



**Planning Department
Transportation Development Services**

Thursday, July 02, 2015

Aaron Bohrer
Zocalo LLC
428 Sandoval St.
Santa Fe, NM 87501

**Re: State of New Mexico Environment Department-Springer Building
(Resubmittal)
121 Tijeras Ave. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 7-2-15 (K14-D036)**


Dear Mr. Bohrer,

The TCL submittal received 7-2-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

This project will require a City of Albuquerque approved licensed and bonded contractor to obtain a Barricading Permit and complete required ADA pedestrian walkway improvements.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely, 
Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Resubmittal

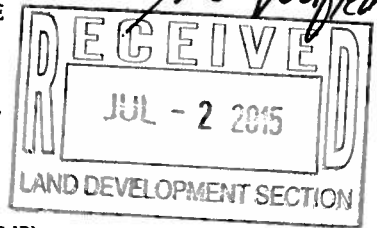
Project Title: PARKING LOT / TEMP USE Building Permit #: _____ City Drainage #: K140036
 DRD#: _____ EPC#: _____ Work Order#: _____
 Legal Description: TRACT "B" BLOCK 1 MUNICIPAL ADDITION / CITY ADO BERNALILLO
 City Address: 201 BROADWAY BLVD. N.E. OR 121 TIJERAS
 Engineering Firm: ABQ ENGINEERING Contact: CRAIG HALDEGANTZ
 Address: 8102 MENAUL BLVD. NE SUITE D
 Phone#: (505) 255-7802 Fax#: _____ E-mail: WWW.abqeng.com
 Owner: ZOCALO Contact: AARON BOHRER
 Address: 418 SANDOVAL STREET
 Phone#: (505) 984-1766 Fax#: _____ E-mail: aaron@zydecocolorado.com
 Architect: ZOCALO / AARON BOHRER Contact: AARON BOHRER
 Address: _____
 Phone#: (505) 984-1766 Fax#: _____ E-mail: aaron@zydecocolorado.com
 Surveyor: DOUG SMITH LAND SURVEYING Contact: DOUG SMITH
 Address: _____
 Phone#: (505) 255-5577 Fax#: _____ E-mail: JSMITH02@COMCAST
 Contractor: AIC-GC Contact: DAVID SHAFER *Net*
 Address: 2703 BROADBENT PKWY SUITE G
 Phone#: (505) 343-1498 Fax#: (505) 343-1491 E-mail: DAVID@AICGC.COM

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

DATE SUBMITTED: 7/2/15

Yes _____ No _____ Copy Provided _____

By: AARON BOHRER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

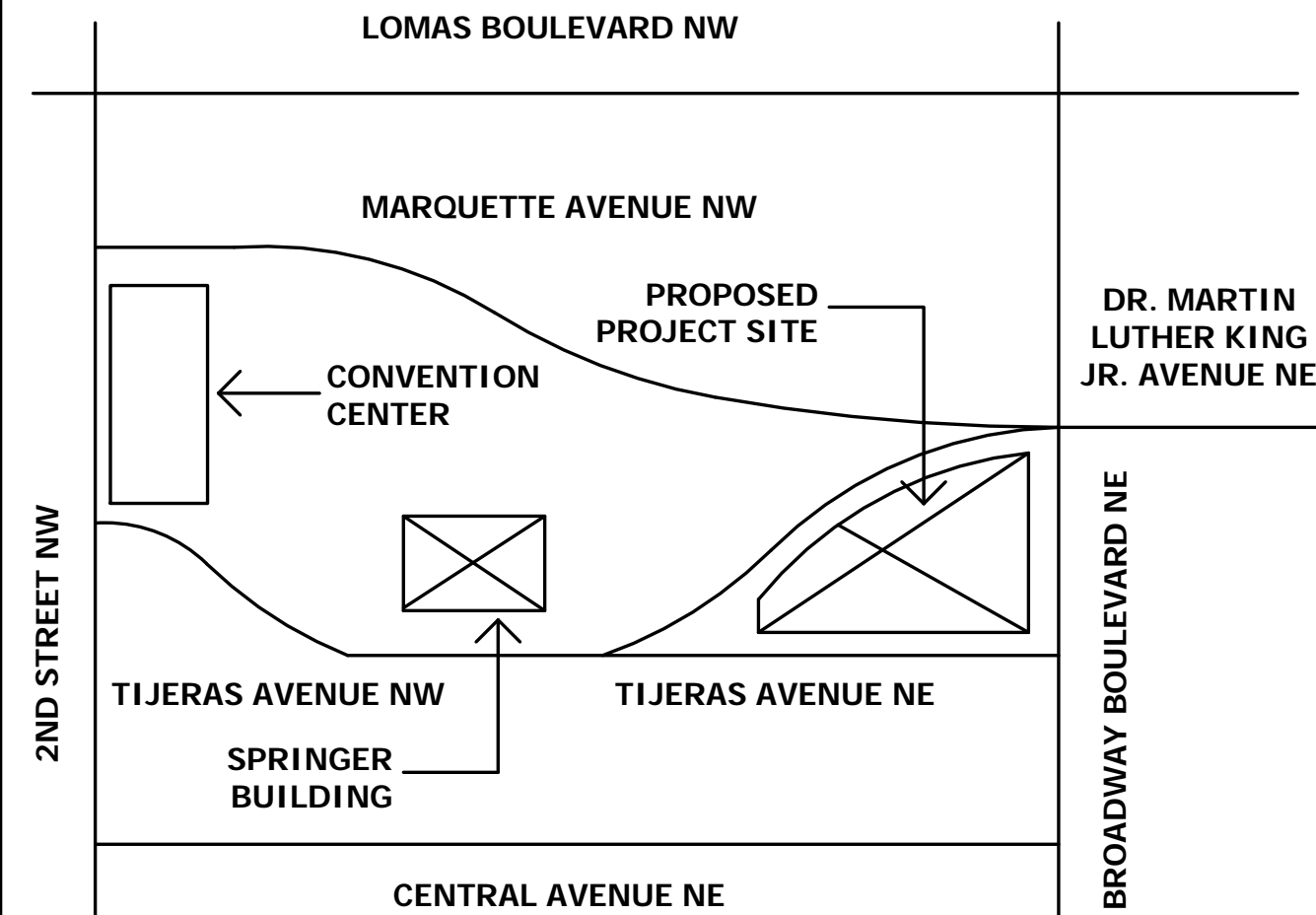
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

THE SPRINGER SQUARE BUILDING
PARKING LOT IMPROVEMENTS
301 BROADWAY BOULEVARD, S.E., ALBUQUERQUE, NM

CONCEPTUAL CONSTRUCTION DOCUMENTS

JULY 1, 2015 REVISED

CITY OF ALBUQUERQUE



VICINITY MAP

PROJECT SITE

TRACT 'B', MUNICIPAL ADDITION, CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NM

PROJECT ADDRESS

301 BROADWAY BOULEVARD S.E.

CONTRACTOR

**AIC GENERAL CONTRACTOR
2703-G BROADBENT PARKWAY
ALBUQUERQUE, NM 87107
T: 505.881.4242
F: 505.343.1491
E: DAVID@AIC-GC.COM**

BUILDING MANAGEMENT COMPANY

COMMERCIAL REAL ESTATE MANAGEMENT (CREM)
4801 LANG AVENUE NE
ALBUQUERQUE, NEW MEXICO, 87109
T: 505.798.2600
F: 505.798.2601
E: JWARREN@CRENM.COM

OWNER

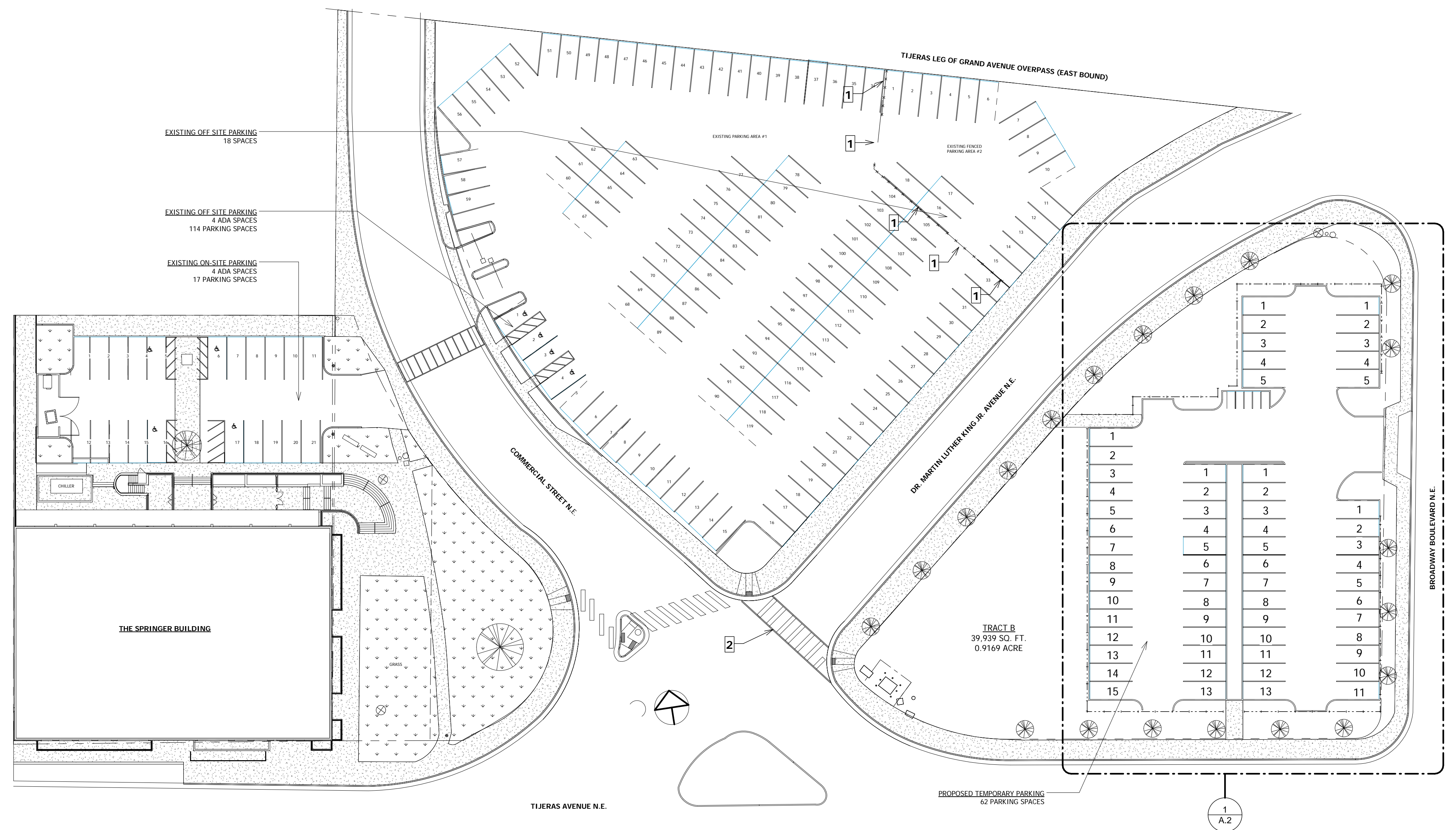
ZOCOLO
428 SANDOVAL STREET
SANTA FE, NEW MEXICO
T: 505.984.1766
F: 505.820.2245
E: AARON@ZYDECO66.COM

ARCHITECT

ZYDECO
428 SANDOVAL STREET
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F: 505.820.2245
E: AARON@ZYDECO66.COM

PROJECT TEAM

SHEET NUMBER	SHEET NAME
G.2	TITLE SHEET - TEMPORARY PARKING IMPROVEMENTS
S.1	SURVEY INFORMATION
S.2	BOUNDARY SURVEY
C-101	GRADING & DRAINAGE PLAN
A.1	SITE PLAN
A.2	ENLARGED SITE PLAN & DETAILS
L.1	LANDSCAPING PLAN



KEYED NOTES

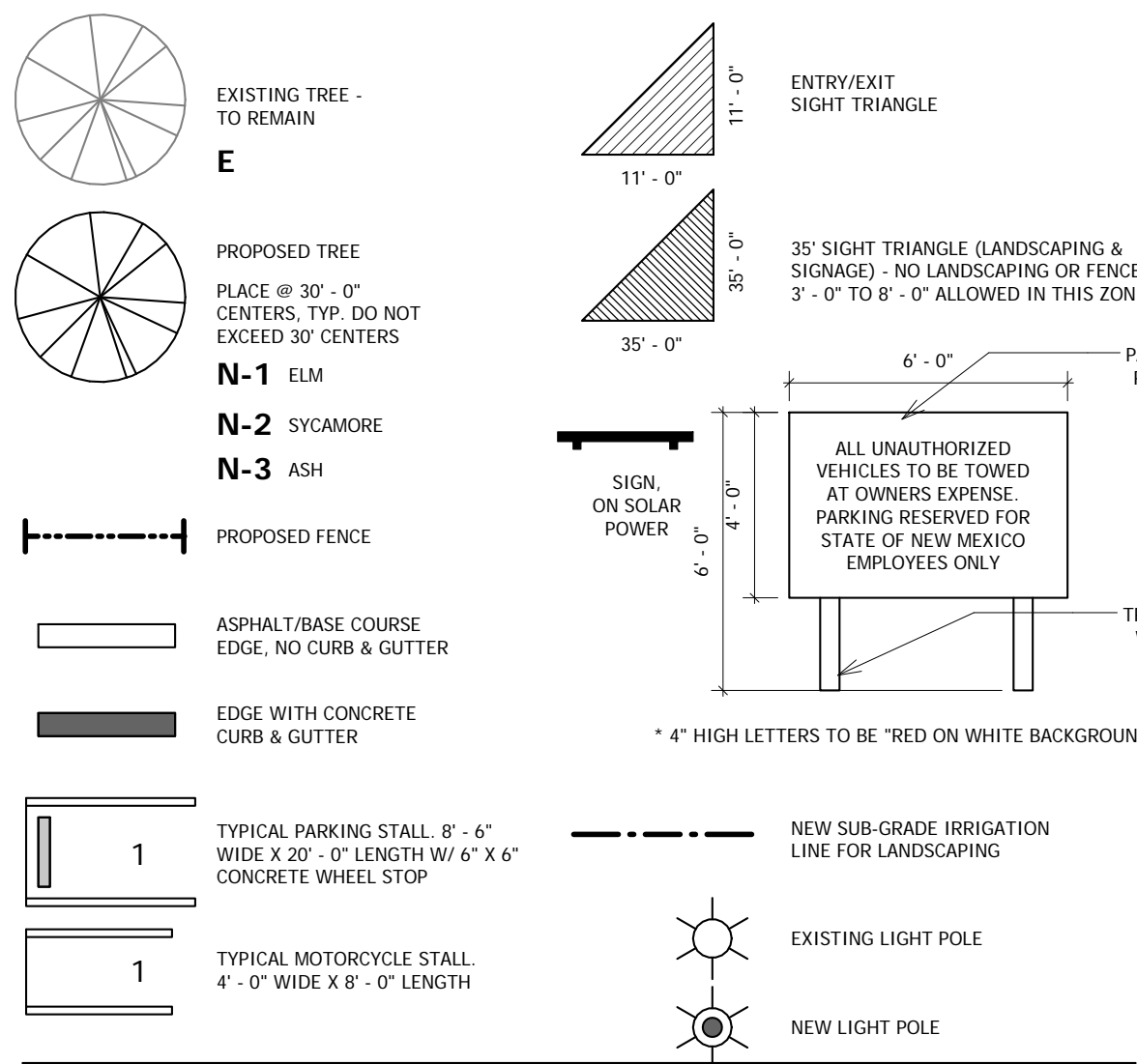
- 1 REMOVE EXISTING GATES & FENCING BETWEEN THE PARKING AREAS IN ITS ENTIRETY. RE-USE IN TEMPORARY PARKING LOT, SEE SHEET # A.1, DRAWING #1
- 2 STRIPE PEDESTRIAN CROSSWALK

NOTES

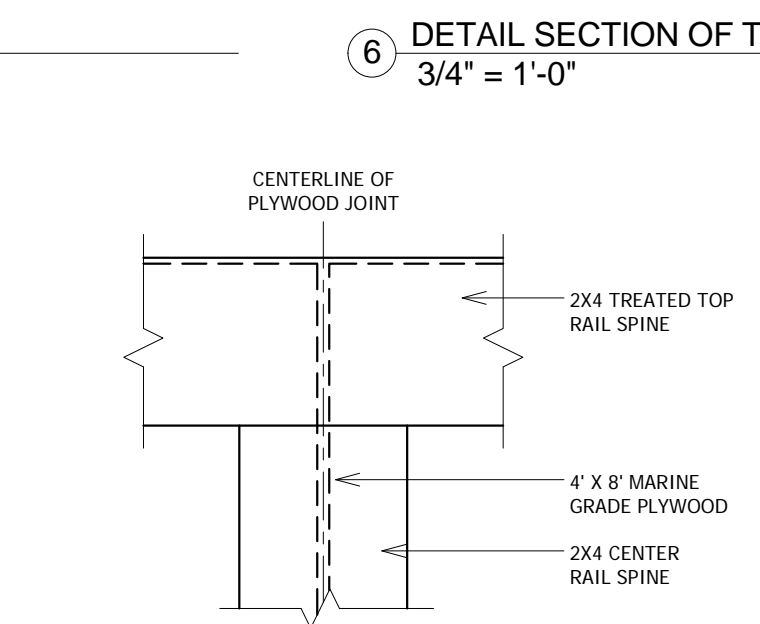
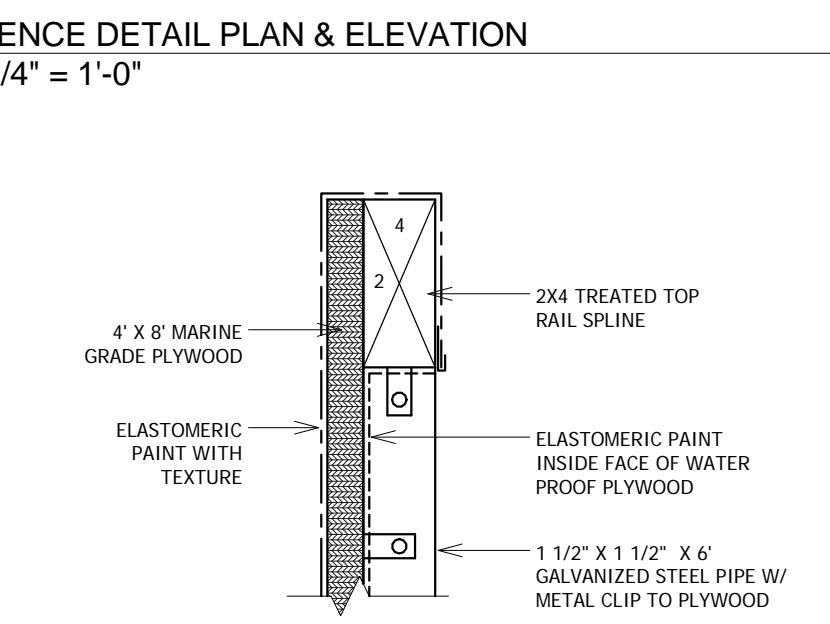
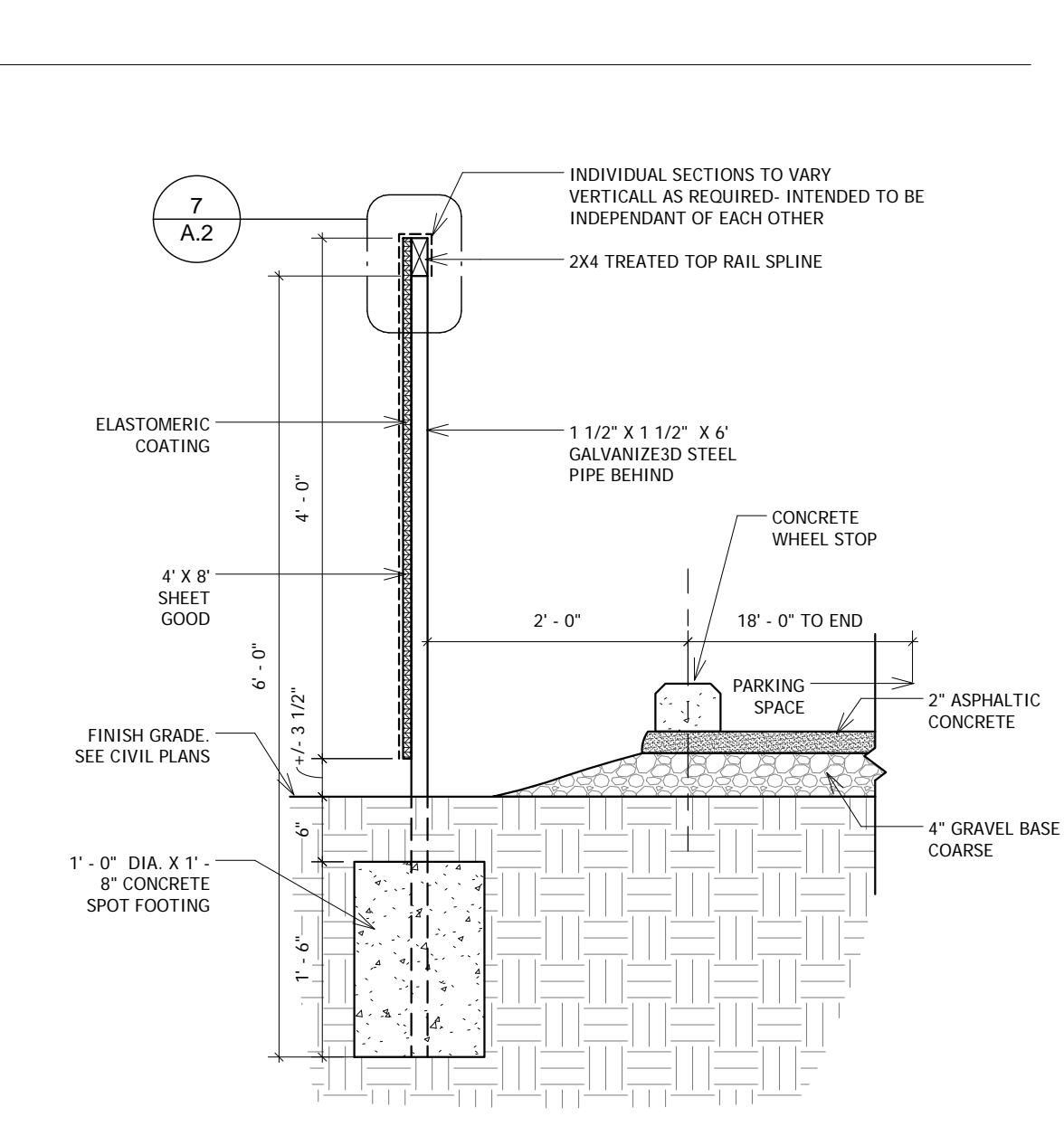
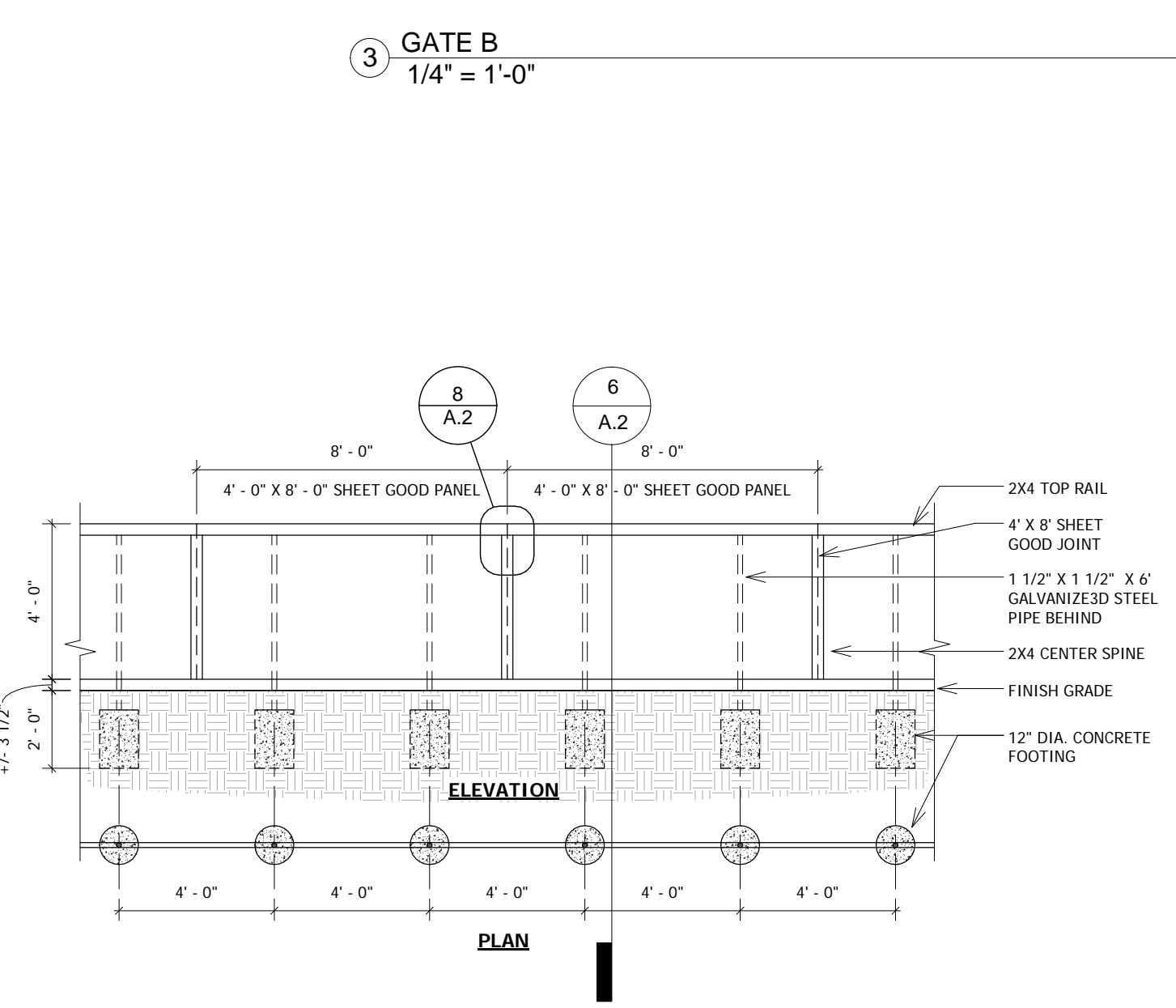
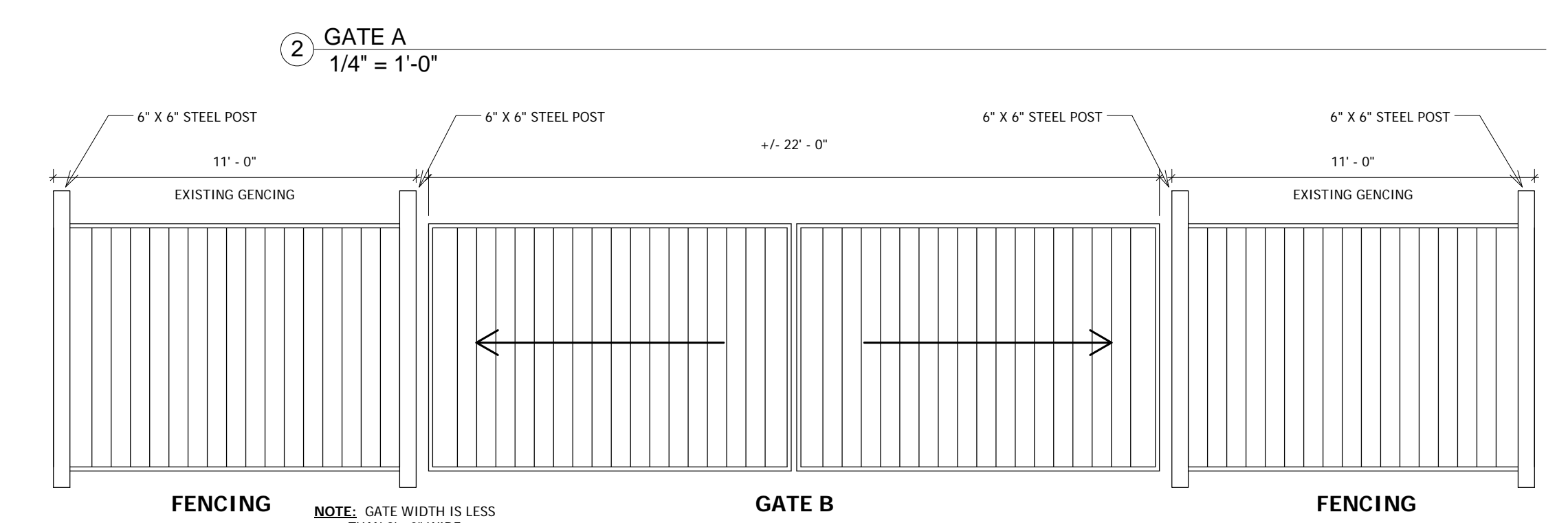
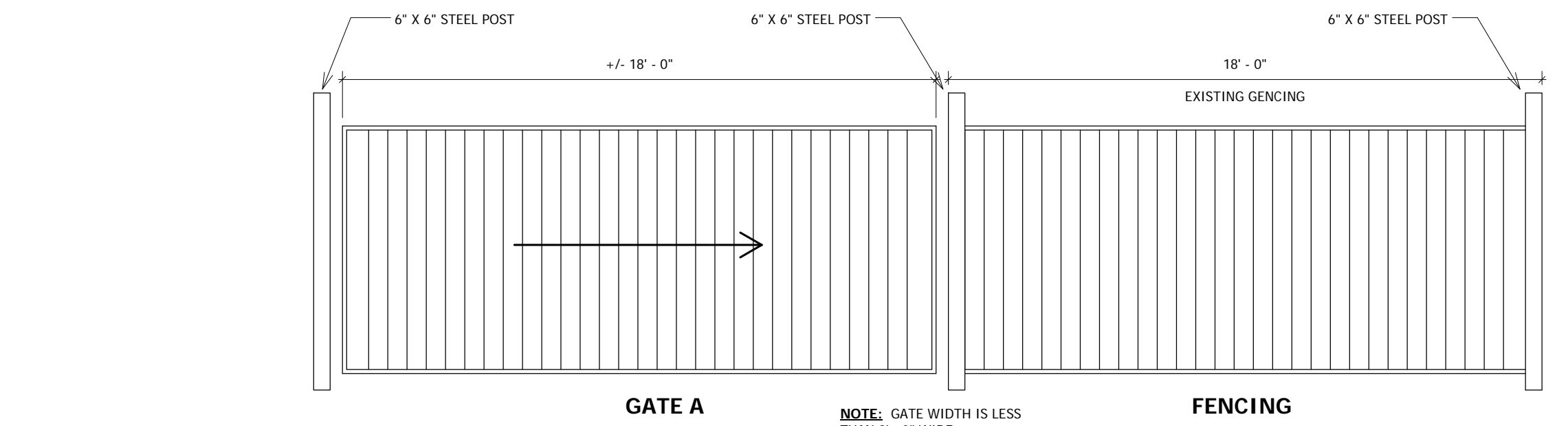
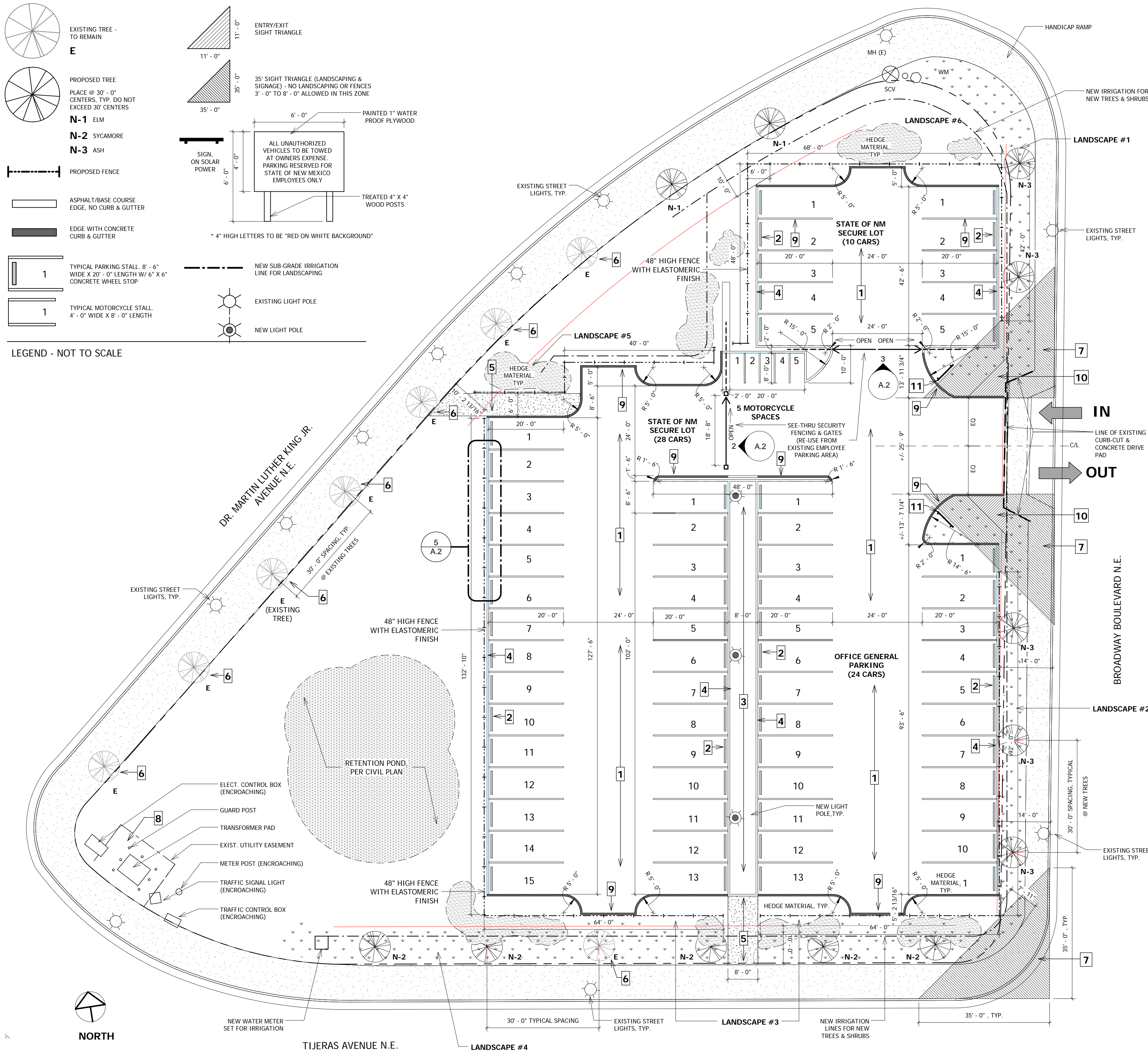
SHEET LIST

KEY PLAN

SITE PLAN - TEMPORARY PARKING IMPROVEMENTS - SCALE = 1/32" = 1' - 0"



LEGEND - NOT TO SCALE



1 TEMPORARY PARKING IMPROVEMENTS 1/16" = 1'-0"

- PARKING**
- (24) UNSECURED PARKING
 - (38) SECURED PARKING SPACES
 - (5) MOTORCYCLE SPACES
 - (62) TOTAL CARS
- PARKING LOT**
- 92 ACRE @ 40,075.2 SQ. FT.
 - 40,075.2 X .15% = 6,011.28
 - 6,011.28 SQ. FT. OF SOFTSPACE REQUIRED

- LANDSCAPE AREAS**
- #1 - 10' X 70' = 700 SQ. FT.
 - #2 - 10' X 110' = 1,100 SQ. FT.
 - #3 - (15' X 50' = 750 SQ. FT.) + (8' X 111' = 888 SQ. FT.) + (10' X 50' = 500 SQ. FT.) = 2,138 SQ. FT. SO. FT.
 - #4 - 10' X 130' = 130 SQ. FT.
 - #5 - 10' X 35' = 350 SQ. FT.
 - #6 - 10' X 35' = 350 SQ. FT.
 - #7 - 10' X 70' = 700 SQ. FT.
- TOTAL LANDSCAPED AREA** = 6,638 SQ. FT. OR 16.5% OF LOT
- NEW TREES** = 17
- EXISTING TREES** = 8
- TOTAL TREES** = 25
- TOTAL FENCING** = 400 LINEAR FEET

- KEYED NOTES**
- 2" OF ASPHALTIC CONCRETE OVER 4" BASE COARSE. SEE CIVIL DRAWING FOR DETAIL
 - 6" X 6" PRE-CAST WHEEL STOP, TYP.
 - CENTER AISLE W/ PEDESTRIAN WAL-WAY (STRIPED ONLY)
 - ASPHALT/BASE COARSE EDGE, NO CURB & GUTTER
 - CONCRETE SIDEWALK TO EDGE OF ASPHALTIC CONCRETE
 - EXISTING SITE TREE TO REMAIN. PROTECT DURING CONSTRUCTION W/ FENCING MATERIAL
 - 35' SIGHT TRIANGLE (LANDSCAPING & SIGNAGE) - NO LANDSCAPING OR FENCES 3' - 0" TO 8' - 0" ALLOWED IN THIS ZONE
 - EXISTING 18' X 14' UTILITY EASEMENT
 - 6" CONCRETE BARRIER CURB
 - LANDSCAPE & SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, FENCING, TREES & SHRUBS BETWEEN 3' - 0" & 8' - 0" TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
 - SIGN, TO STATE "ALL UNAUTHORIZED VEHICLES TO BE TOWED AT OWNERS EXPENSE". SIGNED TO BE POWERED WITH PHOTOVOLTAIC PANEL

Zocolo

428 Sandoval Street
Santa Fe, New Mexico 87501

T 505.984.1766
F 505.820.2245

SPRINGER BUILDING

121 TIJERAS NE
ALBUQUERQUE, NM

ENLARGED SITE PLAN & DETAILS

REVISION # & DATE

REVISION DESCRIPTION

Project number: 2014-10

Project Date: JANUARY 7, 2015

Sheet Issue Date: 06-23-15

Drawn by: JAW

Checked by: AB

Scale: As indicated

A.2

7/1/2015 12:19:05 PM