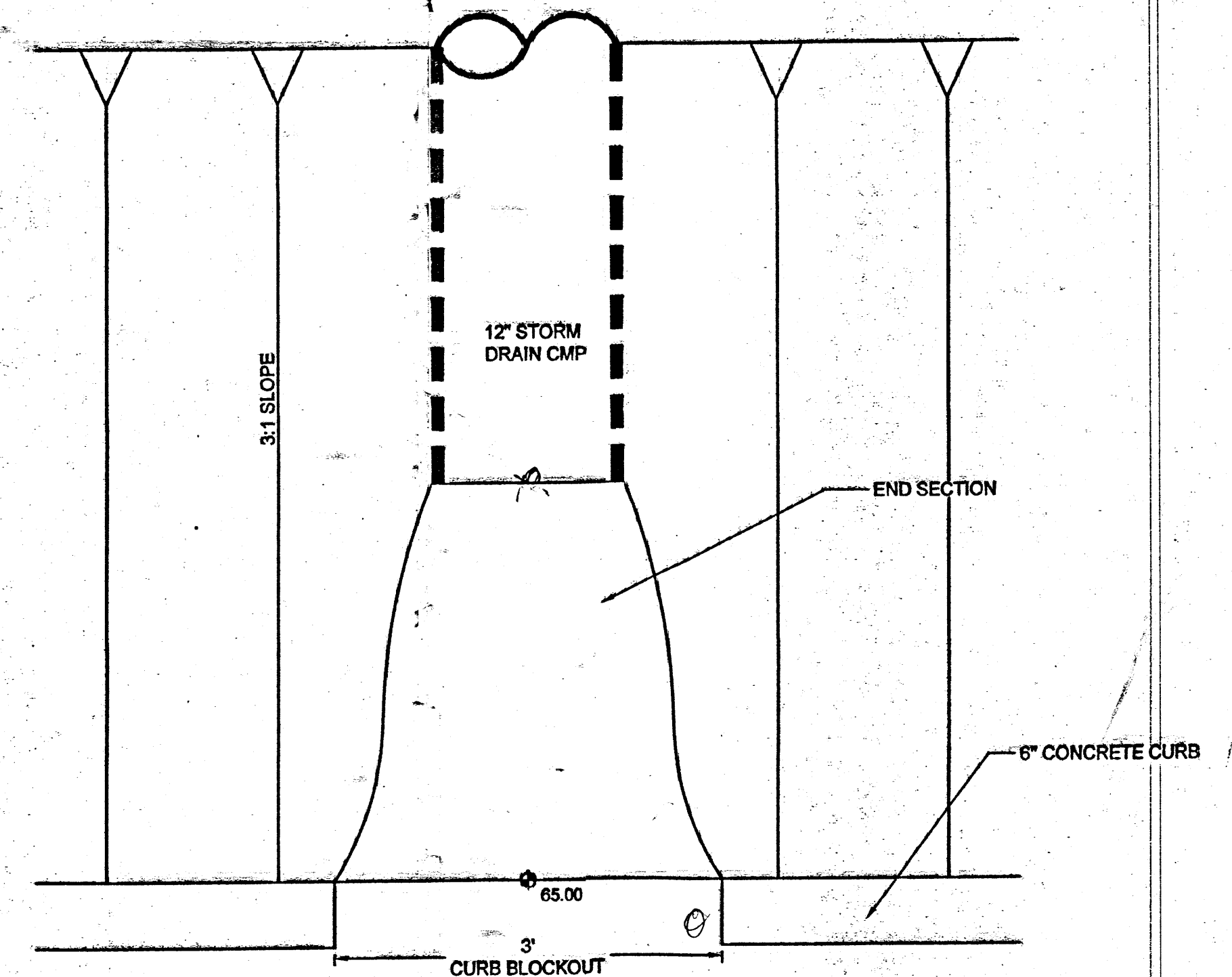
HEADER CURB DETAIL E
NTS C-2.0



HC SIGN ASSEMBLY / BOLLARD DETAIL F
NTS C-2.0



HANDICAP ACCESS RAMP - 1 G
NTS C-2.0



POND OUTLET DETAIL (PHASE - 2) H
NTS C-2.0

JACKSON WINK ACADEMY MMA GYM
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR TEMPORARY CERTIFICATE OF OCCUPANCY

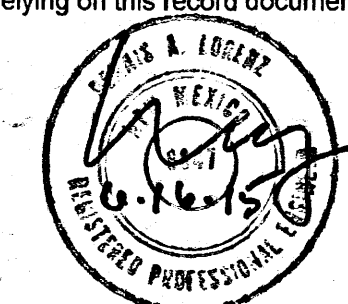
I, Dennis A. Lorenz, NMPE 8647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan prepared by this office, dated 05-08-2015.

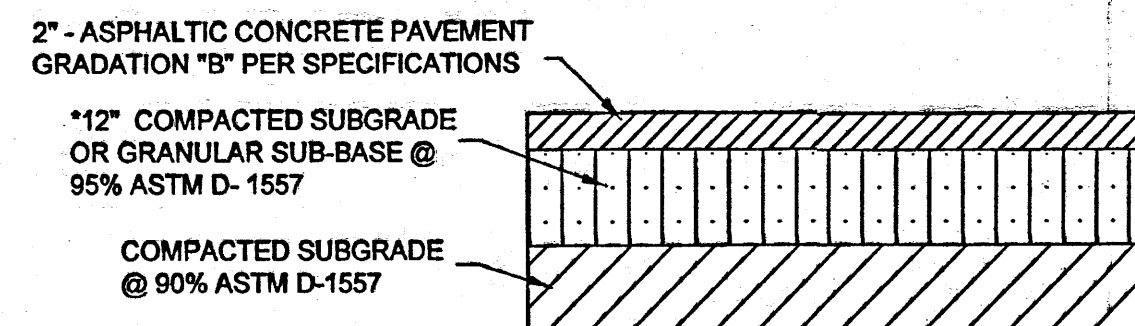
The record information edited onto the original design document has been provided to me by Construction Survey Technologies Inc., David R. Vigil, NMPLS 8911, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The following items must be completed before a Permanent C.O. is issued:

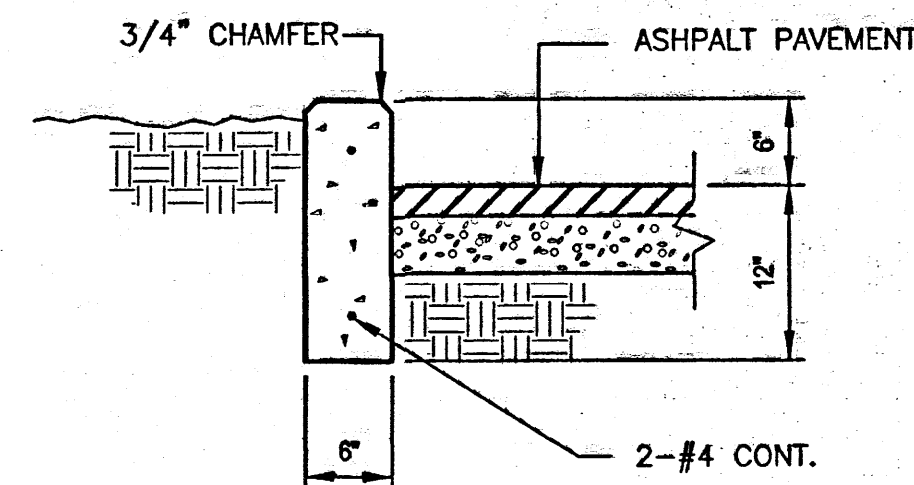
1. Phase 2 improvements as identified on the Plan.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

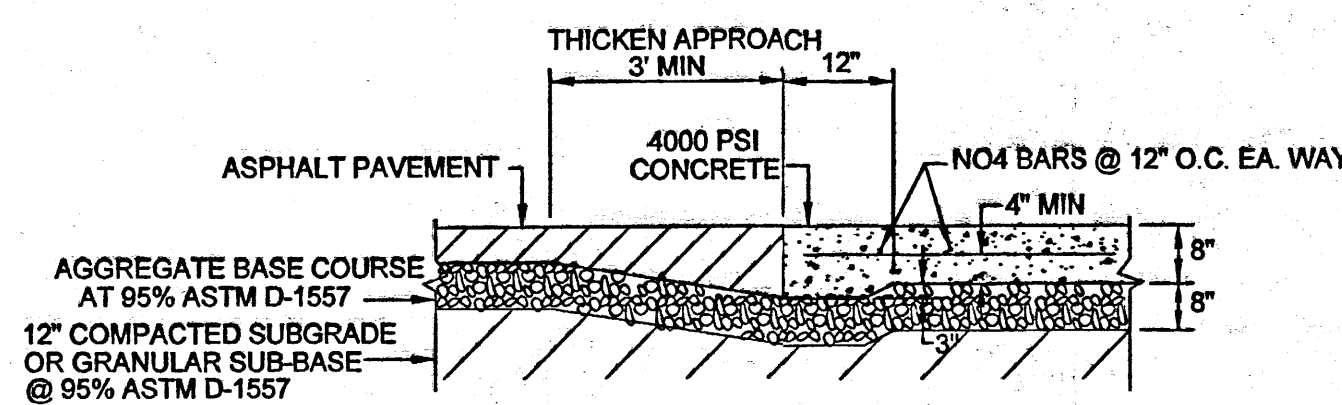




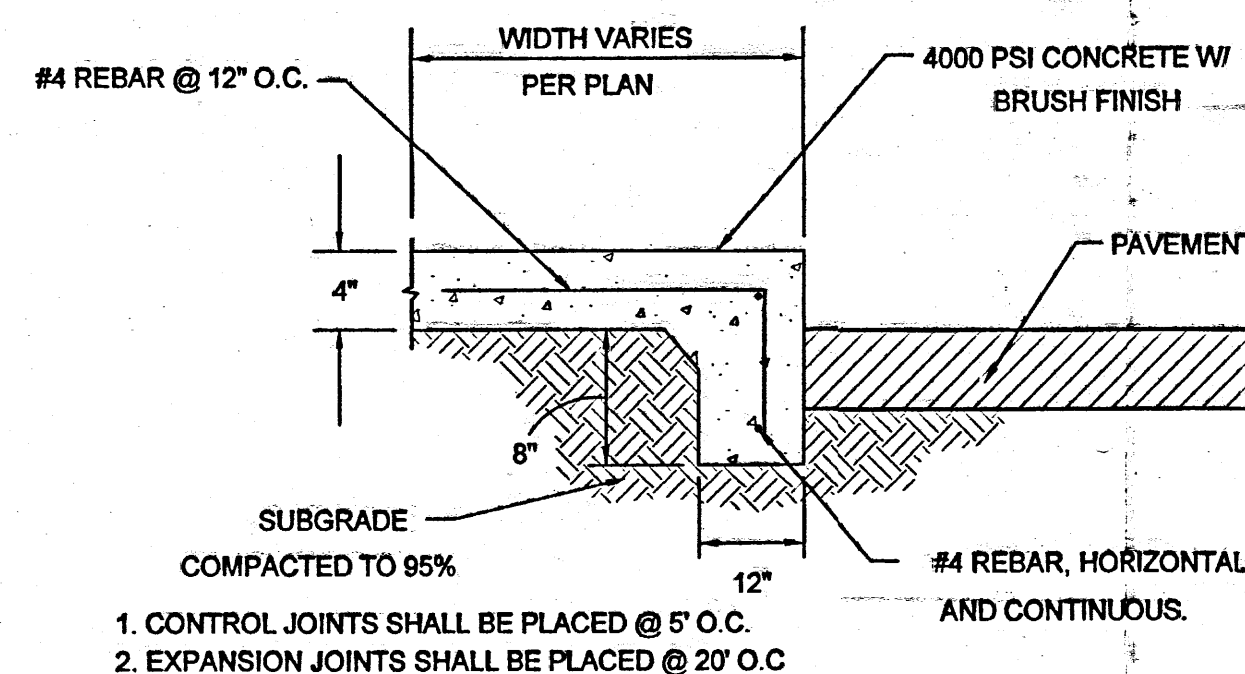
ASPHALT PAVEMENT SECTION
AUTO/PICKUP TRUCK
NTS
A
C-2.0



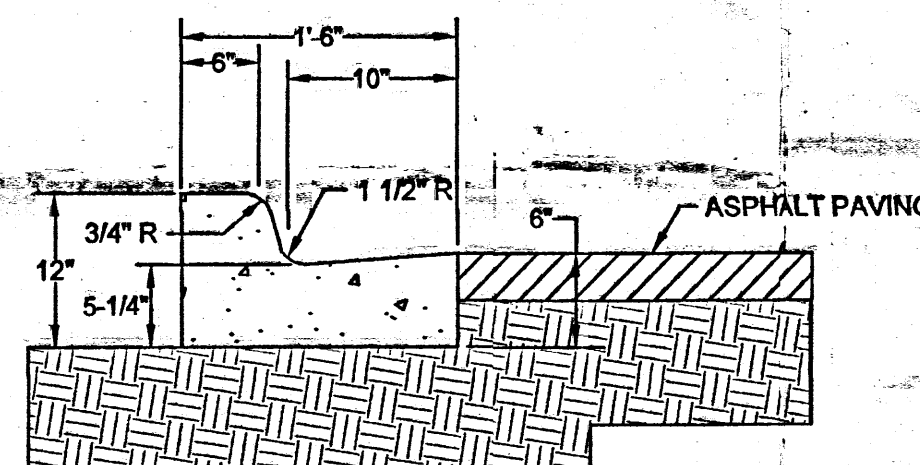
HEADER CURB DETAIL
NTS
E
C-2.0



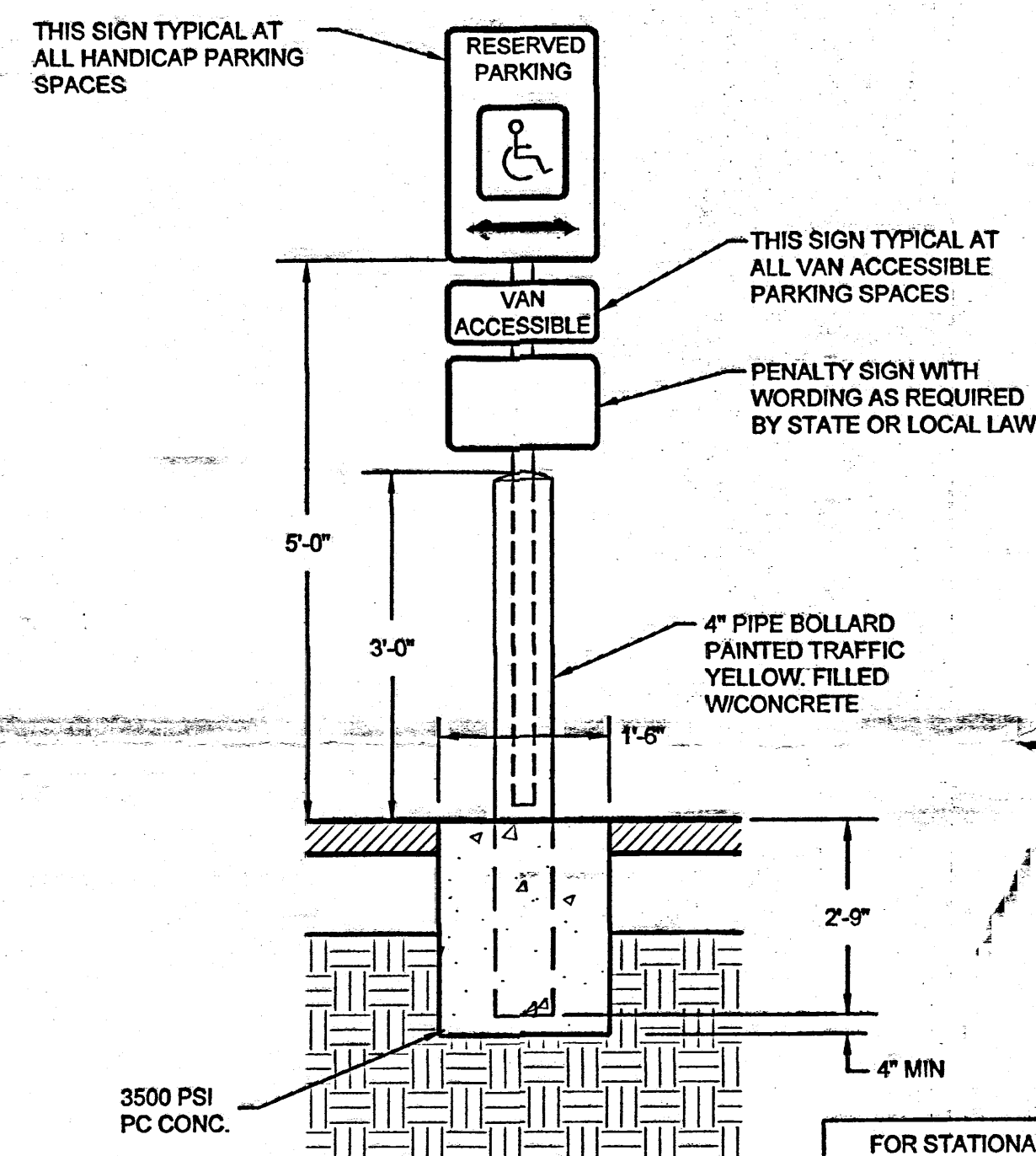
CONCRETE PAVEMENT SECTION
NTS
B
C-2.0



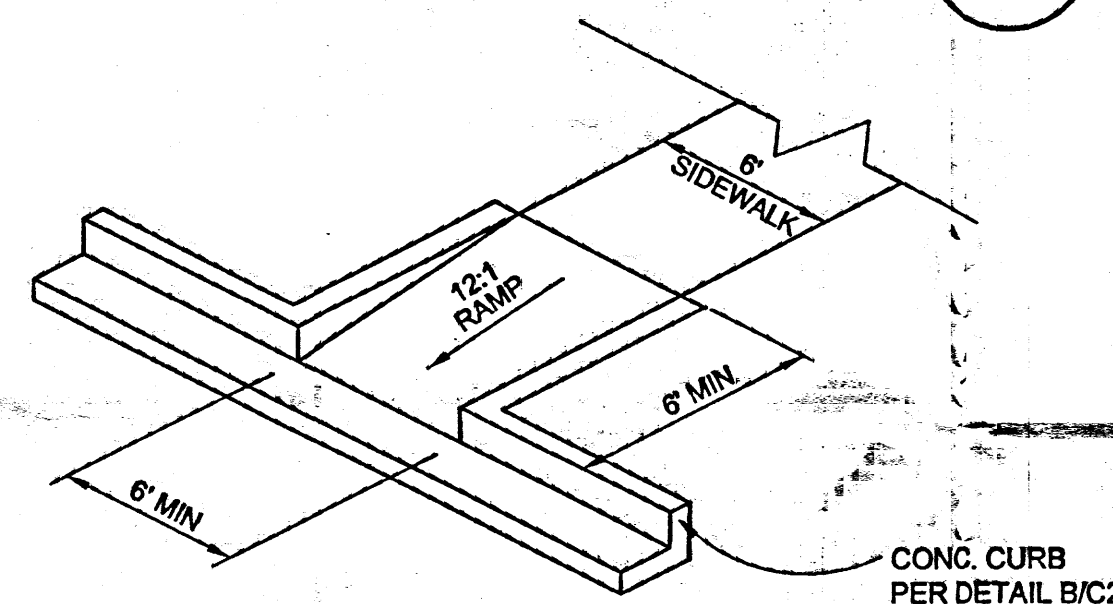
TURN DOWN SIDEWALK
NTS
C
C-2.0



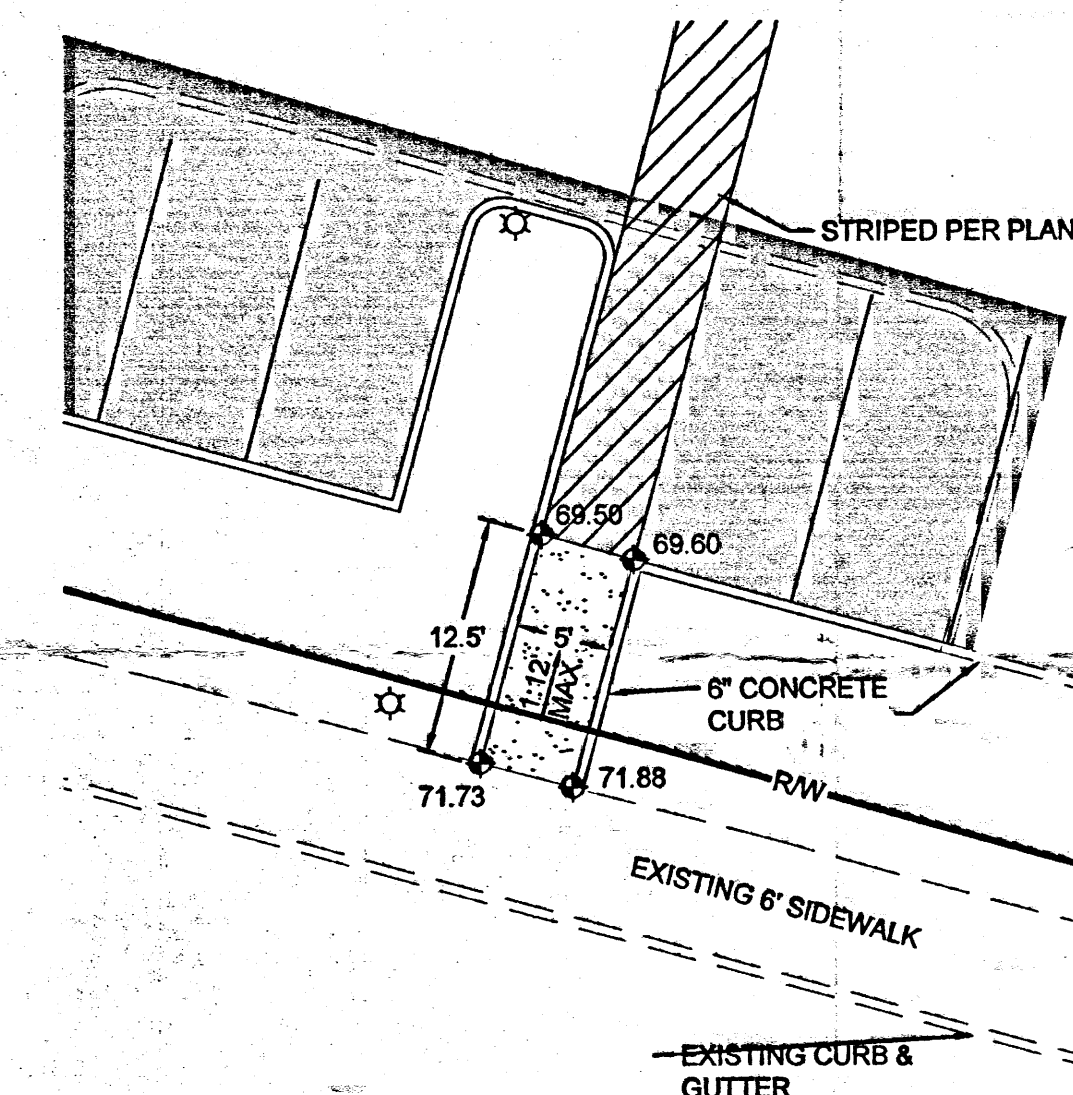
CONCRETE CURB AND GUTTER
NTS
D
C-2.0



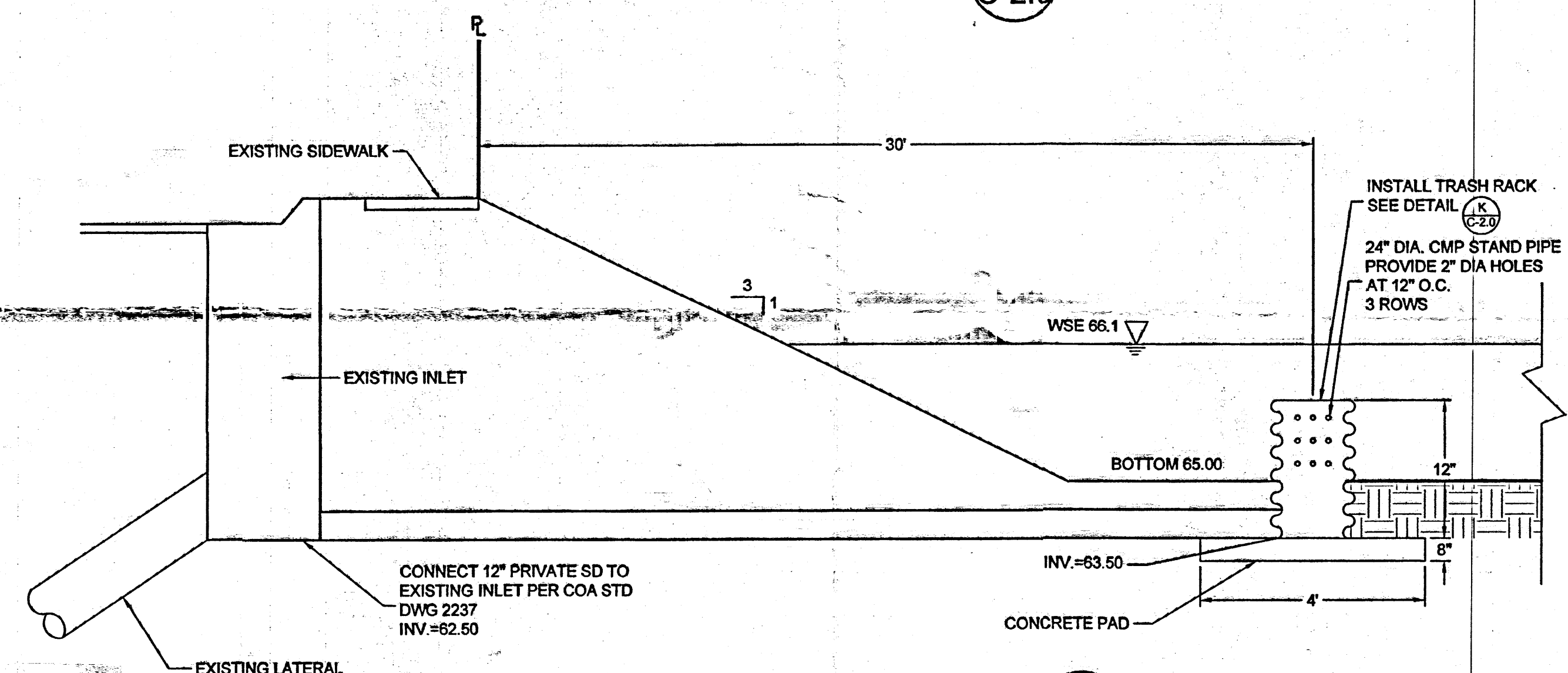
HC SIGN ASSEMBLY / BOLLARD DETAIL
NTS
F
C-2.0



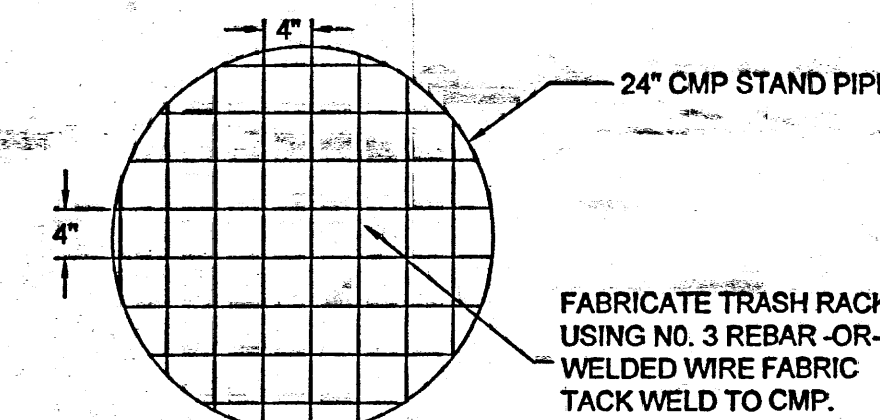
HANDICAP ACCESS RAMP - 1
NTS
G
C-2.0



HANDICAP ACCESS RAMP - 2
NTS
H
C-2.0



POND OUTLET DETAIL
NTS
J
C-2.0

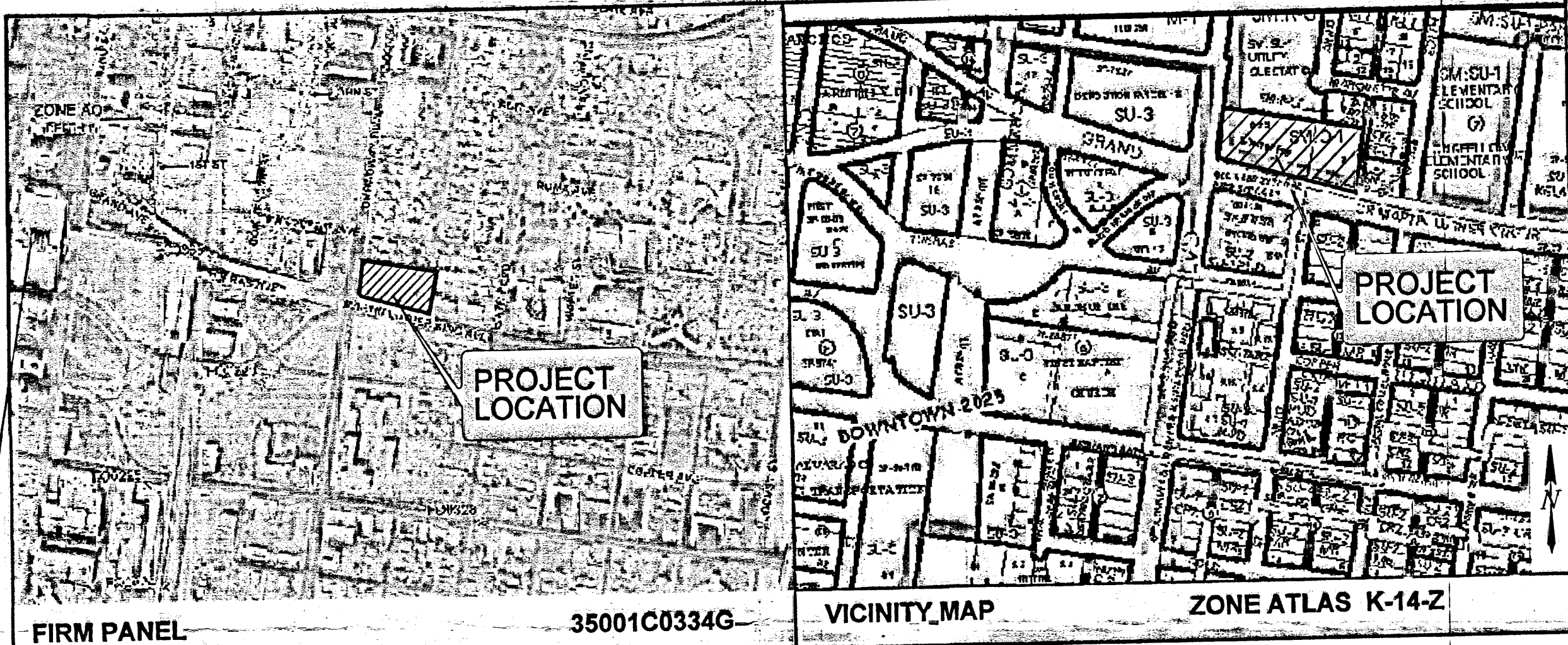


TRASH RACK DETAIL
NTS
K
C-2.0

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS: _____
INSPECTOR _____ DATE _____



KEYED NOTES

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK.
3. EXISTING DRIVEPAD TO REMAIN.
4. EXISTING ASPHALT PAVEMENT TO BE RECONDITIONED PER GEOTECHNICAL EVALUATION.
5. EXISTING CONCRETE TURNDOWN SIDEWALK.
6. EXISTING CONCRETE RETAINING WALL.
7. EXISTING HANDICAP RAMP.
8. EXISTING CONCRETE PAVEMENT.
9. EXISTING CONCRETE CURB.
10. EXISTING TRENCH DRAIN.
11. EXISTING STORM DRAIN.
12. EXISTING REFUSE PAD.
13. EXISTING LIGHT POLE TO REMAIN.
14. EXISTING LIGHT POLE TO BE RELOCATED.
15. RELOCATED LIGHT POLE.
16. DIRECTION OF ROOF DRAINAGE-TYPICAL.
17. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.
18. EXISTING CURB BLOCKOUTS (9) AT POND INLET TO REMAIN.
19. NEW 4-INCH WHITE PARKING STRIPE - TYP.
20. NEW HANDICAP PARKING SYMBOL PER CODE-TYP.
21. NEW PEDESTRIAN ACCESSIBLE ROUTE STRIPED PER CODE.
22. INSTALL HANDICAP PARKING SIGN ASSEMBLY. SEE SHEET C-2 FOR DETAILS - TYP.
23. INSTALL BIKE RACK.
24. REMOVE & DISPOSE EXISTING LANDSCAPING, CONCRETE CURBS AND PAVEMENT TO LIMITS SHOWN. INSTALL NEW ASPHALT PAVEMENT. SEE SHEET C-2 FOR DETAILS.
25. REMOVE AND REPLACE EXISTING CONCRETE PAVEMENT AS NECESSARY TO LIMITS SHOWN. SEE SHEET C-2 FOR DETAILS.
26. CONSTRUCT 6-INCH CONCRETE CURB. SEE SHEET C-2.0.
27. CONSTRUCT TURN DOWN SIDEWALK. SEE SHEET C-2.0.
28. CONSTRUCT HANDICAP RAMP AT PEDESTRIAN LINK. SEE SHEET C-2 FOR DETAILS.
29. REMOVE & DISPOSE EXISTING DAMAGED SIDEWALK. REPLACE WITH HANDICAP RAMP. SEE SHEET C-2 FOR DETAILS.
30. CONSTRUCT 24-INCH SIDEWALK CULVERT PER COA STD DWG 2238.
31. CONSTRUCT 12" STORM DRAIN WITH END SECTIONS.
32. CONSTRUCT 12" STORM DRAIN @ S=3.0%.
33. CONSTRUCT CMP STAND PIPE. SEE SHEET C-2.0 FOR DETAIL.
34. CONNECT 12" STORM DRAIN TO EXISTING STORM INLET PER COA STD DWG 2237.
35. REMOVE & DISPOSE EXISTING STORM DRAIN TO LIMIT SHOWN.
36. CUT EXISTING STORM DRAIN. INSTALL END SECTION @ NEW POND BOTTOM.

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
HEADER CURB		
CURB ELEVATIONS		
SPOT ELEV.		
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV.		
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
CONCRETE		
BLOCK WALL		
STORM INLET		
TREE		
DOWNSPOUT		
STORM DRAIN		

DRAINAGE PLAN NOTES

1. LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are finished grade or top of pavement, unless noted otherwise.
9. The City of Albuquerque has received its EPA MS4 Permit for stormwater quality with an effective date of March 1, 2012.

PROJECT DATA

SURVEY:
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HARRIS SURVEYING, INC., 2412 MONROE STREET NE ALBUQUERQUE, NEW MEXICO JANUARY 2015.

PROPERTY ADDRESS:
301 MARTIN LUTHER KING JR. BLVD NE, ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:
PARCELS 8 & 9, PLAT OF MARTINEZ PLAN PHASE 7

PROJECT BENCHMARK:
ACS MONUMENT "22_K14" HAVING AN ELEVATION OF 4,966.352.

