



121 Tijeras

WAS APPROVED FOR 4' HIGH
CMU BLOCK OR
FENCE FACED

W/STUCCO FAÇADE / FRONT
FACING STREETS.
KJ — 6.30.15

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

Thursday, July 02, 2015

Aaron Bohrer
Zocalo LLC
428 Sandoval St.
Santa Fe, NM 87501

**Re: State of New Mexico Environment Department-Springer Building
(Resubmittal)
121 Tijeras Ave. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 7-2-15 (K14-D036)**

Dear Mr. Bohrer,

The TCL submittal received 7-2-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

This project will require a City of Albuquerque approved licensed and bonded contractor to obtain a Barricading Permit and complete required ADA pedestrian walkway improvements.

Albuquerque

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

New Mexico 87103

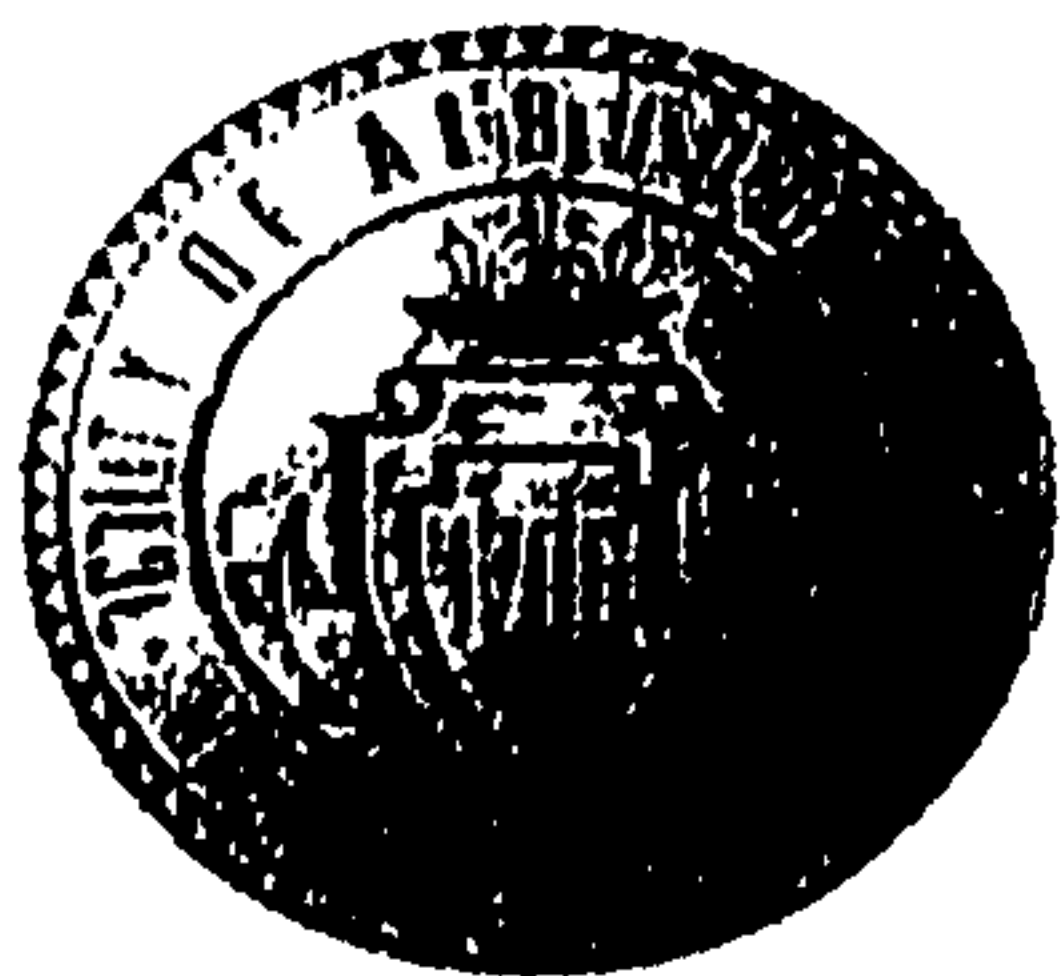
www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Resubmittal

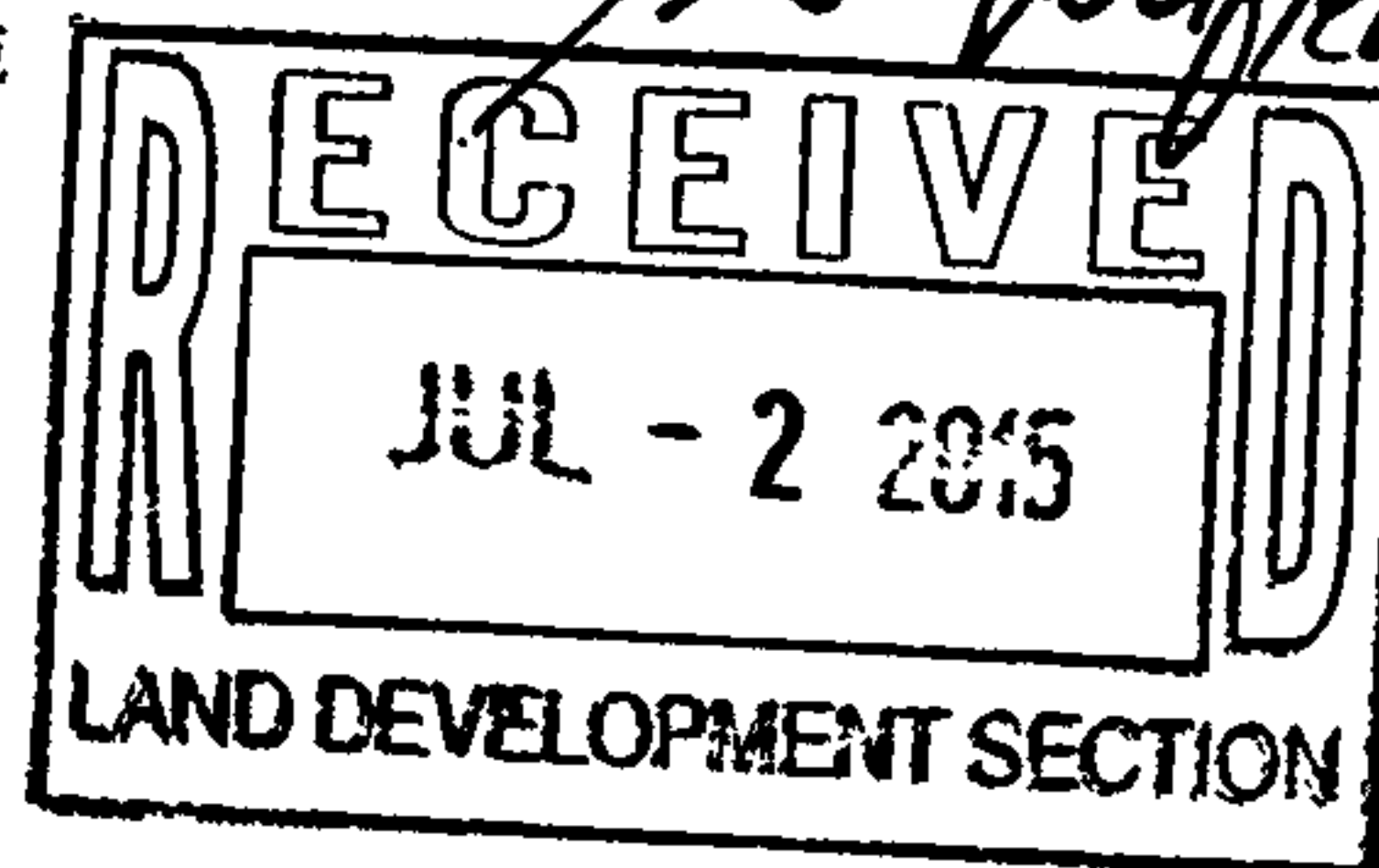
Project Title: PARKING LOT / TEMP USE Building Permit #: _____ City Drainage #: K140036
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: TRACT "B" BLOCK 1 MUNICIPAL ADDITION / CITY ABQ BERNALILLO
 City Address: 341 BROADWAY BLVD. N.E. OR 121 TIJERAS
 Engineering Firm: ABQ ENGINEERING Contact: CRAIG HALLGANTZ
 Address: 8102 MENAUL BLVD. NE SUITE D
 Phone#: (505) 255-7802 Fax#: _____ E-mail: WWW.abqeng.com
 Owner: ZOCOLO Contact: AARON BOHRER
 Address: 468 SANDOVAL STREET
 Phone#: (505) 984-1766 Fax#: _____ E-mail: aaron@zydecob6.com
 Architect: ZOCOLO / AARON BOHRER Contact: AARON BOHRER
 Address: _____
 Phone#: (505) 9841766 Fax#: _____ E-mail: aaron@zydecob6.com
 Surveyor: DAUG SMITH LAND SURVEYING Contact: DAUG SMITH
 Address: _____
 Phone#: (505) 255-5577 Fax#: _____ E-mail: JSMITH02@COMCAST
 Contractor: AIC-GC Contact: DAVID SHAPPER Net
 Address: 2703 BROADBENT PKWY SUITE G
 Phone#: (505) 343-1498 Fax#: (505) 343-1491 E-mail: david@aic-gc.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

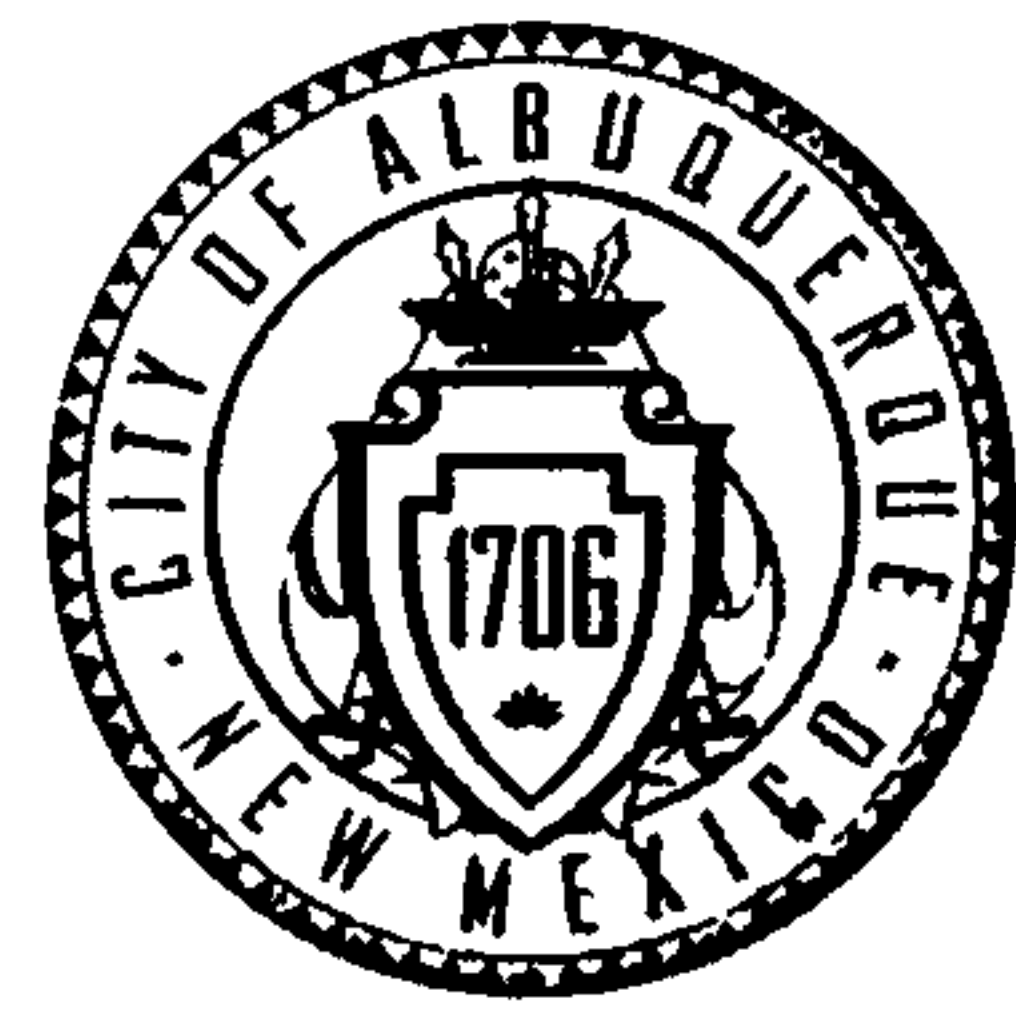
DATE SUBMITTED: 7/2/15

By: AARON BOHRER *Aaron Bohrer*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

Friday, June 26, 2015

Aaron Bohrer
Zocalo LLC
428 Sandoval St.
Santa Fe, NM 87501

**Re: State of New Mexico Environment Department-Springer Building
121 Tijeras Ave. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-23-15 (K14-D036)**

Dear Mr. Bohrer,

The TCL submittal received 6-23-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

This project will require a City of Albuquerque approved licensed and bonded contractor to obtain a Barricading Permit and complete required ADA pedestrian walkway improvements.

Albuquerque

New Mexico 87103

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www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

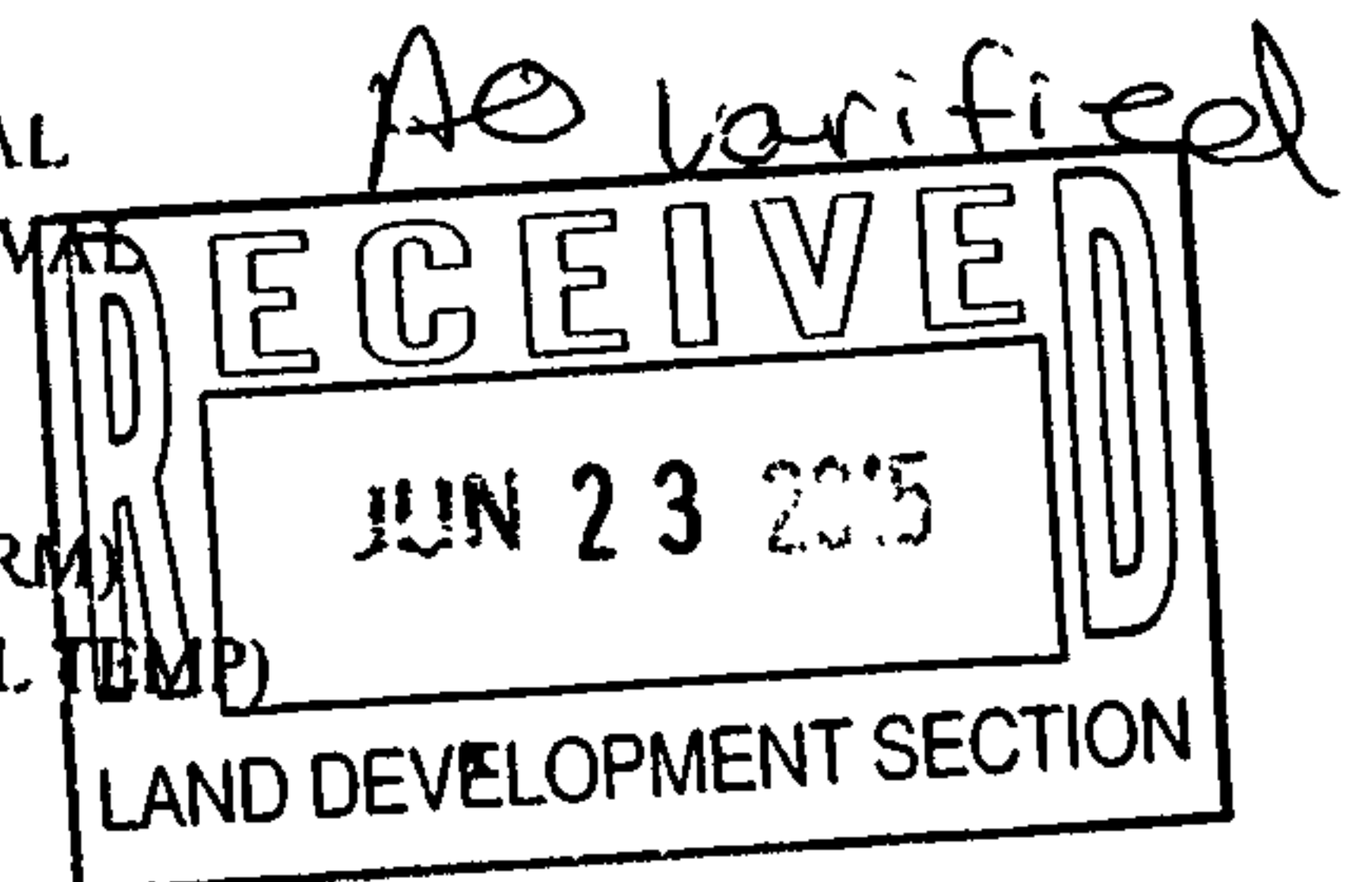
Project Title: TEMP. PARKING LOT Building Permit #: _____ City Drainage #: K14D036
DRM#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT B OF MUNICIPAL LOT 13 (SEE SURVEY)
City Address: 341 BROADWAY BLVD. N.E. 121 TUCERAS
Engineering Firm: ABO ENGINEERING Contact: CRAIG HAZELGANTZ
Address: 2102 MENAUL BLVD. N.E. SUITE D ABQ. NM
Phone#: (505) 255-7802 Fax#: NA E-mail: chazelgantz@aboeng.com
Owner: ZOCOLO Contact: _____
Address: 428 SANDOVAL STREET, SANTA FE, NM 87501
Phone#: 505-984-1760 Fax#: ~ E-mail: _____
Architect: ZOCOLO / AARON BOHRER AIA Contact: _____
Address: 428 SANDOVAL STREET SANTA FE, NM 87501
Phone#: 505-984-1760 Fax#: ~ E-mail: aaron@zycocolo.com
Surveyor: DOUG SMITH LAND SURVEYING Contact: DOUG SMITH
Address: 2121 SAN MATEO N.E. ABQ. NM 87110
Phone#: 505-255-5577 Fax#: ~ E-mail: JSMITH02@comcast.net
Contractor: AIC-GC Contact: DAVID SHAFFER
Address: 2703 BROADBENT PKWY SUITE G
Phone#: 505-343-1498 Fax#: 505-343-1491 E-mail: david@aic-gc.com

TYPE OF SUBMITTAL:

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☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY)

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☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

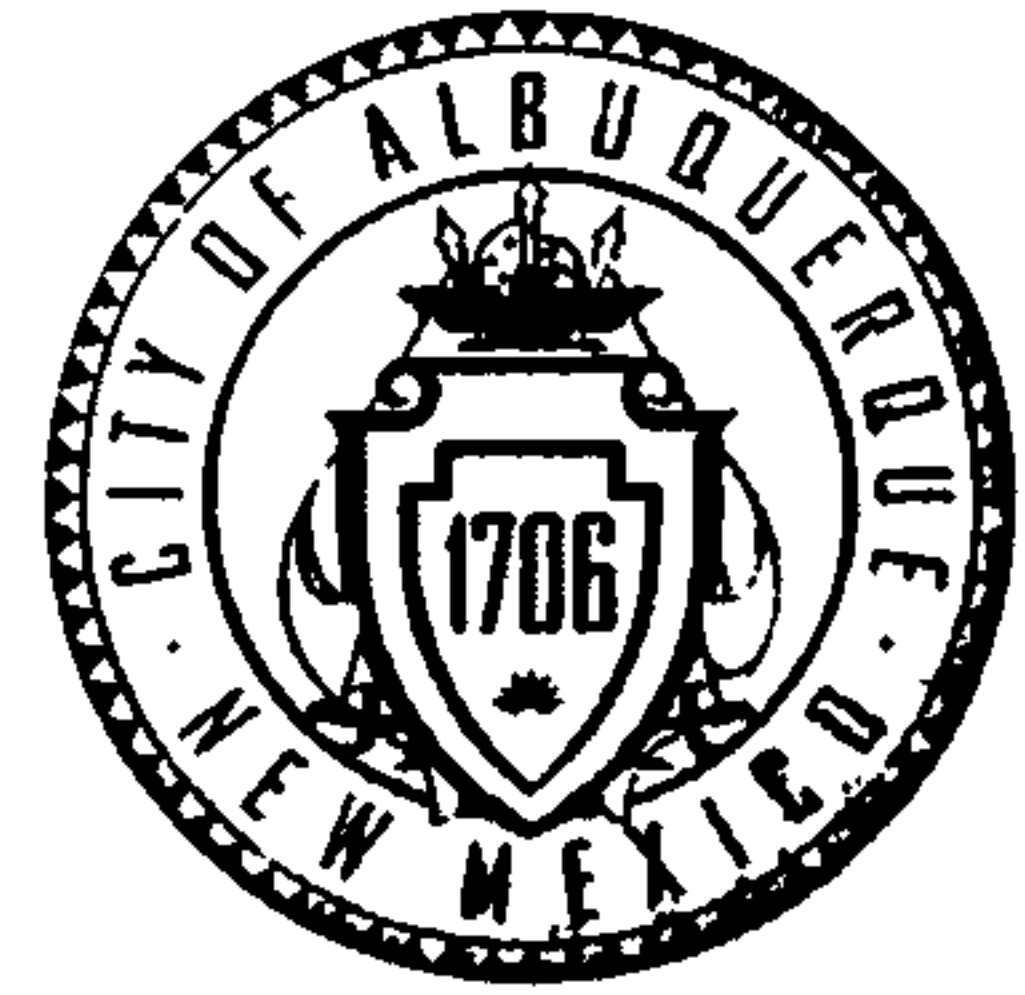
DATE SUBMITTED: 6/23/2015

By: [Signature] No Copy Provided

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

May 21, 2015

Aaron Bohrer
Zocalo LLC
428 Sandoval St.
Santa Fe, NM 87501

**Re: State of New Mexico Environment Department-Springer Building
121 Tijeras Ave. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-20-15 (K14-D036)**

Dear Mr. Bohrer,

Based upon the information provided in your submittal received 5-12-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

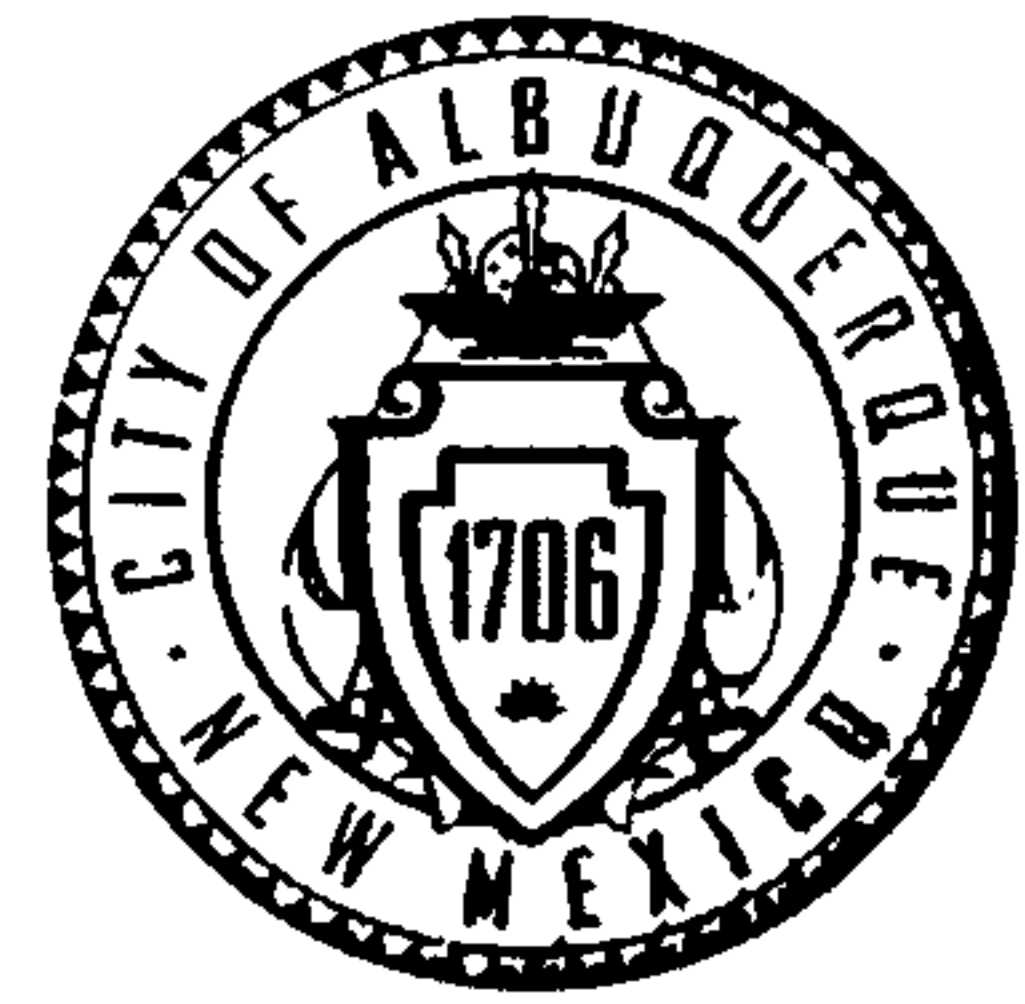
Albuquerque

New Mexico 87103

www.cabq.gov

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Label new lot as "Overflow Parking".
3. Clarify the extents of the current phase. Please label existing buildings.
4. Please clarify the use of temporary parking. Is it be used just during construction?
5. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
6. Identify all existing access easements and rights of way with dimensions.
7. Identify the right of way width, medians, curb cuts, and street widths on Tijeras Ave., Dr. Martin Luther King Jr.Ave., and Commercial St.
8. The lot must be graded and surfaced with blacktop or equal: Two inches of asphalt concrete on a prime coat over a four inch compacted subgrade, or a surface of equal or superior performance characteristics. If street curbs and gutters exist adjacent to the parking lot property on a side where lot egress is allowed, the surfacing shall be blacktop for the width of the egress drive(s) and shall extend inward from the property line a minimum of 25 feet along all normal lines of egress traffic flow from the lot. All paving shall be maintained level and serviceable (i.e. no potholes). The City Engineer will have to approve a grading and drainage plan before the asphalt can be installed.

CITY OF ALBUQUERQUE



9. For parking lots of 20 or fewer spaces: A layer at least two inches thick of gravel sized from 3/8 minimum to one inch maximum diameter, at least ½ inch of which shall be maintained on the surface; gravel shall be kept off the right-of-way.
10. A parking lot shall include landscaping planted and maintained according to a Landscaping Plan approved by the Planning Director; however, the Planning Commission may waive this requirement where it is found not useful to achieving the intent of this Zoning Code.
11. The lot shall have barriers which prevent vehicles from extending over the sidewalk or abutting lots, or beyond the sides of a parking structure. The plans do already address providing concrete vehicular wheel stops.
12. Please list the width and length for all existing and proposed parking spaces. Please clearly detail how each parking space is to be marked and if there will be curb stop or car parking bumpers installed in each parking space. The minimum parking space width is 8.5 ft.
13. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show a detail of the existing ADA signs.
14. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
15. Show all drive aisle widths and radii.
16. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger
17. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from the proposed temporary parking.
18. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show the ADA pedestrian pathway from the existing and proposed parking to the building entrance.
19. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
20. Please provide a sight distance exhibit for entrance off of Broadway Blvd. (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).

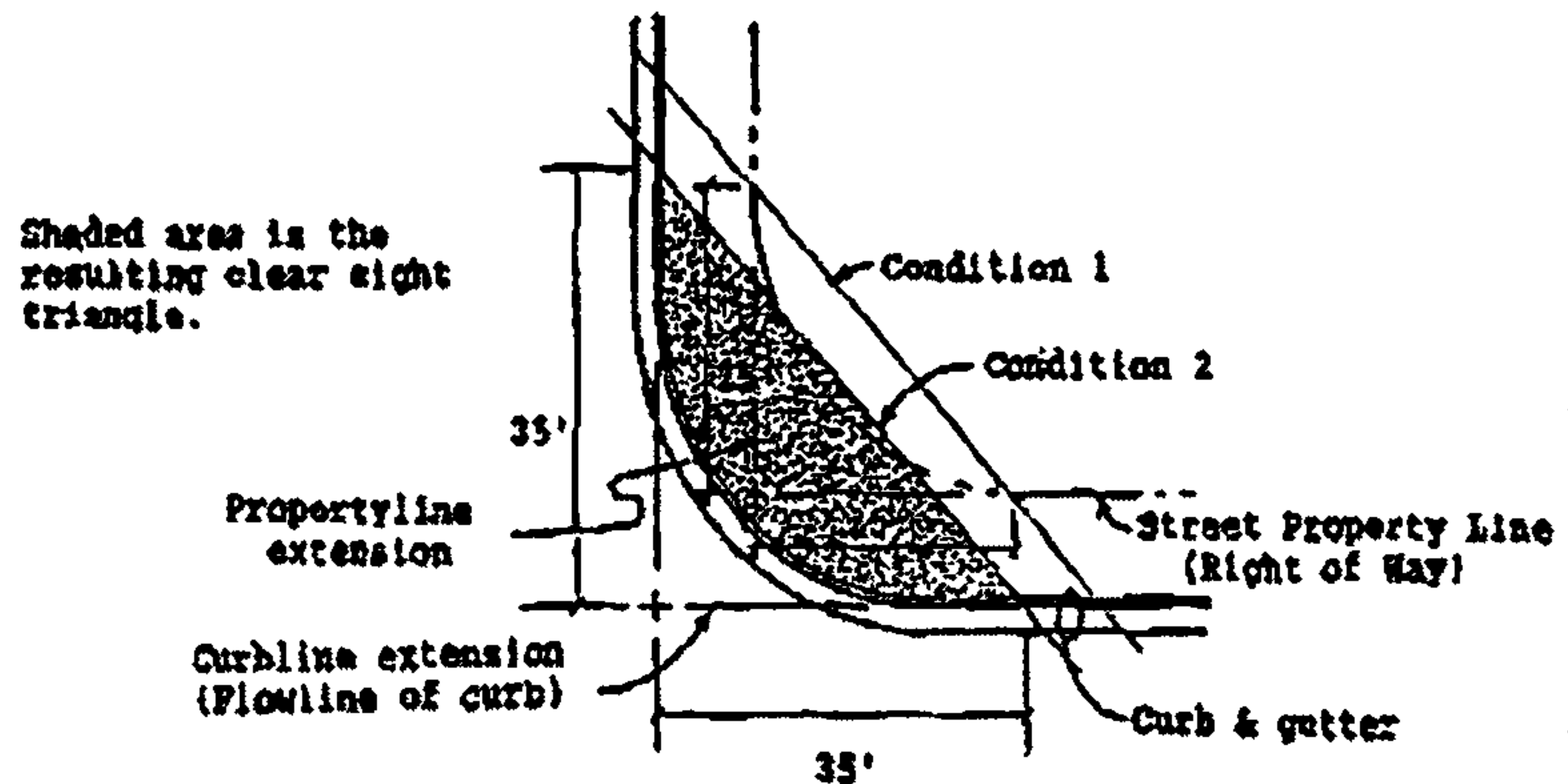
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



21. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
22. Please specify the City Standard Drawing Number when applicable.
23. Work within the public right of way requires a work order with DRC approved plans.
24. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
25. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

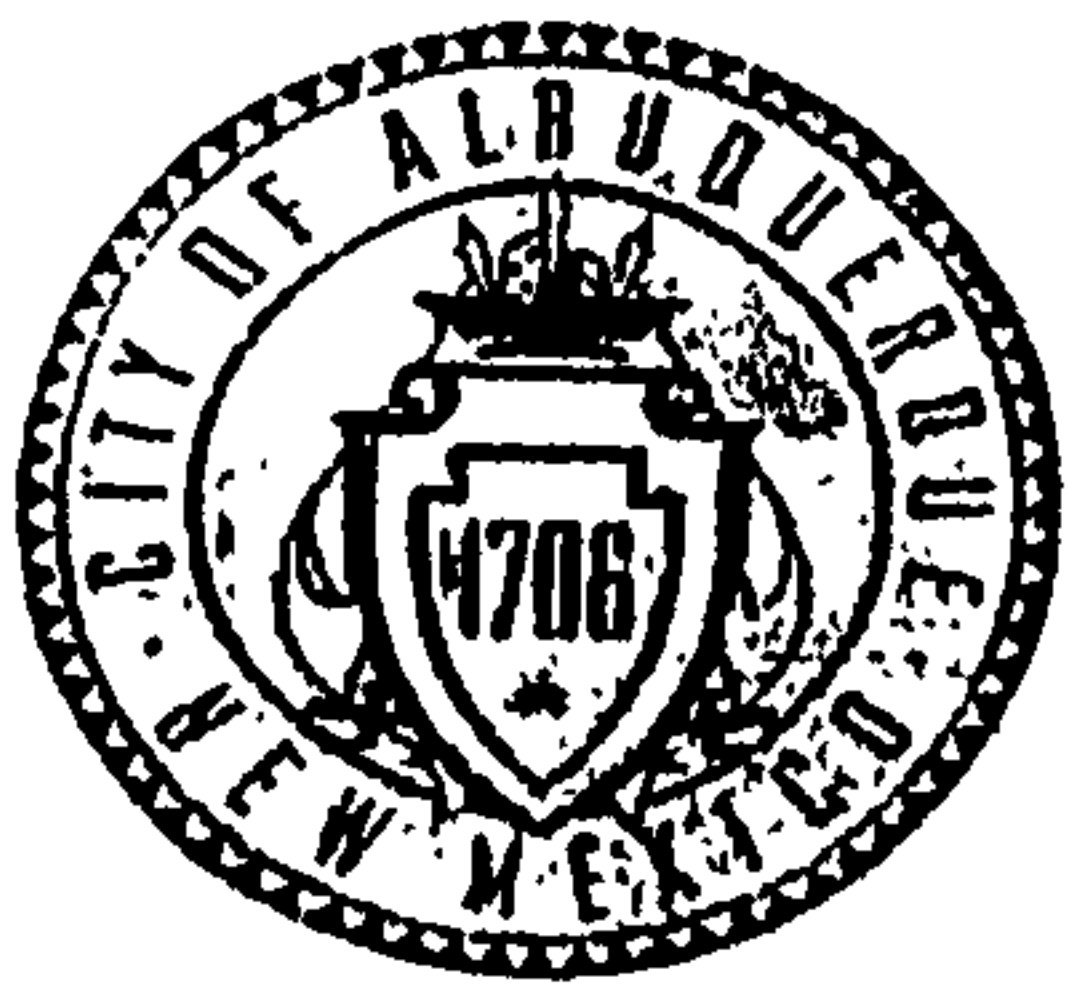
www.cabq.gov

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: STATE Environment Dept parking LOT Building Permit #: _____ City Drainage #: K14DO36
DRB#: _____ FPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 121 Tijeras Ave. NE

Engineering Firm: ABQ Engineering Contact: JAMES H.

Address: 8102 Newell Blvd.

Phone#: 255-7802 Fax#: _____ E-mail: _____

Owner: ZOCOLLO Contact: Aaron Bohrer

Address: 428 Sandoval Street S.F. NM 87501

Phone#: 984-1768 Fax#: 820-2245 E-mail: _____

Architect: Zydeco Zocalo LLC Contact: Aaron Bohrer

Address: 428 Sandoval Street S.F. NM 87501

Phone#: 984-1766 Fax#: 820-2245 E-mail: aaron@zydeco66.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: AIC General Contractor Contact: David S

Address: 2703 Broadway Plwy Suite 6 Albu NM 87207

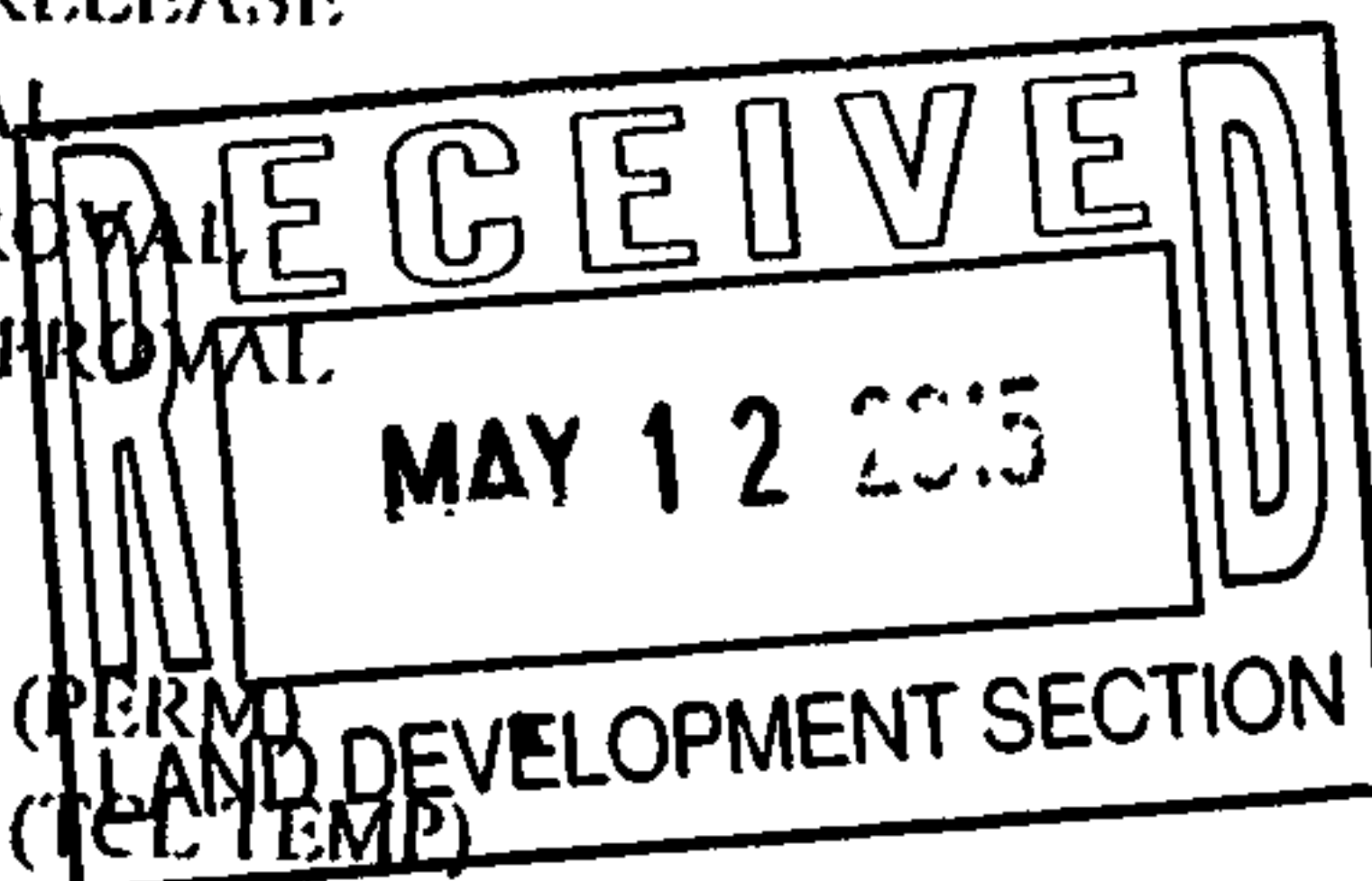
Phone#: 881-4242 Fax#: 343-1491 E-mail: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
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☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 5/12/15 By: Dan Shull

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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