

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR ROAD AND CONSTRUCTION" 1986 EDITION AS AMENDED THROUGH UPDATE NO. 7.
3. BEFORE WORKING DATES PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
5. RAILCITY CONTRACTOR SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

FIRM PANEL **35001C0334G**

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK.
3. EXISTING DRIVEPAD TO REMAIN.
4. EXISTING ASPHALT PAVEMENT.
5. EXISTING CONCRETE TURNDOWN SIDEWALK.
6. EXISTING CONCRETE RETAINING WALL.
7. EXISTING HANDICAP RAMP.
8. EXISTING CONCRETE PAVEMENT.
9. EXISTING CONCRETE CURB.
10. EXISTING TRENCH DRAIN.
11. EXISTING STORM DRAIN.
12. EXISTING REFUSE PAD.
13. EXISTING LIGHT POLE TO REMAIN.
14. EXISTING LIGHT POLE TO BE REMOVED.
15. REMOVE & DISPOSE EXISTING CURB TO LIMITS SHOWN.
16. DIRECTION OF ROOF DRAINAGE-TYPICAL.
17. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.
18. EXISTING PUBLIC LIGHT POLE.
19. NEW 4-INCH WHITE PARKING STRIPE - TYP.
20. EXISTING HANDICAP PARKING SYMBOL PER CODE-TYP.
21. EXISTING PREDISTRAN ACCESSIBLE ROUTE STRIPED PER CODE.
22. EXISTING HANDICAP PARKING SIGN ASSEMBLY.
23. EXISTING BIKE RACK.
24. REMOVE & DISPOSE EXISTING LANDSCAPING, CONCRETE CURBS AND PAVEMENT TO LIMITS SHOWN. INSTALL NEW ASPHALT PAVEMENT. SEE SHEET C-2 FOR DETAILS.
25. REMOVE AND REPLACE EXISTING CONCRETE PAVEMENT AS NECESSARY TO LIMITS SHOWN. SEE SHEET C-2 FOR DETAILS.
26. CONSTRUCT 8-INCH CONCRETE CURB. SEE SHEET C-2.0.
27. CONSTRUCT TURN DOWN SIDEWALK. NO CURB. SEE SHEET C-2.0.
28. REMOVE & DISPOSE EXISTING CONC DRIVEPAD. REPLACE WITH 8" STD CURB & GUTTER AND SIDEWALK PER COA STD DWGS 2415A AND 2430.
29. 12 INCH STORM DRAIN TO BE PROVIDED BY CITY PROJECT NO. 785402.
30. CONSTRUCT 12 INCH END SECTION. SEE FOR DETAIL H/C-2.0.
31. CONSTRUCT HANDICAP RAMP @ 12.1. SEE SHEET C-2.0 FOR DETAILS.
32. EXISTING STEPS.
33. INSTALL CONCRETE TIRE STOP.
34. LOCATE AND CUT EXISTING STORM DRAIN. INSTALL END SECTION AT POND BOTTOM.
35. CONSTRUCT 8-INCH STORM DRAIN.
36. CONSTRUCT 12-INCH SIDEWALK CULVERT PER COA STD DWG 2236.

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
HEADER CURB		
CURB ELEVATIONS		
SPOT ELEV.		
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV		
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
CONCRETE		
BLOCK WALL		
STORM INLET		
TREE		
PHASE BOUNDARY		
DOWNSPOUT		
STORM DRAIN		

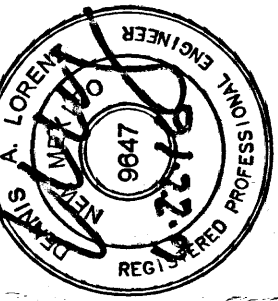
1. LDC recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. LDC assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes LDC to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. LDC recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are finished grade or top of pavement, unless noted otherwise.
9. The City of Albuquerque has received its EPA MS4 Permit for stormwater quality with an effective date of March 1, 2012.

SURVEY:
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HARRIS
SURVEYING, INC., 2412 MONROE STREET NE ALBUQUERQUE,
NEW MEXICO, JANUARY 2015.
PROPERTY ADDRESS:
301 MARTIN LUTHER KING JR. BLVD NE, ALBUQUERQUE,
NEW MEXICO
LEGAL DESCRIPTION:
PARCELS 8 & 9, PLAT OF MARTINEZ PLAN PHASE 7
PROJECT BENCHMARK
ACS MONUMENT "22_K14" HAVING AN ELEVATION OF 4,966.352.

LORENZ DESIGN & CONSULTING, LLC
Civil Engineering | Construction Management

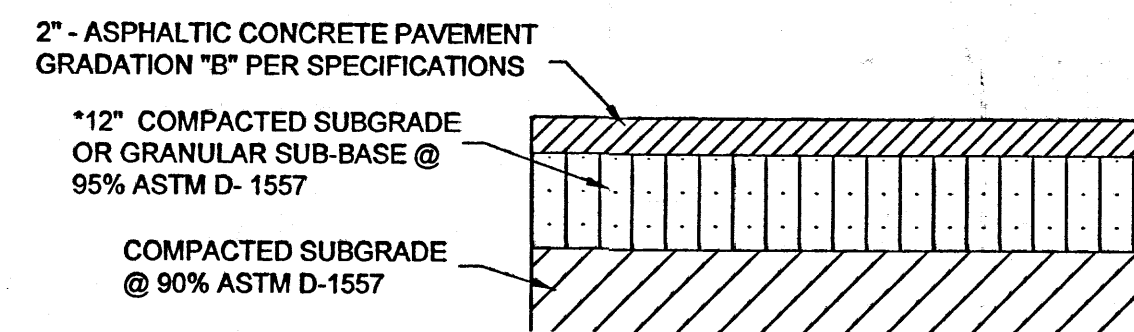
2501 Rio Grande Blvd NW, Suite A, Albuquerque, New Mexico 87104
Ph: 505-889-0038 Fax: 505-242-5955

JACKSON WINK ACADEMY MINIA GYM
AMENDED GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-034

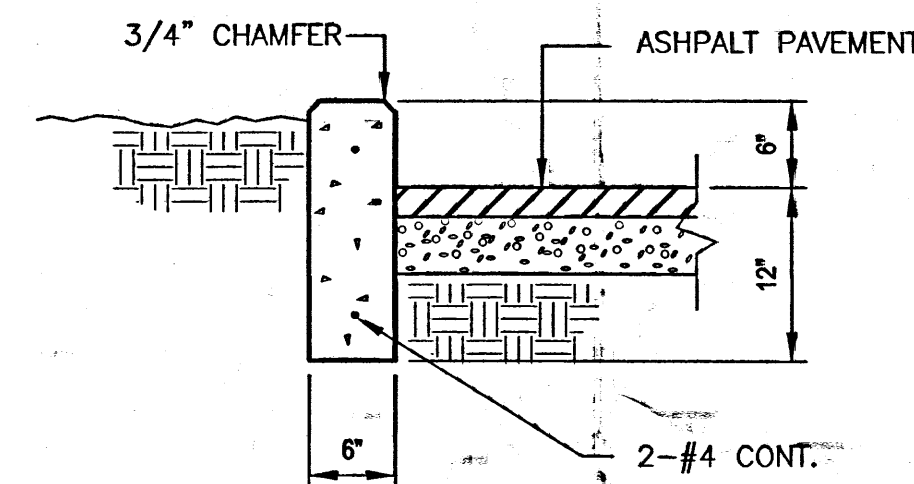


DATE
05/08/2015

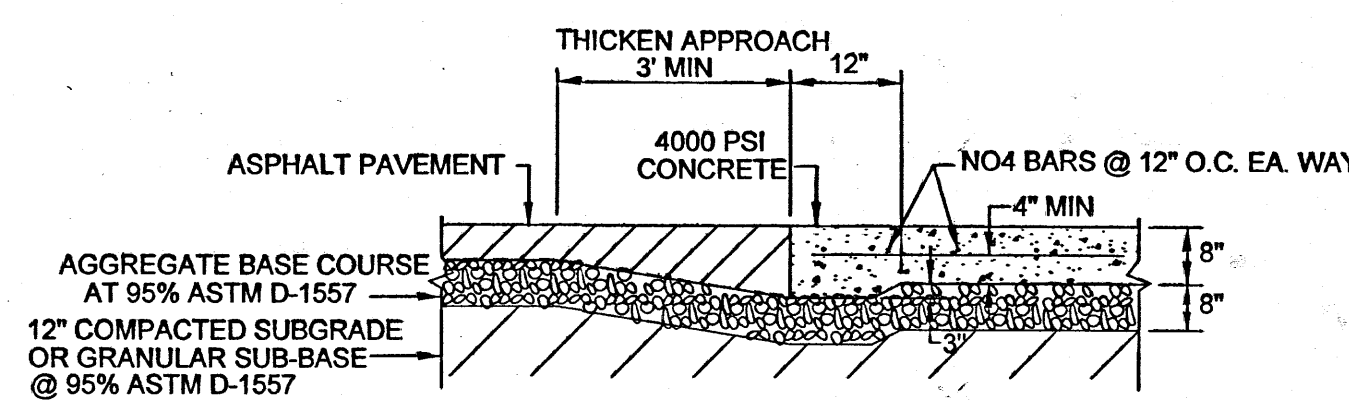
SHEET NUMBER
C-1.0



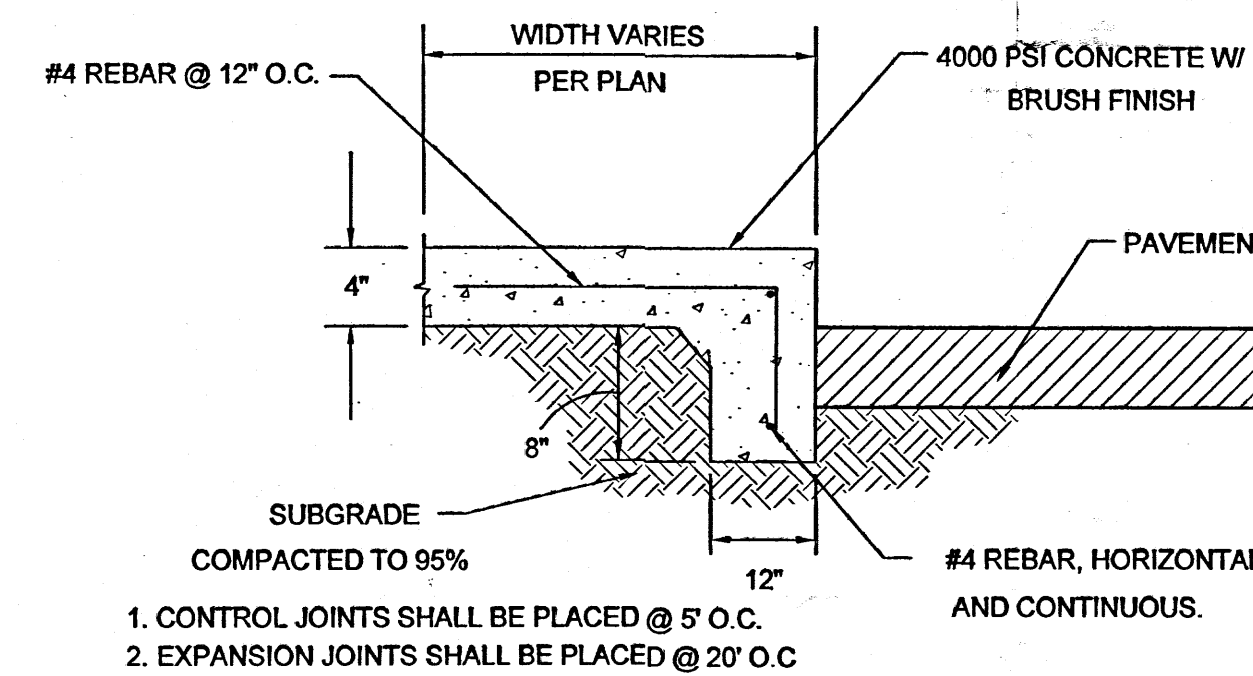
ASPHALT PAVEMENT SECTION A
AUTO/PICKUP TRUCK
NTS
C-2.0



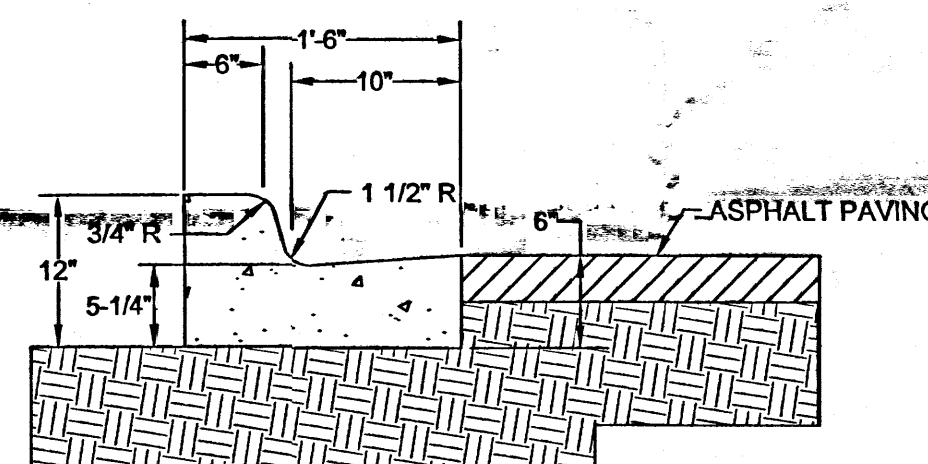
HEADER CURB DETAIL E
NTS
C-2.0



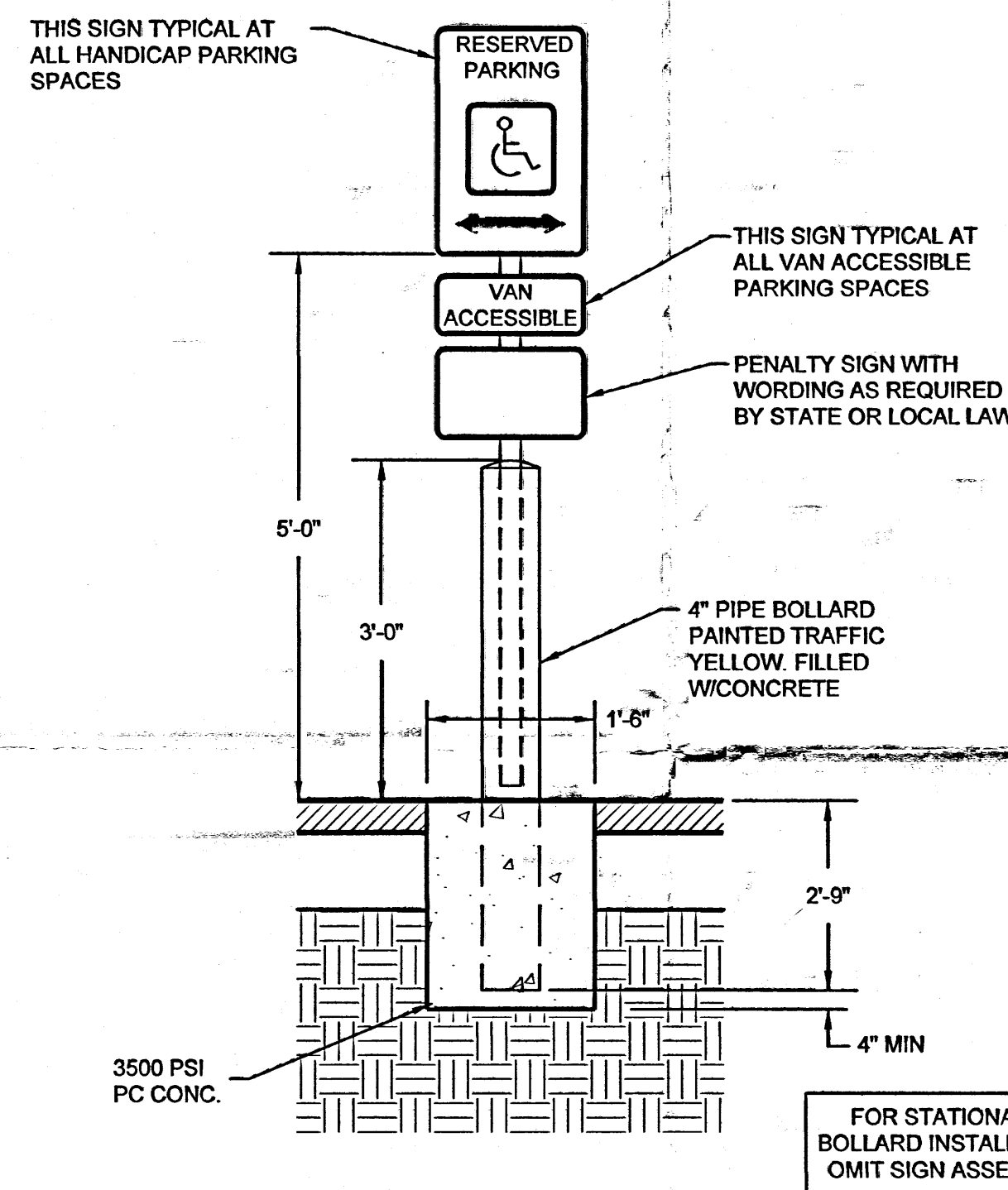
CONCRETE PAVEMENT SECTION B
NTS
C-2.0



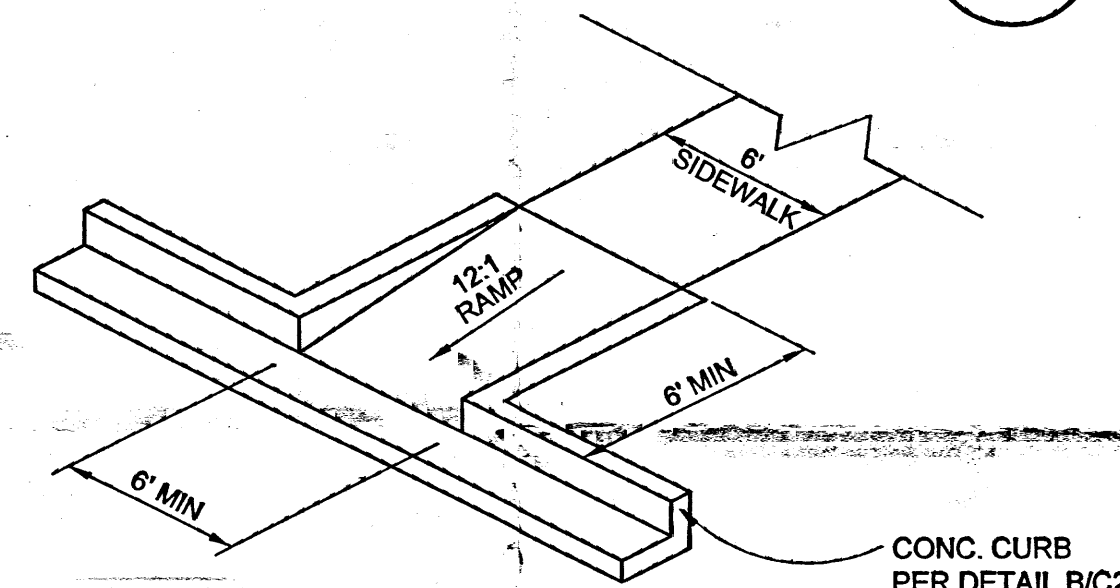
TURN DOWN SIDEWALK C
NTS
C-2.0



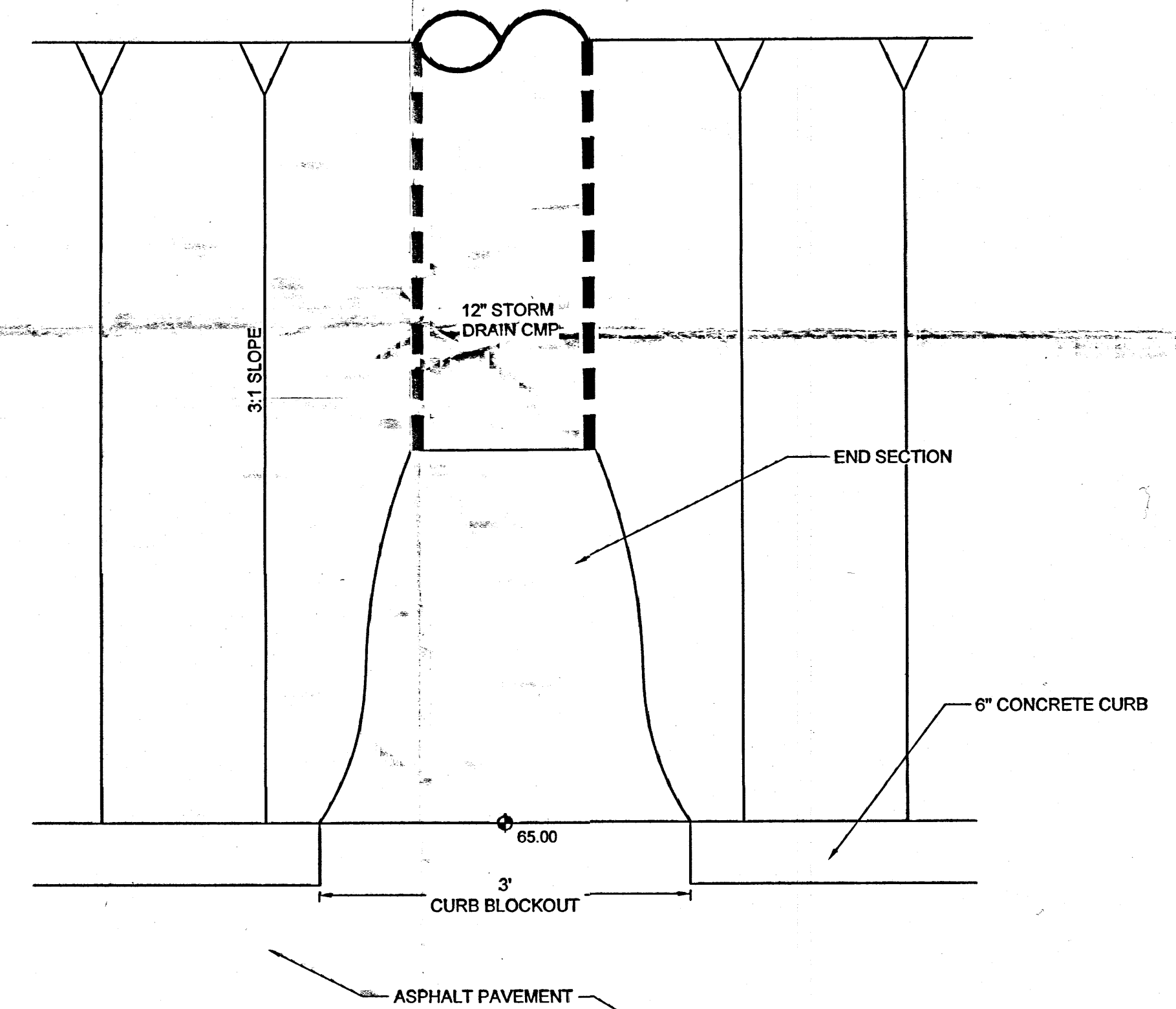
CONCRETE CURB AND GUTTER D
NTS
C-2.0



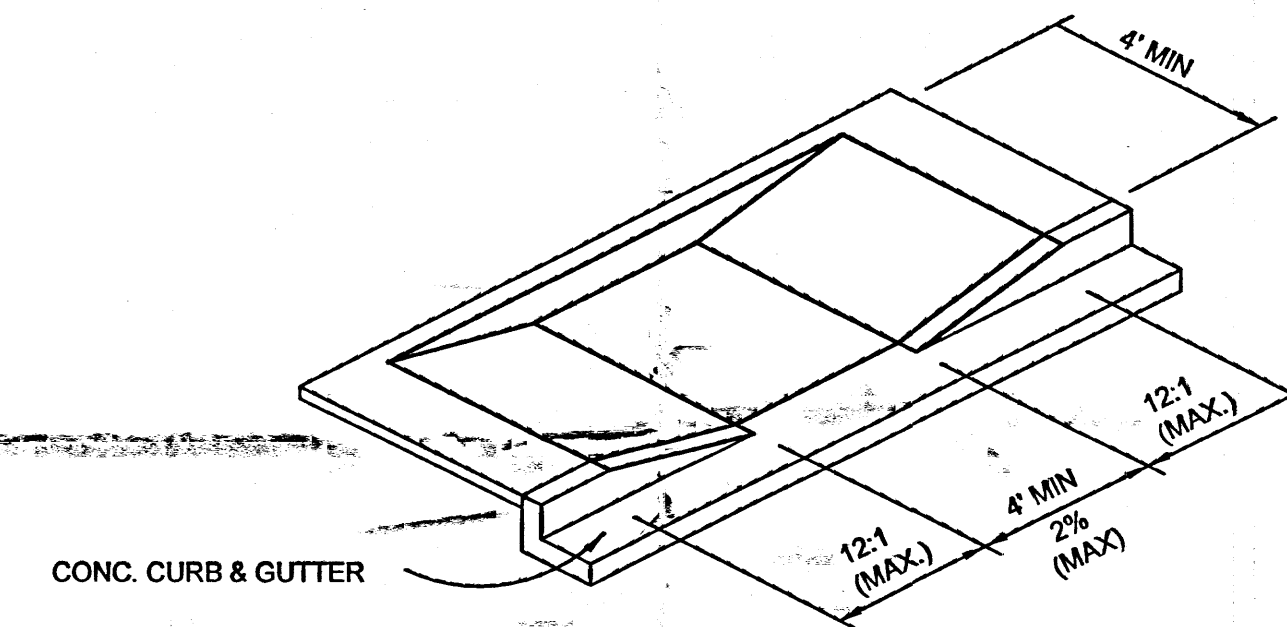
HC SIGN ASSEMBLY / BOLLARD DETAIL F
NTS
C-2.0



HANDICAP ACCESS RAMP - TYPE 1 G
NTS
C-2.0



POND OUTLET DETAIL H
NTS
C-2.0



HANDICAP RAMP DETAIL - TYPE 2 J
NTS
C-2