

# CITY OF ALBUQUERQUE



November 5, 2018

Masterworks Architects Inc.  
James B Clarke, R.A.  
516 11<sup>th</sup> St. NW  
Albuquerque, NM 87102

**Re: JW MMA Academy Apartments**  
**301 Martin Luther King Ave NW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 09-14-18 (K14D005)

Dear Mr. Clark

The TCL submittal received 11-2-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

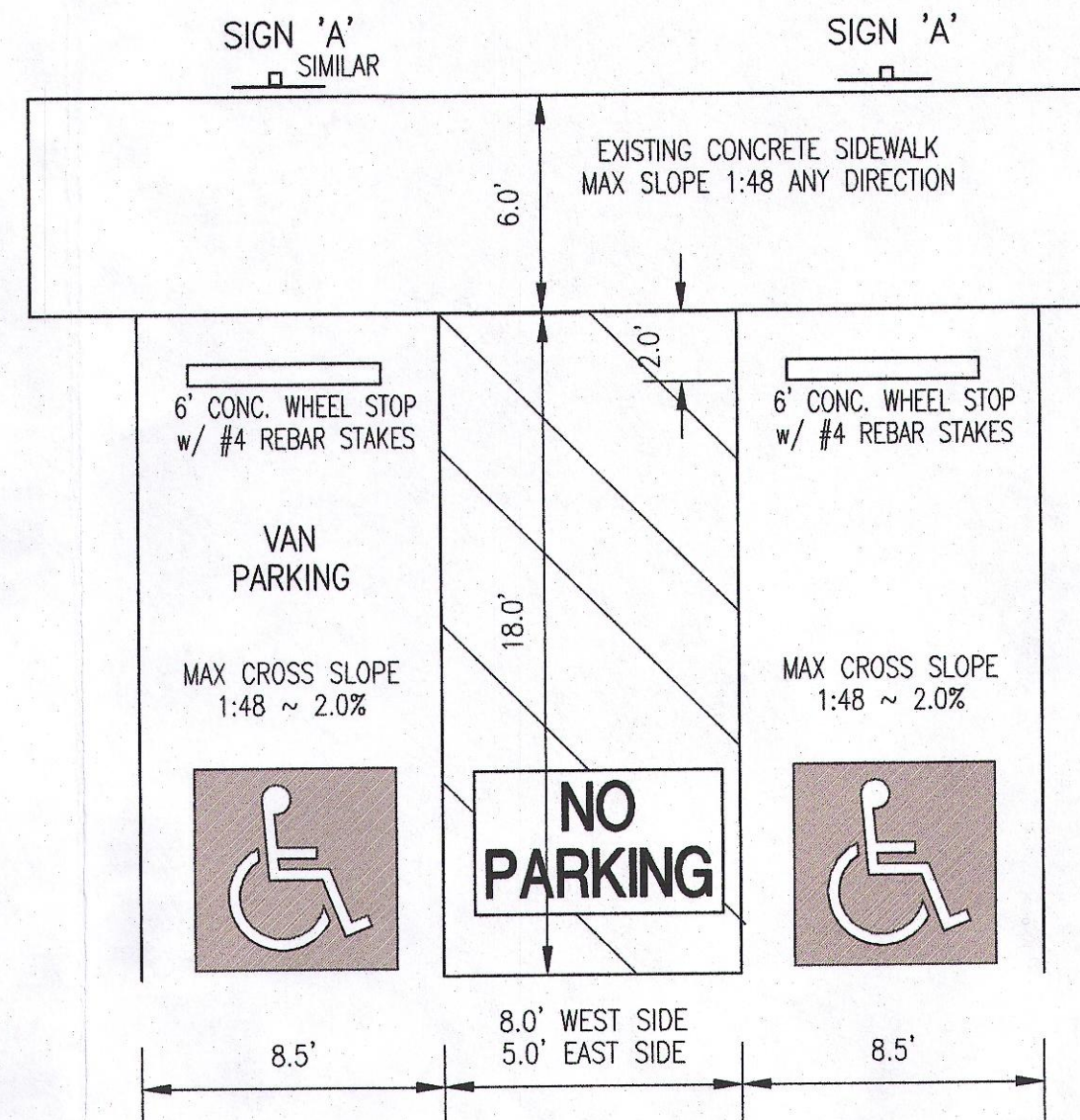
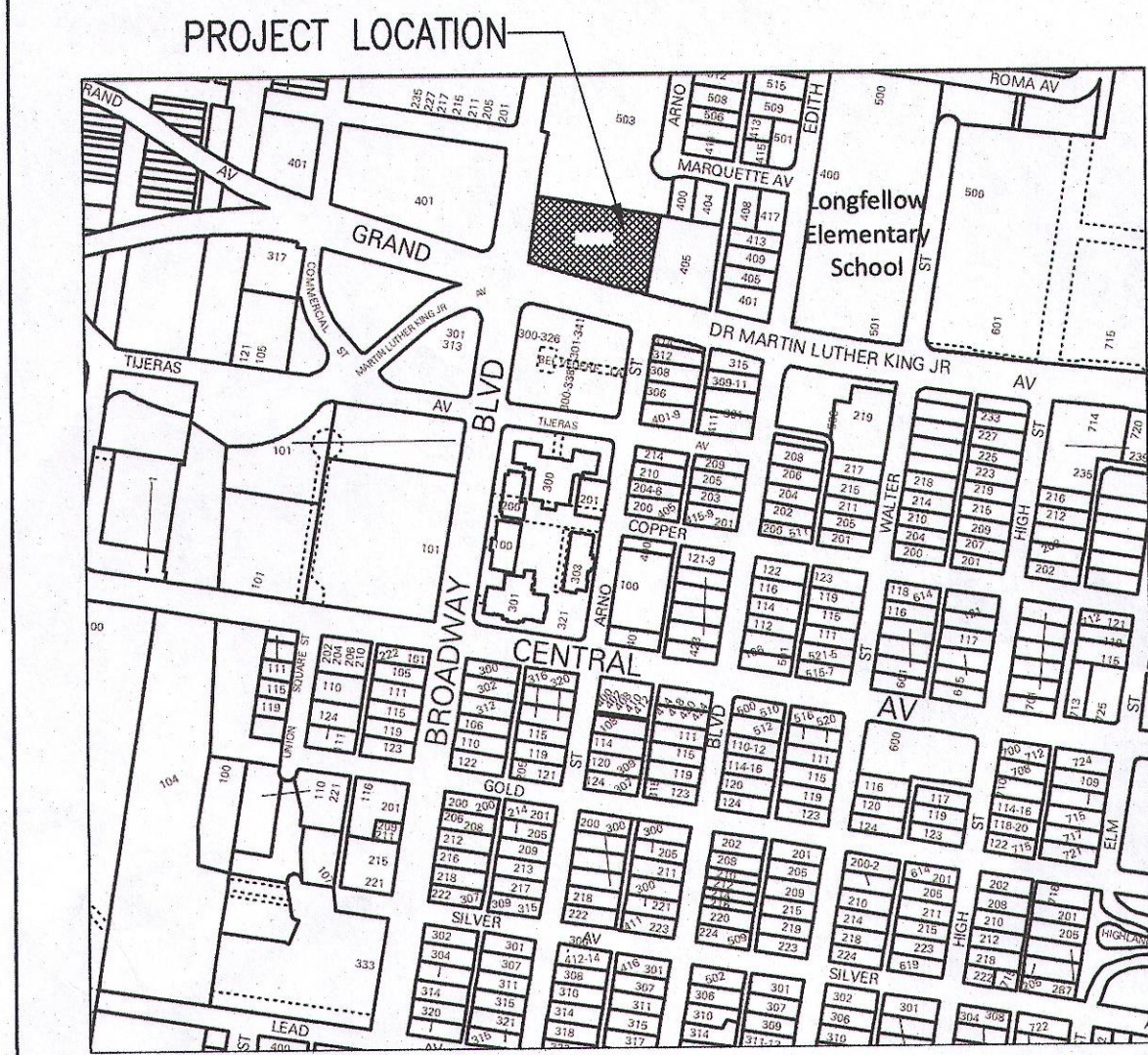
Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: File



# SITE LOCATION MAP



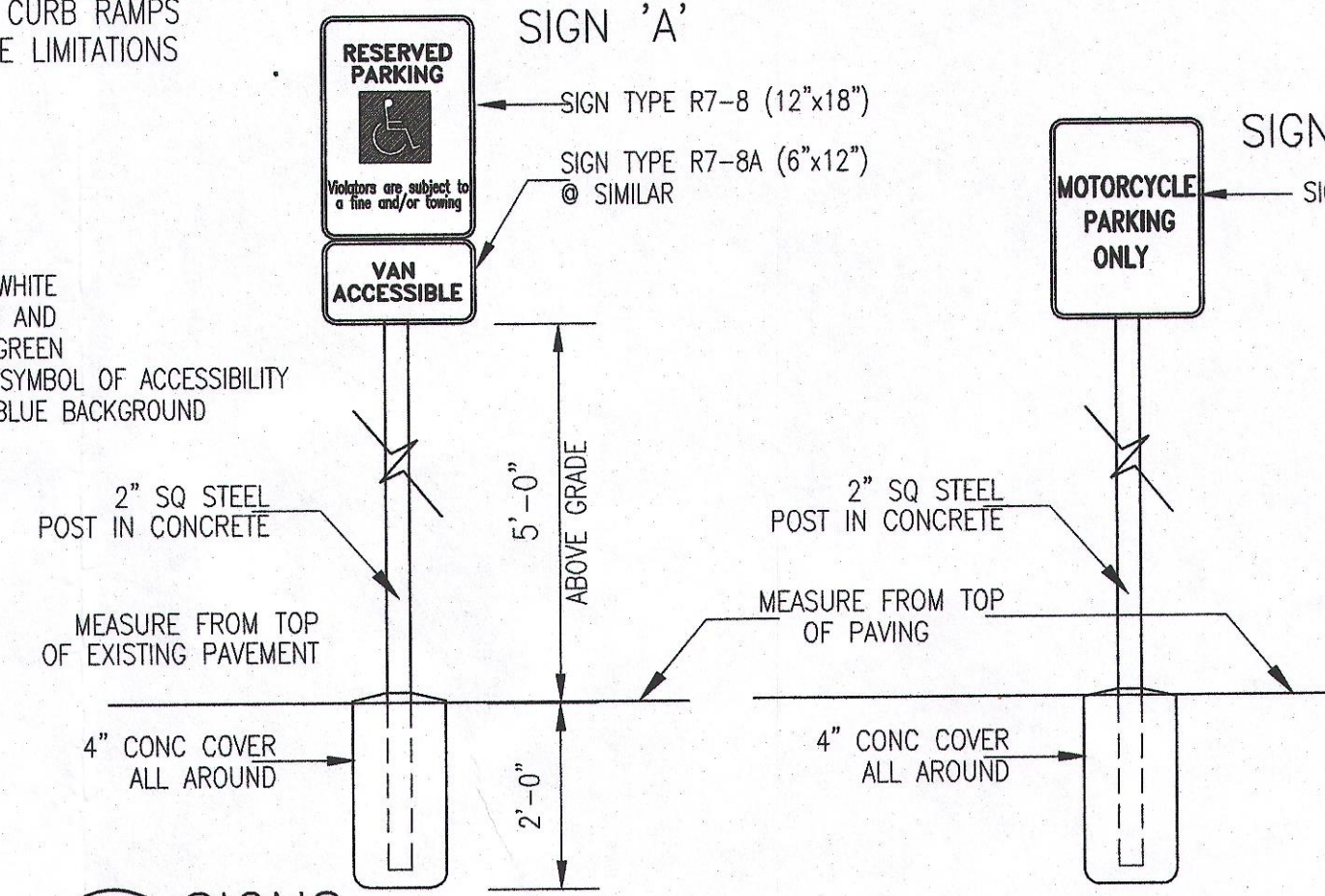
2 ACCESSIBLE PARKING DETAILS

NO SCALE

NOTE:  
PARKING SPACE LINES AND DIAGONAL STRIPES SHALL BE 4" WIDE, COLOR BLUE.  
"NO PARKING" TEXT SHALL BE 12" HIGH W/ 2" STROKE, COLOR BLUE.  
ACCESSIBLE SYMBOL SHALL BE COLOR WHITE ON A BLUE BACKGROUND.

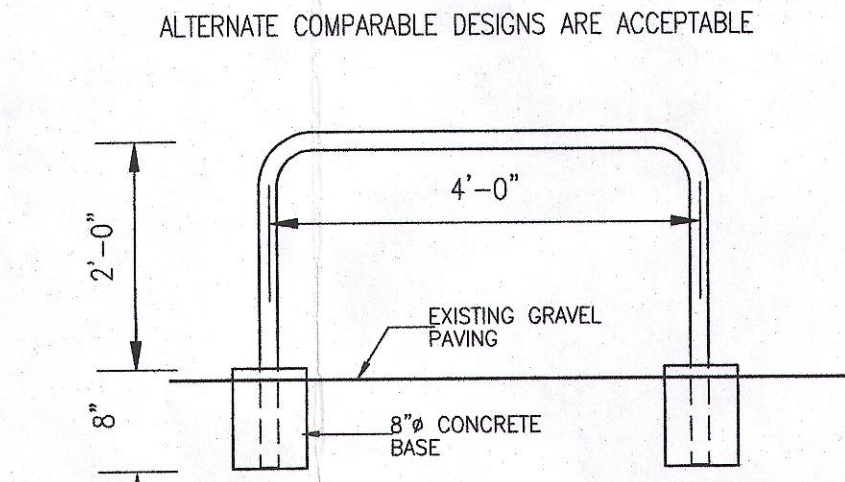
EXISTING ASPHALT PAVING AREAS AND CURB RAMPS  
COMPLY WITH DIMENSIONS AND SLOPE LIMITATIONS

ALL SIGN TYPES:  
-SIGN FIELD IS WHITE  
-SIGN LETTERING AND  
BORDER ARE GREEN  
-INTERNATIONAL SYMBOL OF ACCESSIBILITY  
IS WHITE ON BLUE BACKGROUND



3 SIGNS

NO SCALE



4 BIKE RACK DETAIL

NO SCALE

## PARKING COMPREHENSIVE ZONING CODE

### EXISTING CURRENT OCCUPANCIES:

FIRST FLOOR -		
GYMNASIUM AREA	54 MEMBERS / 3	18 SPACES
GENERAL RETAIL	999 SF / 200	5 SPACES
CAFE SEATING	8 SEATS / 4	2 SPACES
RESIDENTIAL AREAS		
4 DORMITORY BEDS	1 SPACE / 3 PERSONS	2 SPACES
SECOND FLOOR -		
BUSINESS AREAS	4,260 SF / 300	15 SPACES
RESIDENTIAL AREAS		
7 APARTMENTS	1.5 SPACES / DWELLING UNIT	10 SPACES
15 DORMITORY BEDS	1 SPACE / 3 PERSONS	5 SPACES
SUBTOTAL EXISTING REQUIRED SPACES		57 SPACES

### THIS PROJECT NEW OCCUPANCIES:

RESIDENTIAL AREAS		
9 APARTMENTS	1.5 SPACES / DWELLING UNIT	13 SPACES
SUBTOTAL NEW REQUIRED SPACES		13 SPACES

TOTAL REQUIRED SPACES THIS PROJECT: 70 SPACES

PARKING REDUCTIONS - 10% BUS ROUTE PROXIMITY < 7 SPACES>

ADJUSTED MINIMUM SPACES REQUIRED 63 SPACES

TOTAL SPACES PROVIDED THIS PROJECT: 63 SPACES

TOTAL MOTORCYCLE SPACES 4 SPACES

### OTHER PARKING REQUIREMENTS:

ACCESSIBLE PARKING		4 SPACES
(CARS 2 SPACES REQD. -2 SPACES PROVIDED)		
(VANS 1 SPACE REQD. -2 SPACES PROVIDED)		
MOTORCYCLES 3 SPACES REQD.		4 SPACES
BICYCLES 2 SPACES REQD. FOR CUSTOMERS		2 SPACES
RESIDENTS: 6 SPACES REQD. -PROVIDED INTERIOR COMMON AREAS		

## KEYED NOTES

### EXISTING IMPROVEMENTS:

- HANDICAP CURB RAMP
- CURB & GUTTER
- CONCRETE SIDEWALKS
- AREA LIGHTING
- ASPHALT PAVING
- CONCRETE PAVING
- GRAVEL PAVING
- ACCESSIBLE PARKING AREA
- ACCESSIBLE ROW ACCESS PATH
- DUMPSTER ENCLOSURE
- LANDSCAPE AREA
- DETENTION POND
- BUS STOP SHELTER
- WATER METER
- FIRE HYDRANT
- POST INDICATOR VALVE
- GAS METER
- TRANSFORMER

### NEW IMPROVEMENTS:

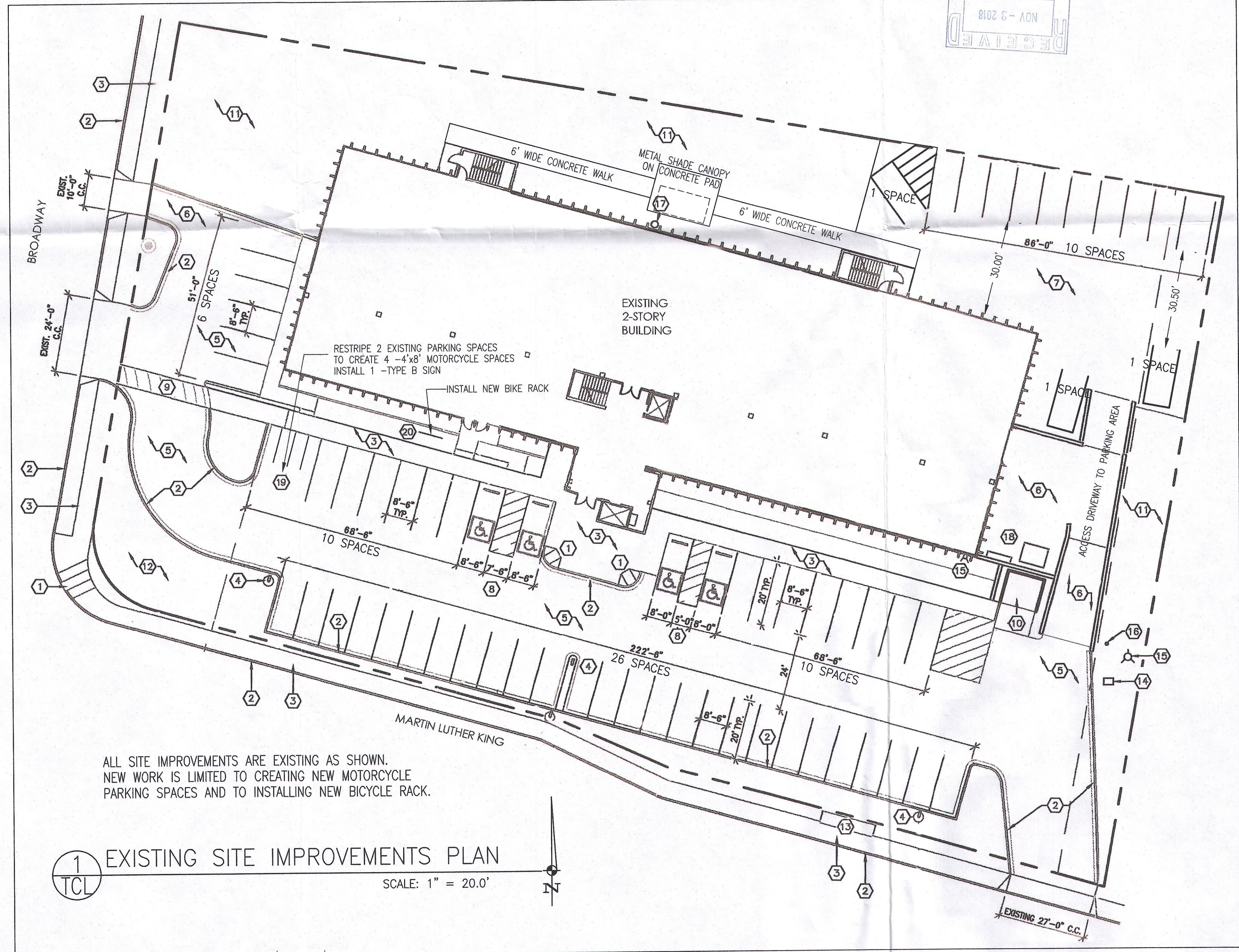
- MOTORCYCLE PARKING
- OUTDOOR BIKE RACK



ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

## LEGAL DESCRIPTION

301 MARTIN LUTHER KING AV NE  
LOT: 8 & 9; BLOCK: 0000:  
SUBDIVISION: MARTINEZTOWN PLAN PHASE 7  
ZONING: SM  
ZONING DESCRIPTION: O-1  
ZONE MAP: K14  
UPC: 101405741449513702



1 EXISTING SITE IMPROVEMENTS PLAN

SCALE: 1" = 20.0'

MASTERWORKS  
ARCHITECTS, INC  
516 ELEVENTH ST NW 242-1866  
ALBUQUERQUE, NEW MEXICO 87102

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FILE # 1811SITE-TCL  
2 NOV 2018

APARTMENT REMODEL OF THE  
JW MMA ACADEMY  
301 MARTIN LUTHER KING AV NE  
ALBUQUERQUE, NM 87102

TRAFFIC CIRCULATION  
LAYOUT PLAN

SHEET  
TCL  
1 OF 1





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: JW MMA Academy Apartments Building Permit #: BP-2018-10782 Hydrology File# K14D005

DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ Work Order# \_\_\_\_\_

Legal Description: Lots 8 & 9, Blaoc 0000, Martineztown Plan Phase 7

City Address: 301 Martin Luther King Av NE

Applicant: Masterworks Architects Inc Contact: Jim Clark

Address: 516 11th St. NW, Albuquerque, NM 87102

Phone#: 505-242-1866 Fax#: NA E-mail: MWArchitect@comcast.net

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

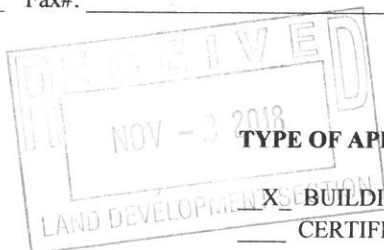
Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/DRAINAGE  
☒ TRAFFIC/TRANSPORTATION

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?



### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB 'D' APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No ☐ OTHER (Specify) \_\_\_\_\_

DATE SUBMITTED: 2 November 2018

By: James B Clark

COA STAFF

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_ [ PLNDRS@cabq.gov ]

FEE PAID: \_\_\_\_\_

MW Project 1811  
30 October 2018

Traffic Engineering  
Development Review Services  
600 2<sup>nd</sup> St NW,  
Albuquerque, NM

Re: JW MMA Academy Apartments BP-2018-10782  
301 Martin Luther King Av NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 09-14-18 (K14D005)

Attached are copies of the existing approved TCL dated 14 September 2018.

Zoning has revised the Parking Requirements calculation for this project which has resulted in the number of required parking spaces being changed from 60 spaces to 63 spaces.

The Site Layout Plan and the TCL Plan have been revised to add three parking spaces in the existing gravel paved parking area in the northeast corner of the property.

This submittal is a request for a review and approval of this revised TCL layout.

Respectfully submitted:



James B Clark, President



Encl: TCL K14D005\_TCL\_Approval Letter, September 18, 2018  
PDF File 1811SITE-TCL-30Oct18.pdf via email PLNDRS@cabq.gov



**MASTERWORKS ARCHITECTS, INC**

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505-242-1866 • MWArchitect@comcast.net