



**Planning Department  
Transportation Development Services**

May 21, 2015

Aaron Bohrer  
Zocalo LLC  
428 Sandoval St.  
Santa Fe, NM 87501

**Re: State of New Mexico Environment Department-Springer Building  
121 Tijeras Ave. NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp dated 4-20-15 (K14-D036)**

Dear Mr. Bohrer,

Based upon the information provided in your submittal received 5-12-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Label new lot as "Overflow Parking".
3. Clarify the extents of the current phase. Please label existing buildings.
4. Please clarify the use of temporary parking. Is it be used just during construction?
5. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
6. Identify all existing access easements and rights of way with dimensions.
7. Identify the right of way width, medians, curb cuts, and street widths on Tijeras Ave., Dr. Martin Luther King Jr.Ave., and Commercial St.
8. The lot must be graded and surfaced with blacktop or equal: Two inches of asphalt concrete on a prime coat over a four inch compacted subgrade, or a surface of equal or superior performance characteristics. If street curbs and gutters exist adjacent to the parking lot property on a side where lot egress is allowed, the surfacing shall be blacktop for the width of the egress drive(s) and shall extend inward from the property line a minimum of 25 feet along all normal lines of egress traffic flow from the lot. All paving shall be maintained level and serviceable (i.e. no potholes). The City Engineer will have to approve a grading and drainage plan before the asphalt can be installed.



9. For parking lots of 20 or fewer spaces: A layer at least two inches thick of gravel sized from 3/8 minimum to one inch maximum diameter, at least ½ inch of which shall be maintained on the surface; gravel shall be kept off the right-of-way.
10. A parking lot shall include landscaping planted and maintained according to a Landscaping Plan approved by the Planning Director; however, the Planning Commission may waive this requirement where it is found not useful to achieving the intent of this Zoning Code.
11. The lot shall have barriers which prevent vehicles from extending over the sidewalk or abutting lots, or beyond the sides of a parking structure. The plans do already address providing concrete vehicular wheel stops.
12. Please list the width and length for all existing and proposed parking spaces. Please clearly detail how each parking space is to be marked and if there will be curb stop or car parking bumpers installed in each parking space. The minimum parking space width is 8.5 ft.
13. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show a detail of the existing ADA signs.
14. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
15. Show all drive aisle widths and radii.
16. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger
17. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from the proposed temporary parking.
18. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show the ADA pedestrian pathway from the existing and proposed parking to the building entrance.
19. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles.
20. Please provide a sight distance exhibit for entrance off of Broadway Blvd. (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).

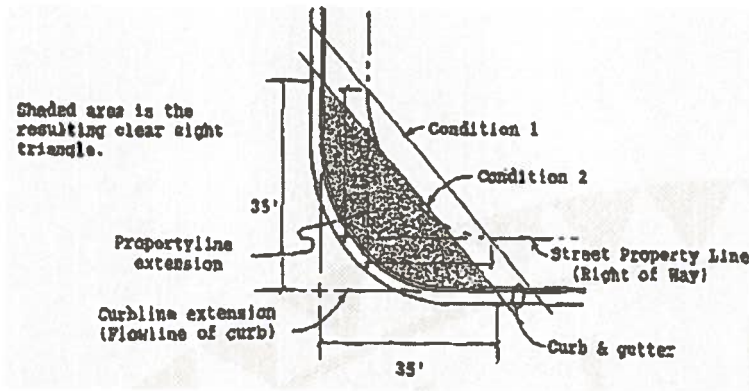
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# CITY OF ALBUQUERQUE



21. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
22. Please specify the City Standard Drawing Number when applicable.
23. Work within the public right of way requires a work order with DRC approved plans.
24. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
25. Please include two copies of the traffic circulation layout at the next submittal.

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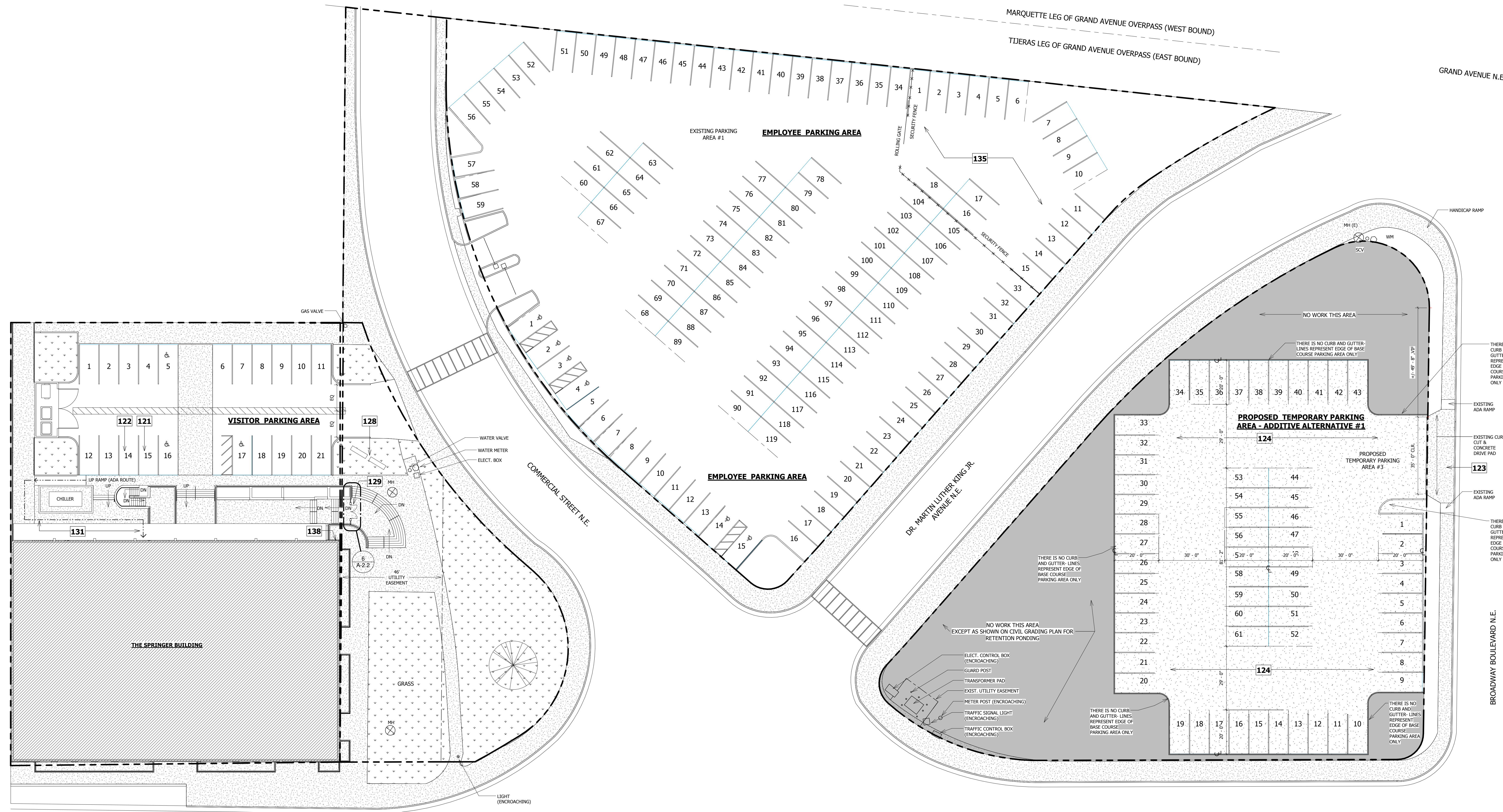
www.cabq.gov

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



1 SITE PLAN  
1" = 20'-0"

- KEYED NOTES**
- 121 DEDICATED PARKING SPACE FOR STATE OF NEW MEXICO CABINET SECRETARY WITH SIGN.
  - 122 DEDICATED PARKING SPACE FOR STATE OF NEW MEXICO DEPUTY CABINET SECRETARY WITH SIGN.
  - 123 ADD. ALT. #1 - PROPOSED VEHICULAR ENTRY INTO TEMPORARY PARKING LOT WITH EXISTING CURB-CUT AND CONCRETE DRIVE APRON AND FLANKING ADA PEDESTRIAN RAMPS
  - 124 ADD. ALT. #1 - CLEAR EXISTING AREA OF ORGANIC MATERIAL. BLADE AREA FOR DRAINAGE. COMPACT TO 95%. PROVIDE 4" OF APPROVED OF BASE COURSE PER THE CITY OF ALBUQUERQUE OVER PARKING AREA. PROVIDE & FURNISH CONCRETE VEHICULAR WHEEL STOPS. TYPICAL PARKING SPACE TO BE 9' X 20'.
  - 128 EXISTING BUILDING SIGNAGE TO REMAIN
  - 129 EXTERIOR STEEL FENCE & GATES TO MATCH STYLE & COLOR OF EXISTING METAL WORK. LOCKABLE WITH PANIC HARDWARE & SIGN.
  - 131 EXISTING ADA ROUTE TO REMAIN
  - 135 EXISTING FENCED PARKING AREA #2 - (17 SPACES TO BE DEDICATED TO THE STATE OF NEW MEXICO)
  - 138 IN CONFERENCE ROOM #104, INTERIOR GARDEN LEVEL WALL SHOWS WATER DAMAGE. INVESTIGATE CONDITION PRE-BID TO DETERMINE EXTENT OF DAMAGE & WATERPROOFING FAILURE. CONSTRUCTION BID TO INCLUDE REMEDIATION OF CURRENT CONDITION

**PARKING COUNT**

ON-SITE:	21
OFF-SITE EXISTING PARKING AREA #1:	119
OFF-SITE EXISTING FENCED PARKING AREA #2:	18
EXISTING PARKING PROVIDED: SUBTOTAL	158
OFF-SITE PROPOSED TEMPORARY PARKING AREA #3:	61
TOTAL PARKING AVAILABLE:	219

PARKING REQUIRED:	34	GARDEN FLOOR: 1 SPACE / 300 SF:	NET LEASEABLE AREA: 10,262 SF
PARKING REQUIRED:	46	LEVEL 1: 1 SPACE / 200 SF:	NET LEASEABLE AREA: 9,128 SF
PARKING REQUIRED:	33	LEVEL 2: 1 SPACE / 300 SF:	NET LEASEABLE AREA: 9,968 SF
PARKING REQUIRED:	31	LEVEL 3: 1 SPACE / 300 SF:	NET LEASEABLE AREA: 9,440 SF
TOTAL PARKING REQUIRED	144	EXISTING PARKING PROVIDED: 158 SPACES	
PARKING PROVIDED	219	INCLUDES ON-SITE AND OFF-SITE PARKING SPACES	

**PROPOSED PARKING - LEGEND**

- EXISTING AREA - NO WORK
- PROPOSED PARKING AREA WITH "BIONIC SOILS"

**Zocolo**  
428 Sandoval Street Santa Fe, New Mexico 87501 T 505.984.1766 F 505.820.2245

**SPRINGER BUILDING**  
121 TIJERAS NE ALBUQUERQUE, NM

**SITE PLAN**

REVISION # & DATE	REVISION DESCRIPTION

Project number: 2014.10  
Project Date: JANUARY 7, 2015  
Sheet Issue Date: 11.05.14  
Drawn by: JWW  
Checked by: AB  
Scale: 1" = 20'-0"

**A-1**

# STATE OF NEW MEXICO ENVIRONMENT DEPARTMENT

## OFFICE RENOVATION

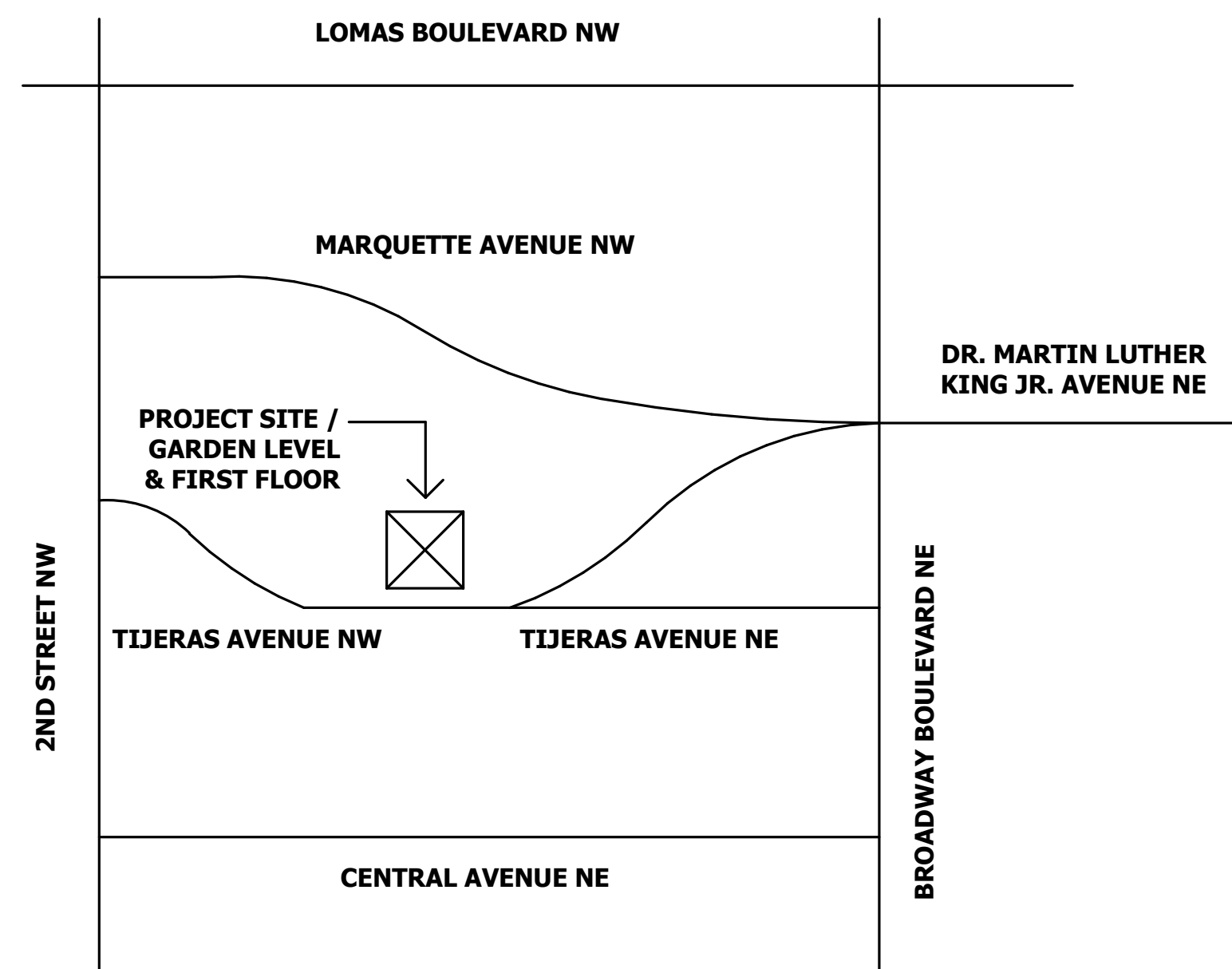
### 121 TIJERAS AVENUE NE, ALBUQUERQUE, NM

EXHIBIT "A" TO STATE OF NEW MEXICO LEASE AGREEMENT # \_\_\_\_\_, OF LEASE RECORD # \_\_\_\_\_, DATED \_\_\_\_\_, 2014

## CONCEPTUAL CONSTRUCTION DOCUMENTS

**JANUARY 7, 2015**

CITY OF ALBUQUERQUE



### TENANT

STATE OF NEW MEXICO ENVIRONMENT DEPARTMENT  
 HAROLD RUNNELS BUILDING  
 1190 ST. FRANCIS DRIVE, SUITE N4050  
 SANTA FE, NM, 87505  
 CONTACT: MS. MARY ROSE  
 T: 505.827.2855

### CONTRACTOR

AIC GENERAL CONTRACTOR  
 2703-G BROADBENT PARKWAY  
 ALBUQUERQUE, NM 87107  
 T: 505.881.4242  
 F: 505.343.1491  
 E: DAVID@AIC-GC.COM

### BUILDING MANAGEMENT COMPANY

COMMERCIAL REAL ESTATE MANAGEMENT (CREM)  
 4801 LANG AVENUE NE  
 ALBUQUERQUE, NEW MEXICO, 87109  
 T: 505.798.2600  
 F: 505.798.2601  
 E: JWARREN@CREMNM.COM

### OWNER

ZOCOLO  
 428 SANDOVAL STREET  
 SANTA FE, NEW MEXICO  
 T: 505.984.1766  
 F: 505.820.2245  
 E: AARON@ZYDECO66.COM

### ARCHITECT

ZYDECO  
 428 SANDOVAL STREET  
 SANTA FE, NEW MEXICO  
 T: 505.984.1766  
 F: 505.820.2245  
 E: AARON@ZYDECO66.COM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of New Mexico.

Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Registration Number: 004253

The work contained in the conceptual construction documents is for an interior renovation of the Garden and First floor levels of the Springer Square Building, located at 121 Tijeras Avenue, NE in Albuquerque, New Mexico. Although there are changes to the lighting and architectural partitions, no changes are planned to the mechanical system. The tenant improvements are for the State of New Mexico, Environment Department.

The conceptual construction documents contain work in one base bid package with three additive alternates per the following scope of work:

#### BASE BID PACKAGE:

This work includes the interior renovation of the Garden and First Floor levels of the Springer Square Building. Provide and furnish the following items in concert with associated notation on the conceptual construction documents. It should be noted this narrative is an overview and may not include details associated with each item or the total scope:

#### Architectural:

- New flooring, new base board, wall painting.
- The work scope includes the expansion of a computer room that meets the State of New Mexico Main Communication Equipment Room (M CER) specifications.
- New wall partitions and doors in select locations.
- New exterior security gate on the garden level.
- Cleaning and/or the replacement of existing window blinds.
- Servicing existing door hardware and new door hardware where needed.
- New corner guards.
- Refurbish wood wall caps at fixed office cubicles.
- The cleaning and or replacement of damaged and stained acoustical ceiling tiles.
- Re-purpose existing cabinets and provide and furnish new countertops with integral backsplash.

#### Mechanical:

- Improve the mechanical exhaust system by replacing the existing exhaust fan and duct work in the Sump room on the garden level.
- Maintenance of existing VAV supply and returns on each floor of the renovation.
- Service the existing fire extinguishers for operation.
- About the M CER, add a non-aqueous fire suppression system and re-route the existing wet pipe system in this space. Add a non-aqueous fire extinguisher in this area.
- Flush interior environment for 48 hours after completion of construction.

#### Electrical:

- There are limited electrical improvements that include new power outlets, voice and data outlets, and new lighting fixtures.
- Add (1) magnetic lock for office doors off the main entry, first level.
- Cleaning of existing lighting fixtures and replacing the existing T-12 lampping with new T-12 lamps where necessary. Refer to Add. Alt. #3 & Add. Alt. #4
- Replace existing baffles in recessed cans and lampping with a white baffle and LED lamps, at the main office reception area, first level.

#### Site Work:

##### ADDITIVE ALTERNATE #1:

- Provide curb-cut access drive. Provide temporary parking area as identified on drawings
- This work includes improvements to the vacant property into a temporary parking lot for (60) additional parking spaces. An existing curb cut Tijeras Avenue will be utilized for access into the new parking lot. Grub and clear the existing area of organic material and blade for drainage. Compact to 95%. Provide and furnish four (4) inches of base course and compact. Provide and furnish vehicular wheel stops at each parking space of 9'-0" x 20'-0".

##### ADDITIVE ALTERNATE #2:

This work includes the interior renovation of the Garden Floor existing men and women's toilet rooms and the addition of a new janitor room.

**Janitor Room:** The work includes the relocation of the existing janitor closet amenities and building a new enclosure for said amenities; a floor sink and a drinking fountain. The new janitor closet is designed to retain the sink in Storage # 121 as well as accommodate the new janitor plumbing fixtures. Work includes VCT flooring, tile base board, painted durarock wall board and drywall ceiling with recessed light fixtures.

**ADA compliant Toilet Rooms:** Demolition of the existing entry leaving the two light wells in-place. Demolish the existing janitor closet to the extent as noted above. Removal of toilets and toilet stall in each bathroom to make room for one new ADA compliant toilet stall, ADA toilet and toilet accessories. Work to include patching and replacing the interior tile flooring, base and wainscot and ceilings. Replace the existing lavatory fixtures with ADA compliant fixtures. Provide and furnish insulation for the drain and water lines under the existing counter.

##### ADDITIVE ALTERNATE #3:

This work includes upgrading the existing light fixtures from T-12 ballast and lamp to T-8 ballast and lamp for the garden and first floor levels. This additive alternate is in lieu of the base bid package that includes only the cleaning of existing fixtures and replacing the existing T-12 lampping with new T-12 lamps where necessary.

##### ADDITIVE ALTERNATE #4:

This work includes upgrading the existing light fixtures from T-12 ballast and lamp to LED Type recessed ceiling fixture for the garden and first floor levels. Provide 2x2 and 2x4 ceiling fixtures as shown in these conceptual construction documents. This additive alternate is in lieu of the base bid package that includes only the cleaning of existing fixtures and replacing the existing T-12 lampping with new T-12 lamps where necessary.

##### ADDITIVE ALTERNATE #5:

Delete the carpet specification in the base bid and replace with a new specification as provided by Creative Interiors.

N.M. ENVIRONMENT DEPARTMENT - SHEET LIST	
SHEET NUMBER	SHEET NAME
G-1	TITLE SHEET
G-2	PROJECT BUILDING DATA
G-3	PROJECT AUTHORIZATION SHEET
A-1	SITE PLAN
A-0.1.1	GARDEN LEVEL - PROPOSED FLOOR PLAN, ROOM FINISH SCHEDULE & SCOPE OF WORK
A-0.2.1	GARDEN LEVEL - PROPOSED POWER & SIGNAL PLAN
A-0.2.2	GARDEN LEVEL - PROPOSED REFLECTED CEILING PLAN
A-1.1.1	LEVEL 1 - PROPOSED FLOOR PLAN, ROOM FINISH SCHEDULE & SCOPE OF WORK
A-1.2.1	LEVEL 1 - PROPOSED POWER & SIGNAL PLAN
A-1.2.2	LEVEL 1 - PROPOSED REFLECTED CEILING PLAN
A-2.0	ENLARGED PLANS & ELEVATIONS
A-2.1	ENLARGED PLANS & ELEVATIONS
A-2.2	CONSTRUCTION DETAILS
A-2.3	GARDEN LEVEL BATHROOM - ADA CONVERSION
A-3.1	FURNITURE PLAN - GARDEN LEVEL
A-3.2	FURNITURE PLAN - LEVEL 1
A-3.3	ACCENT PAINT PLANS - GARDEN LEVEL
A-3.4	ACCENT PAINT PLANS - LEVEL 1
A-3.5	FINISH SCHEDULE
A-3.6	FINISH SCHEDULE - TILE PATTERNS
E.001	SYMBOLS, LEGEND & ABBREVIATIONS
E.002	GENERAL NOTES
E.003	ELECTRICAL SPECIFICATIONS
E.004	ELECTRICAL SPECIFICATIONS
E.101	GARDEN LEVEL - POWER & SIGNAL PLAN
E.102	GARDEN LEVEL - LIGHTING PLAN
E.103	LEVEL 1 - POWER & SIGNAL PLAN
E.104	LEVEL 1 - LIGHTING PLAN
E.501	ELECTRICAL DETAILS
E.601	EXISTING POWER ONE-LINE DIAGRAM
E.701	ELECTRICAL SCHEDULES
E.702	ELECTRICAL SCHEDULE & IECC CERTIFICATE

REVISIONS	
#	DATE
1	10.28.14
2	10.28.14
3	01.06.15

VICINITY MAP

PROJECT TEAM

PROJECT NARRATIVE

DRAWING LEGEND

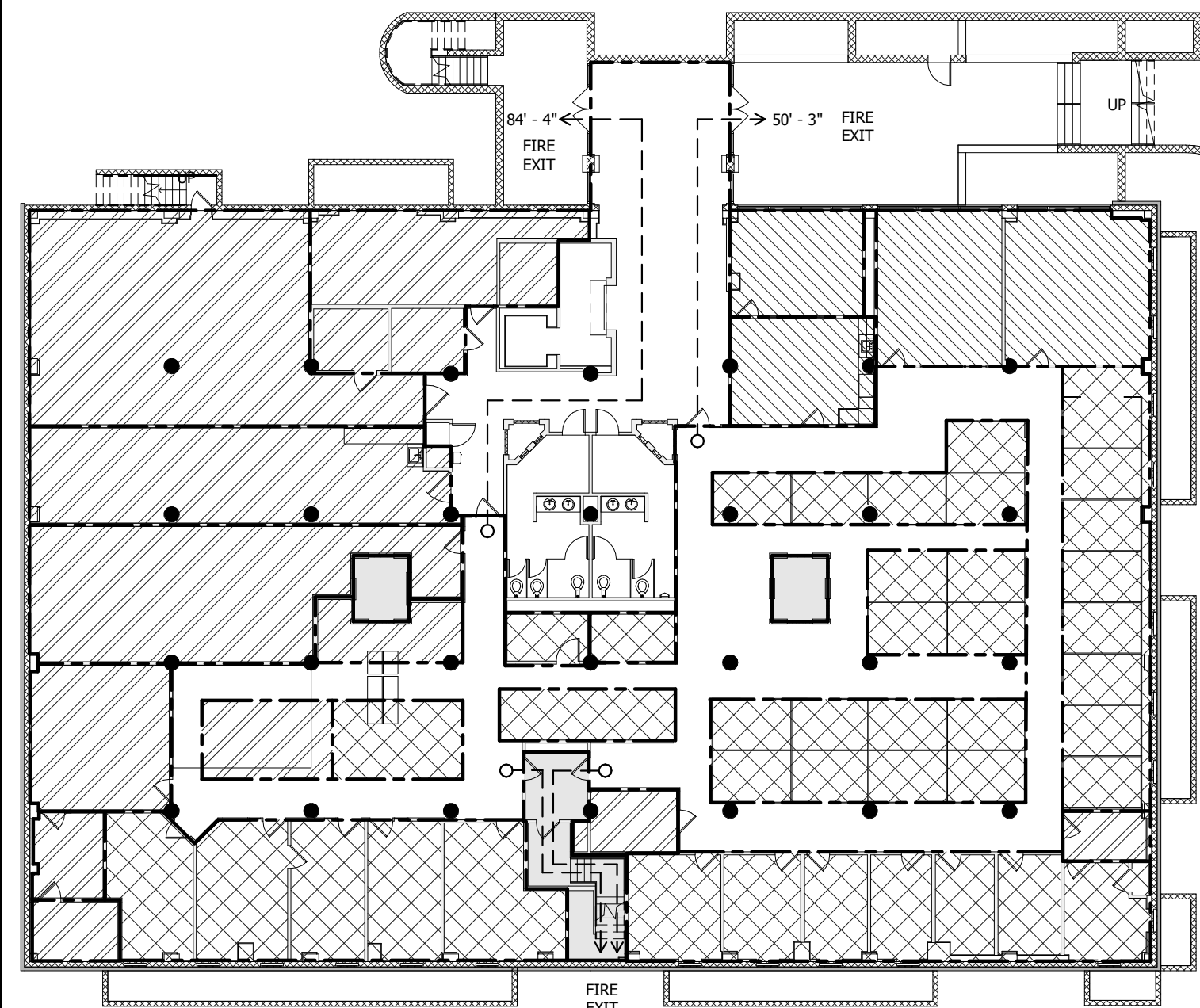
# STATE OF NEW MEXICO ENVIRONMENT DEPARTMENT

121 TIJERAS AVENUE NE, ALBUQUERQUE, NM

## PROJECT BUILDING DATA SHEET

### CONCEPTUAL CONSTRUCTION DOCUMENTS

JANUARY 7, 2015



SITE: 30,143.77 SQ. FT. / .6920 ACRES  
 BUILDING SITE ZONING SU-2 AND PARKING AREAS SU-3  
 OCCUPANCY GROUP: B2  
 CODE: 2012 IBC/ IECC  
 BUILDING TYPE: 2B  
 CONSTRUCTION TYPE: 1-FR-SPRINKLED  
 FIRE PROTECTION SYSTEM: EXISTING NFPA 13 SPRINKLER SYSTEM  
 SYSTEM SEISMIC ZONE: ZONE 2B = .20  
 PROJECT IS AN ALTERATION-LEVEL 2, COMPLYING WITH THE 2009 IBC, LESS THAN 50% OF NET LEASABLE AREA TO BE RENOVATED  
 GROUND & FIRST LEVEL RENOVATION: 23,273 S.F.  
 SECOND & THIRD LEVEL EXISTING: 23,603 S.F.

**GARDEN LEVEL GROSS SQUARE FOOTAGE: +/-15,308 SQ.FT.**

**OCCUPANCY LOAD:**

**GARDEN LEVEL:**  
 OFFICE: 4,397 SF/100 = 44  
 CONFERENCE: 1,254 SF / 15 = 83.6  
 STORAGE: 4,369 SF/ 300 = 14.6

**TOTAL OCCUPANCY: 142 / 2 = 71 MALE & 71 FEMALE**

**PLUMBING FIXTURE COUNT:**  
 WATER CLOSETS: LAVATORIES: DRINKING FOUNTAINS:  
 3 @ M & 3 @ F 2 @ M & 2 @ F 1 PER 100

**MAXIMUM OCCUPANT TRAVEL DISTANCE TO EXIT: 84' - 4"**

**LEVEL 1 GROSS SQUARE FOOTAGE: +/-13,895SQ.FT.**

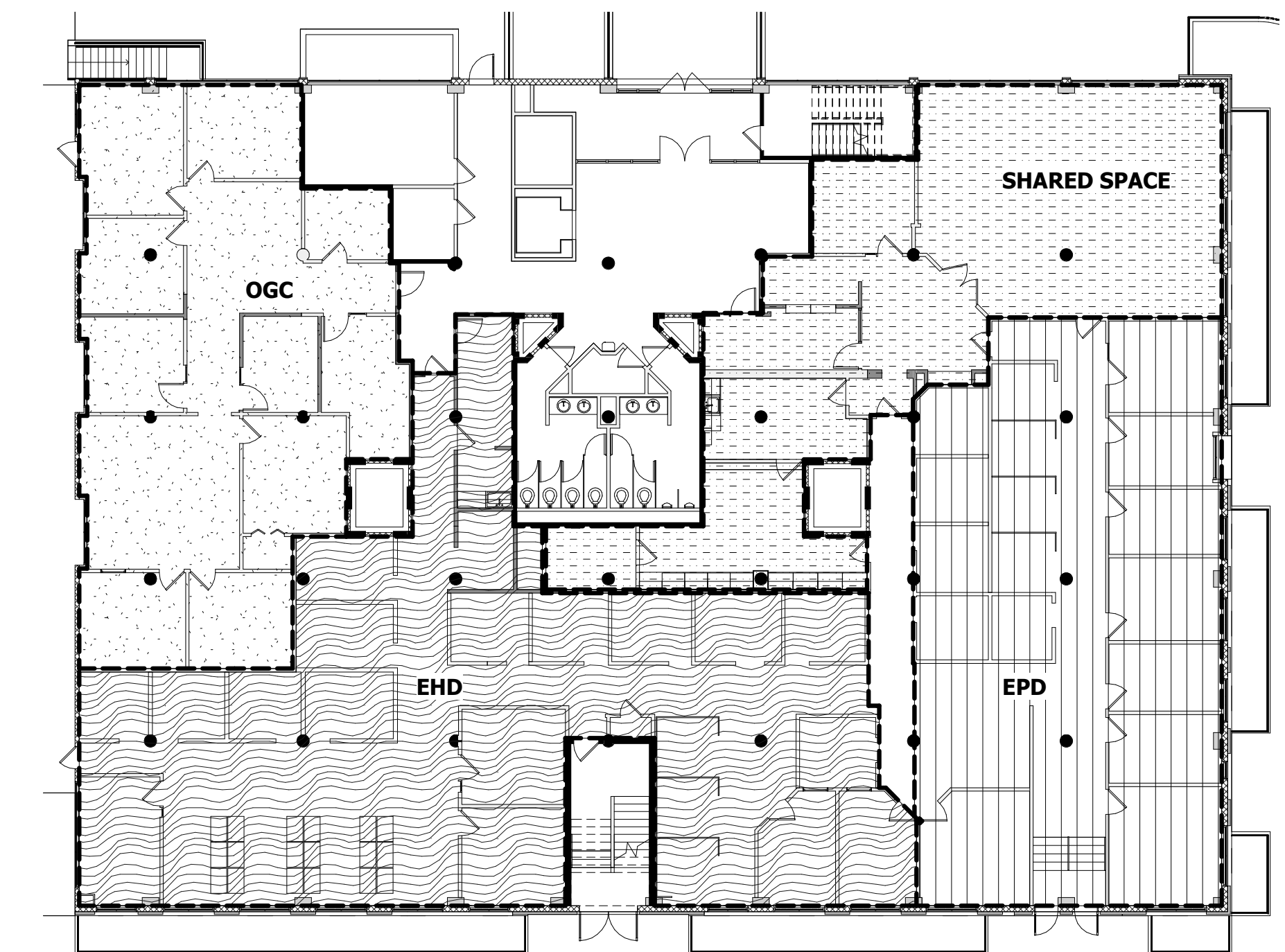
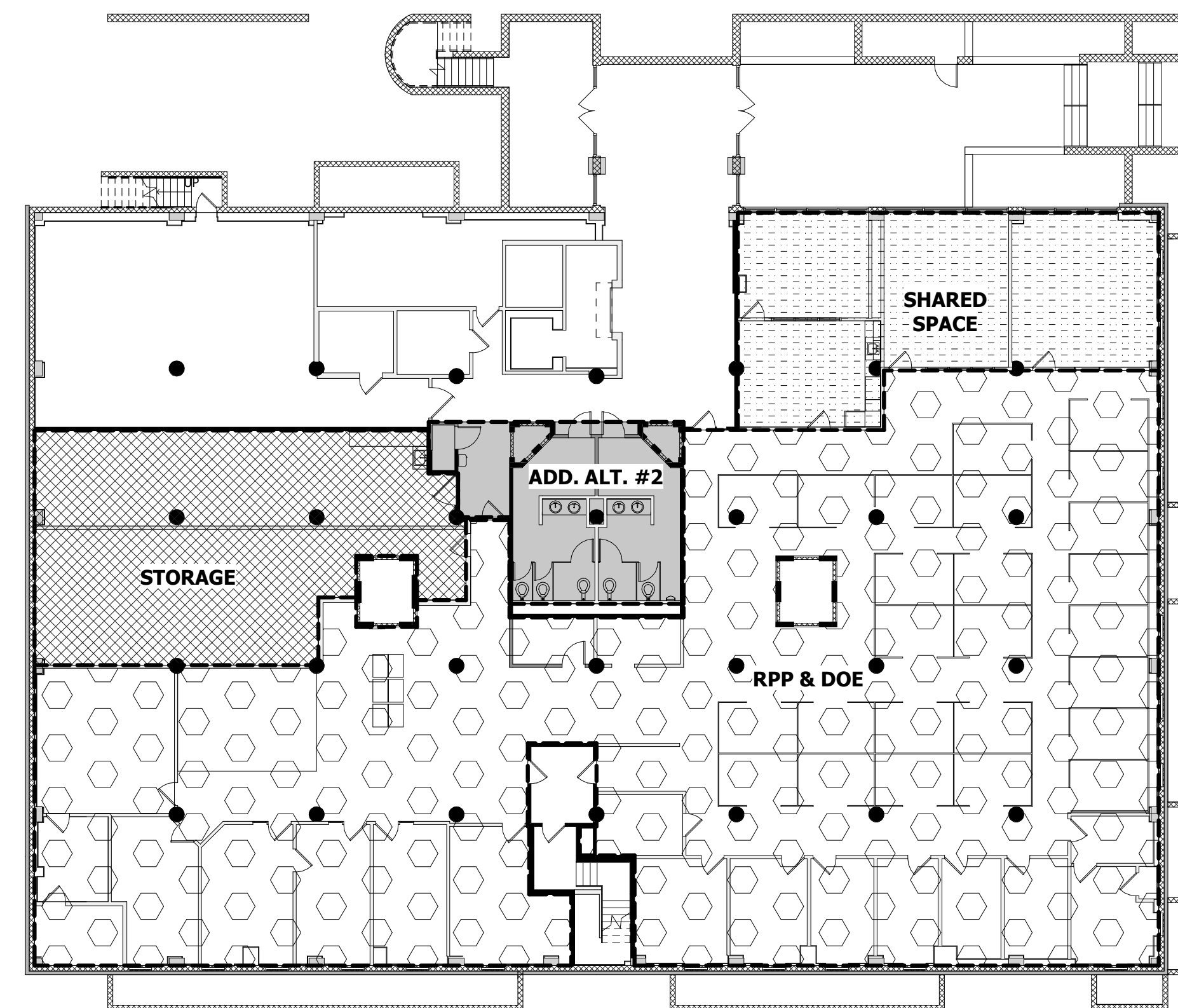
**OCCUPANCY LOAD:**

**LEVEL 1:**  
 OFFICE: 6,430 SF/100 = 64  
 CONFERENCE: 1,344 SF / 15 = 89.6  
 STORAGE: 985 SF/ 300 = 3.3

**TOTAL OCCUPANCY: 157 / 2 = 79 MALE & 79 FEMALE**

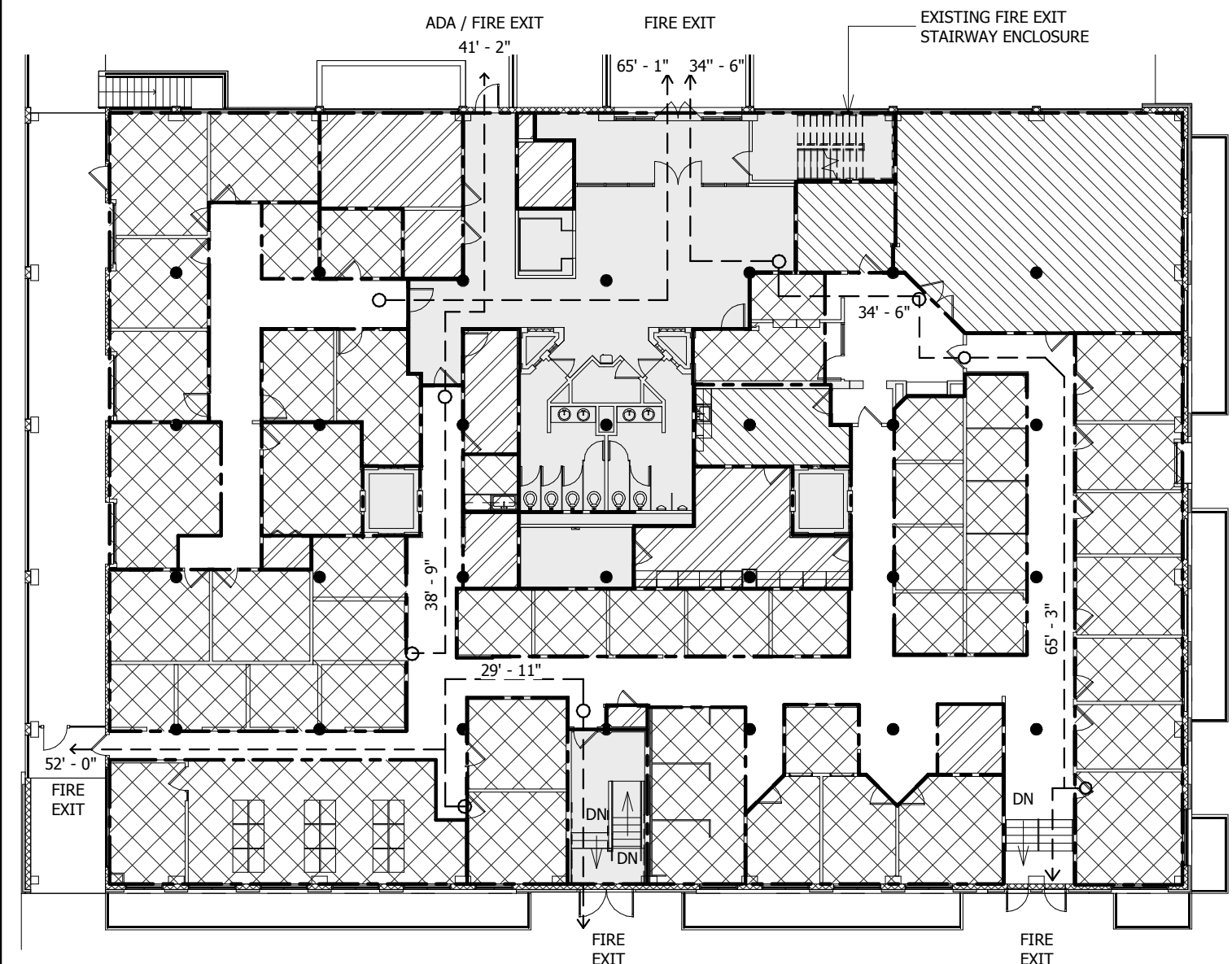
**PLUMBING FIXTURE COUNT:**  
 WATER CLOSETS: LAVATORIES: DRINKING FOUNTAINS:  
 4 @ M & 4 @ F 2 @ M & 2 @ F 1 PER 100

**MAXIMUM OCCUPANT TRAVEL DISTANCE TO EXIT: 65' - 1"**



### GARDEN LEVEL AREA USE

OCCUPANCY USE LEGEND



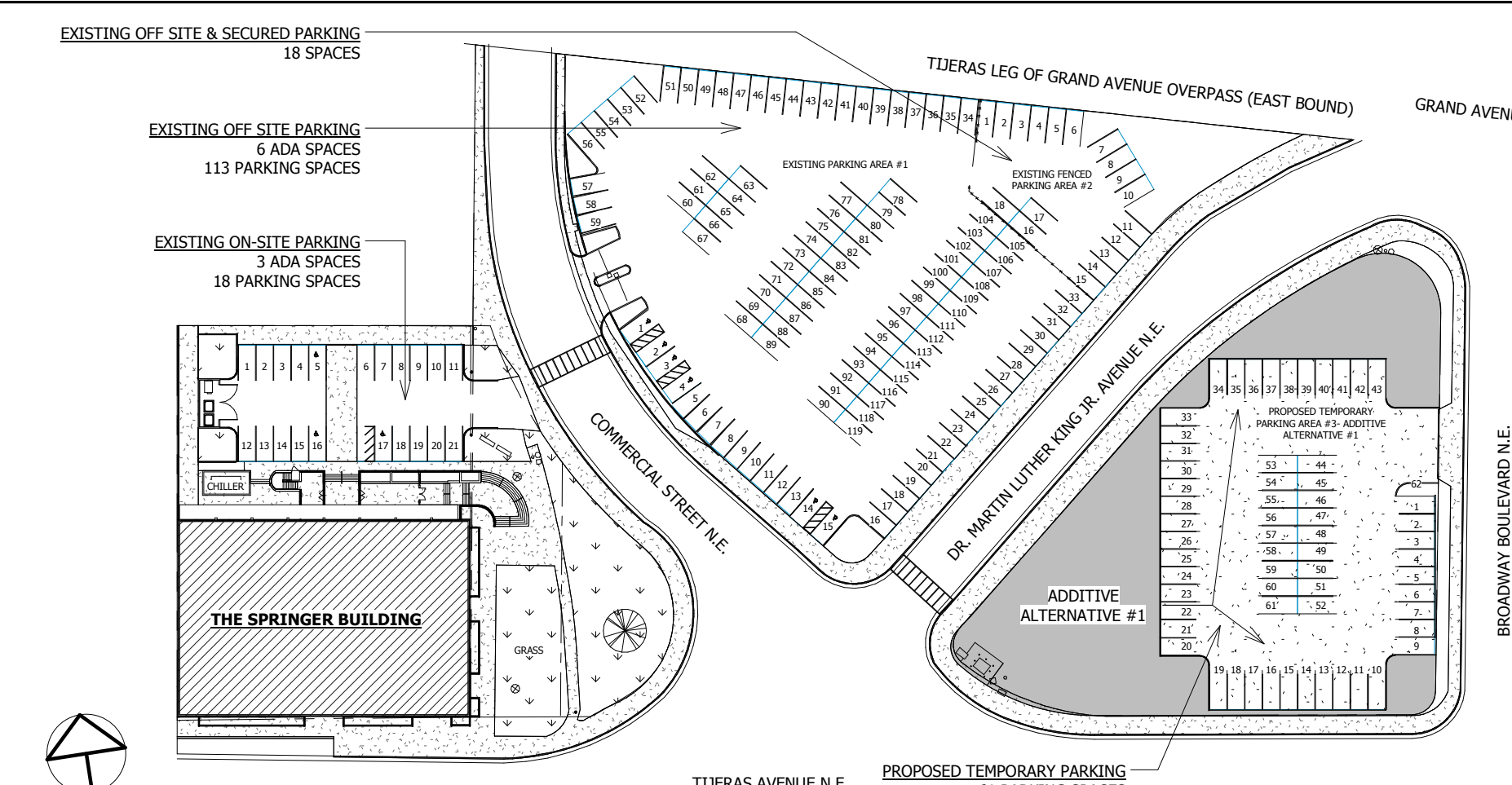
AREA SCHEDULE-LEVEL 1

Name	Area
CONFERENCE	999 SF
CONFERENCE	190 SF
CONFERENCE	148 SF
CONFERENCE	1344 SF
NOT IN CONTRACT	1954 SF
NOT IN CONTRACT	203 SF
NOT IN CONTRACT	65 SF
NOT IN CONTRACT	65 SF
NOT IN CONTRACT	2287 SF
OFFICE	188 SF
OFFICE	697 SF
OFFICE	436 SF
OFFICE	521 SF
OFFICE	972 SF
OFFICE	585 SF
OFFICE	96 SF
OFFICE	277 SF
OFFICE	285 SF
OFFICE	666 SF
OFFICE	245 SF
OFFICE	73 SF
OFFICE	839 SF
OFFICE	190 SF
OFFICE	390 SF
OFFICE	53 SF
OFFICE	6430 SF
STORAGE	115 SF
STORAGE	312 SF
STORAGE	28 SF
STORAGE	77 SF
STORAGE	16 SF
STORAGE	72 SF
STORAGE	294 SF
STORAGE	70 SF
STORAGE	985 SF

AREA SCHEDULE-GARDEN LEVEL

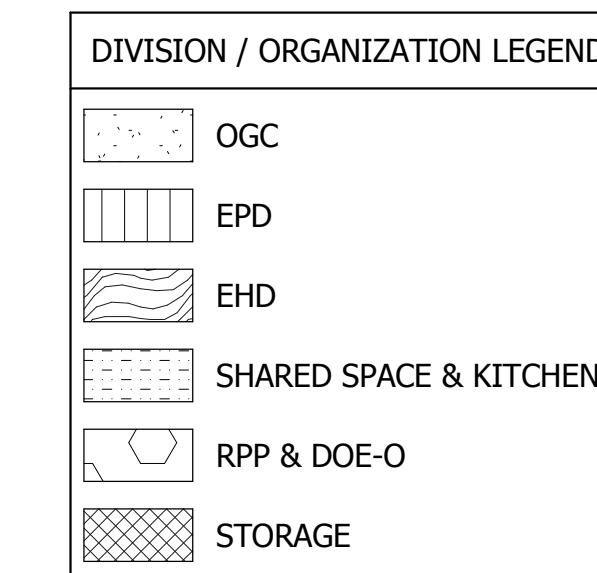
Name	Area
CONFERENCE	732 SF
CONFERENCE	247 SF
CONFERENCE	275 SF
CONFERENCE	1254 SF
NOT IN CONTRACT	238 SF
NOT IN CONTRACT	64 SF
NOT IN CONTRACT	64 SF
NOT IN CONTRACT	365 SF
OFFICE	563 SF
OFFICE	74 SF
OFFICE	1059 SF
OFFICE	974 SF
OFFICE	287 SF
OFFICE	670 SF
OFFICE	357 SF
OFFICE	156 SF
OFFICE	77 SF
OFFICE	178 SF
OFFICE	4397 SF
STORAGE	829 SF
STORAGE	108 SF
STORAGE	360 SF
STORAGE	607 SF
STORAGE	110 SF
STORAGE	76 SF
STORAGE	92 SF
STORAGE	714 SF
STORAGE	142 SF
STORAGE	1153 SF
STORAGE	178 SF
STORAGE	4369 SF

### SPACE PLANNING BY DIVISION - GARDEN LEVEL



Category	Count	Details
PARKING REQUIRED:	33	GARDEN FLOOR: 1 SPACE / 300 SF: NET LEASEABLE AREA: 9,770 SF
PARKING REQUIRED:	46	LEVEL 1: 1 SPACE / 200 SF: NET LEASEABLE AREA: 9,128 SF
PARKING REQUIRED:	33	LEVEL 2: 1 SPACE / 300 SF: NET LEASEABLE AREA: 9,968 SF
PARKING REQUIRED:	31	LEVEL 3: 1 SPACE / 300 SF: NET LEASEABLE AREA: 9,440 SF
TOTAL PARKING REQUIRED	143	EXISTING PARKING PROVIDED: 158 SPACES
TOTAL PARKING PROVIDED	219	INCLUDES ON-SITE AND OFF-SITE PARKING SPACES

### SPACE PLANNING BY DIVISION - FIRST LEVEL

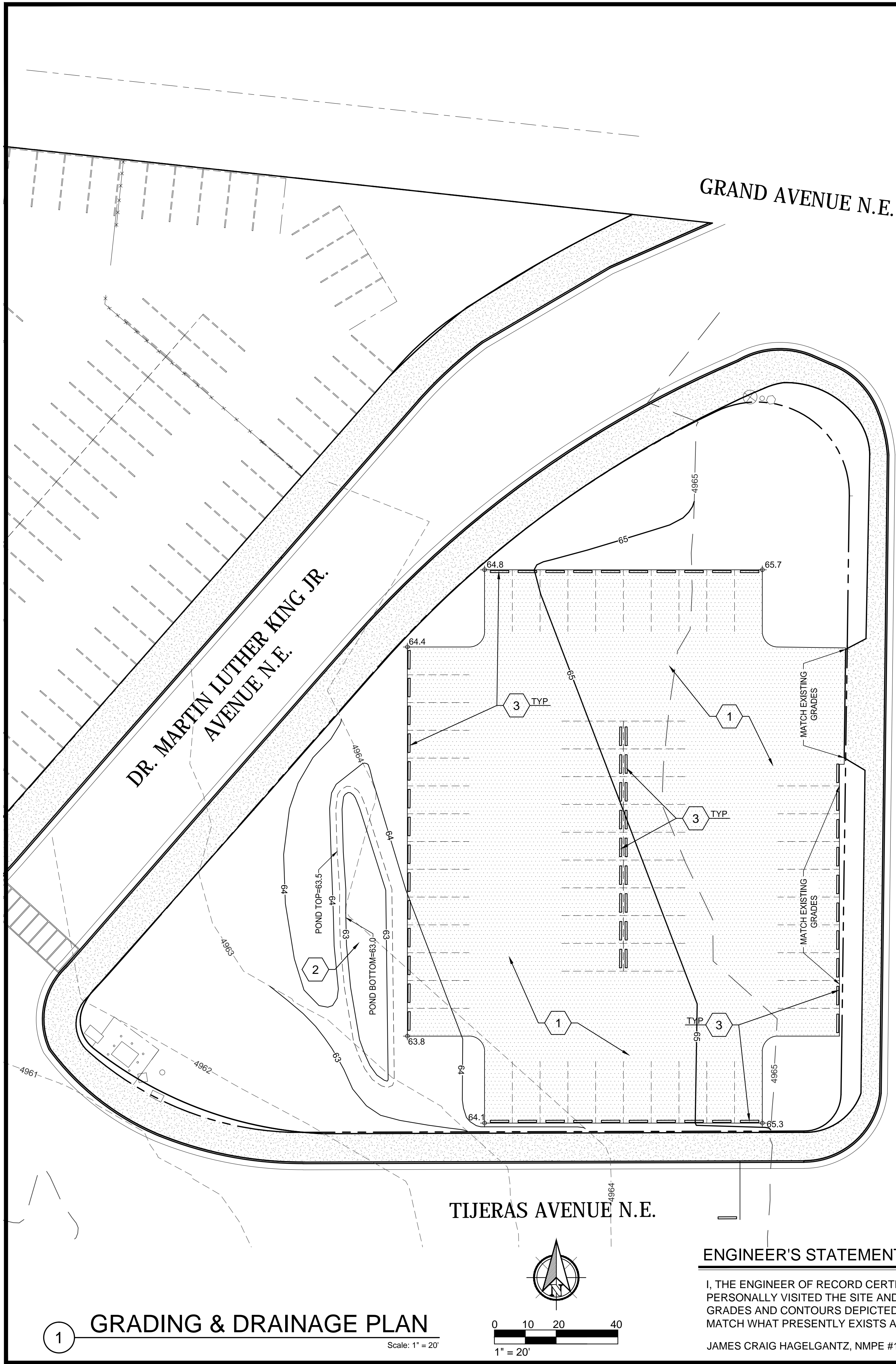


DIVISION / ORGANIZATION OFFICE SPACE PLANNING					
DIVISION	AVAILABLE OFFICES	FIXED CUBICLES	OFFICE SYSTEMS	TOTAL	REQUIRED
OGC	10	0	0	10	7
EPD	8	5	4	17	17
EHD	5	12	21	38	26
RPP & DOE-O	13	0	31	44	45
TOTALS	36	17	56	109	95

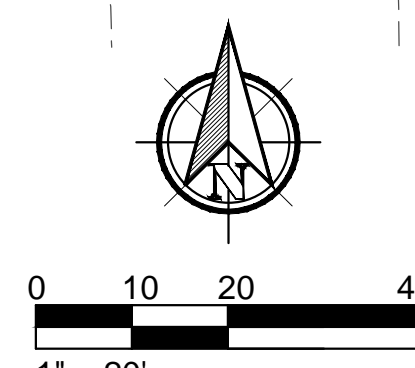
### FIRST LEVEL AREA USE

### OCCUPANCY & PARKING

LAST MODIFIED: Apr 20, 2015 09:51 AM BY USER: chyd  
 DWG. LOCATION: \\s\projects\2015\15-034\CAD  
 DWG. NAME: 15-034\_Civil.dwg



**1 GRADING & DRAINAGE PLAN**  
 Scale: 1" = 20'

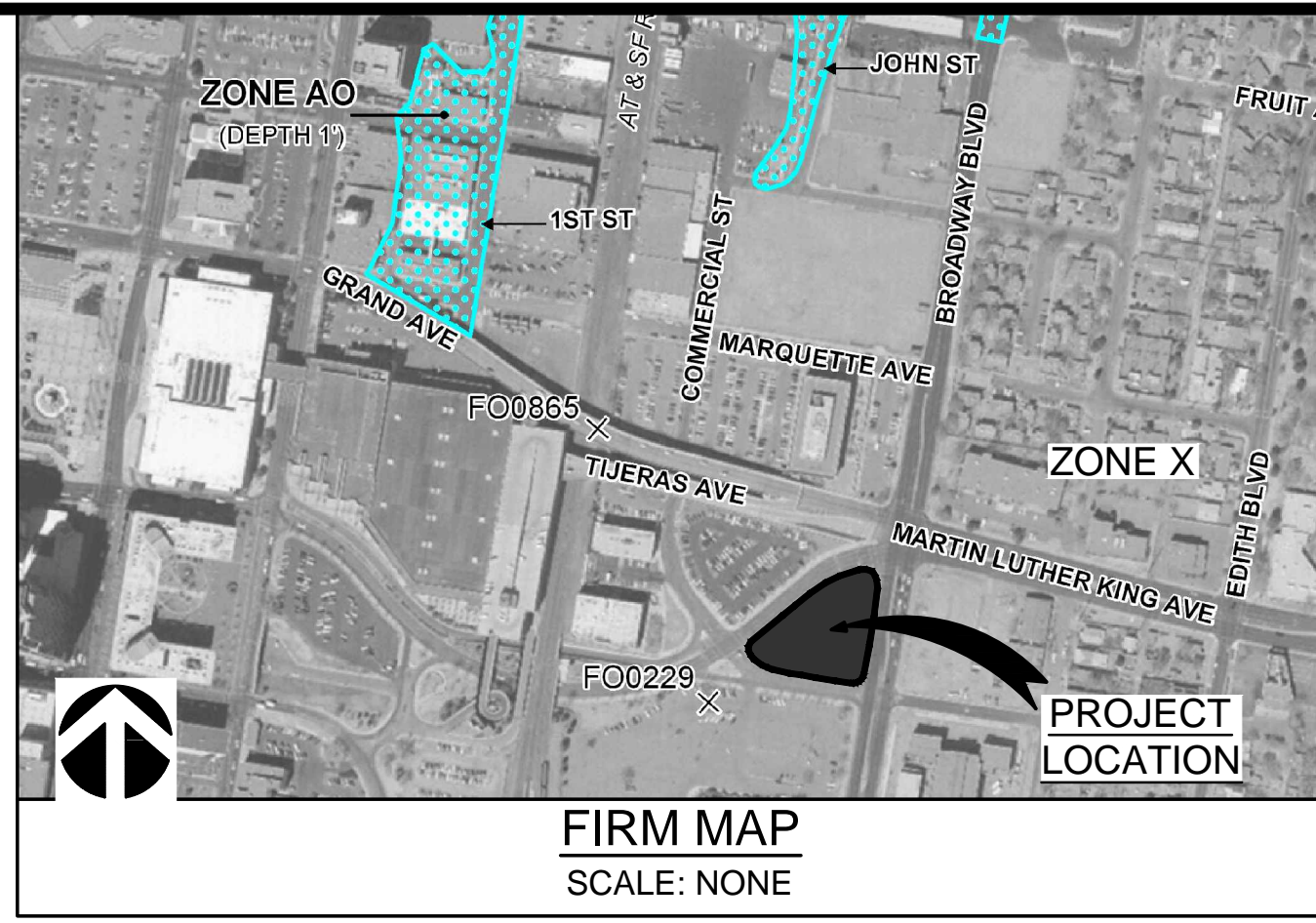


**ENGINEER'S STATEMENT**  
 I, THE ENGINEER OF RECORD CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE AND THE EXISTING GRADES AND CONTOURS DEPICTED ON THIS PLAN MATCH WHAT PRESENTLY EXISTS AT THIS LOCATION.  
 JAMES CRAIG HAGELGANTZ, NMPE #15559

**LEGEND**

---6510---	EXISTING INDEX CONTOUR
---6509---	EXISTING INTERIM CONTOUR
---10---	NEW INDEX CONTOUR
---09---	NEW INTERIM CONTOUR
±22.8	NEW SPOT ELEVATION

BROADWAY BOULEVARD N.E.



**DRAINAGE NARRATIVE**

THIS SITE IS LOCATED AT THE INTERSECTIONS OF BROADWAY BLVD. NE, TIJERAS AVE NE, AND DR. MARTIN LUTHER KING JR. AVE. NE IN ALBUQUERQUE, NM AND CONTAINS APPROXIMATELY 0.92 ACRES. THE SITE IS CURRENTLY UNDEVELOPED WITH NO STRUCTURES. AVAILABLE RECORDS INDICATE THE SITE CURRENTLY DRAINS FROM EAST TO WEST FROM BROADWAY BLVD. NE TOWARDS THE INTERSECTION OF TIJERAS AVE. AND DR. MARTIN LUTHER KING JR. AVE. THIS SITE IS LOCATED ON FIRM MAP NO. 35002, PANEL 0334 WHICH INDICATES THE ENTIRE SITE IS LOCATED IN ZONE X, AND THAT NO PORTION OF THE SITE IS LOCATED WITHIN A 100 YEAR FLOOD PLAIN.

WITH THIS DEVELOPMENT, AN ADDITION OF A PARKING LOT, THE HISTORIC DRAINAGE PATTERNS WILL BE PRESERVED. THE ADDITION OF AN ONSITE PONDING AREA WILL CAPTURE AND MANAGE THE 90TH PERCENTILE STORM EVENT AND THE "FIRST FLUSH" RUNOFF PER COA DRAINAGE ORDINANCE (SEE CALCULATIONS)

**ONSITE DRAINAGE RETENTION**

FIRST FLUSH STORAGE REQUIRED BY COA HYDROLOGY:  
 PROVIDE STORAGE FOR FIRST FLUSH RUNOFF PER SECTION 22 OF DPM TABLE A-6 USE 0.1 - 0.35 = 0.25 IN  
 FIRST FLUSH (IN) APPLIED OVER IMPERVIOUS AREAS (ACRES)  
 THEREFORE 0.25/12 X 0.517 X 43560 = 469.2CF  
 FIRST FLUSH PONDING AREA REQD. = 469.2 CF / 0.85 = 552 CF PROVIDED

**KEYED NOTES**

1. CONSTRUCT NEW PARKING AREA. SEE TYPICAL SECTION, DETAIL 2, THIS SHEET. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
2. CONSTRUCT DETENTION POND.
3. INSTALL WHEEL STOPS PER DETAIL 3, THIS SHEET.

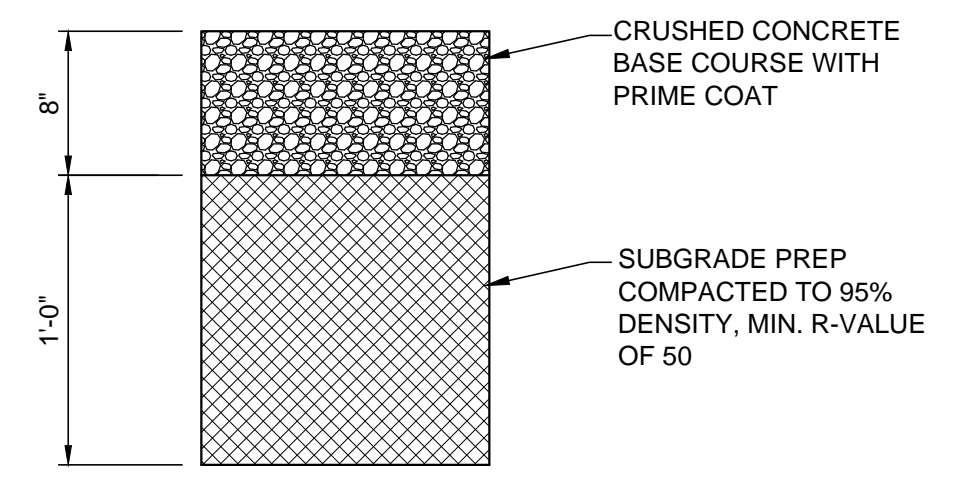
**NOTE**

THE EXISTING GRADES DEPICTED ON THIS PLAN WERE TAKEN FROM AVAILABLE ONLINE INFORMATION, AND NOT THE RESULT OF AN ACTUAL FIELD SURVEY. THE CONTRACTOR SHALL FIELD VERIFY GRADES AND IMMEDIATELY NOTIFY THE ENGINEER IF DISCREPANCIES EXIST.

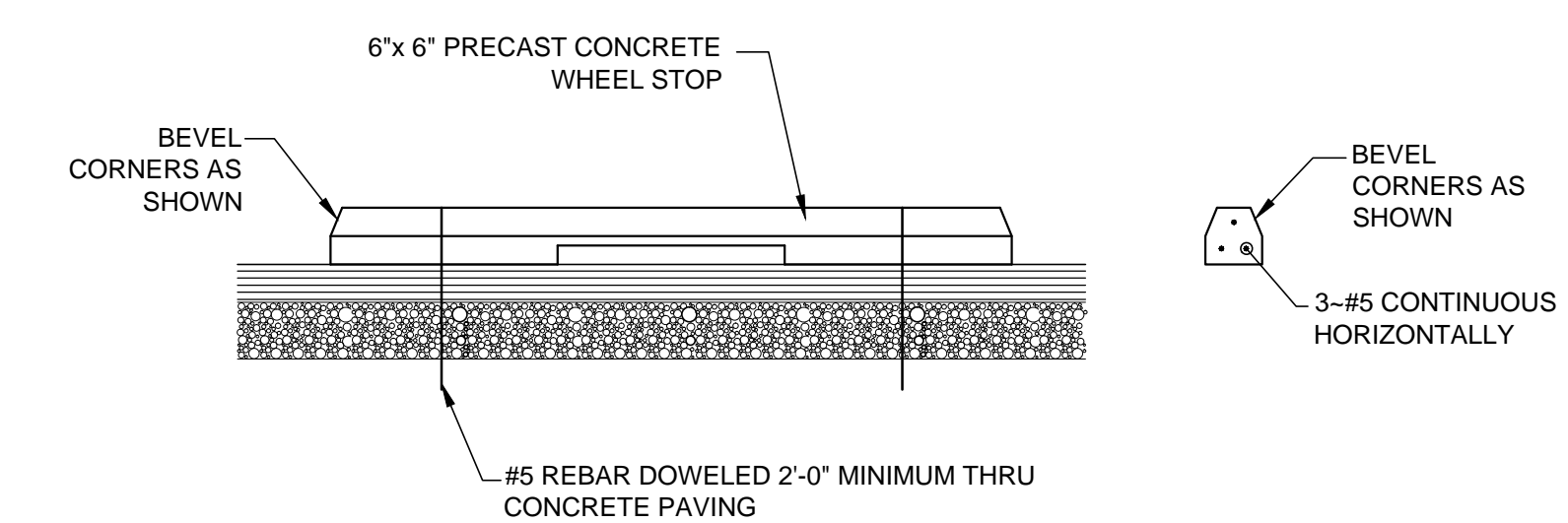
**DRAINAGE CALCULATIONS**

**Hydrology Calculations**  
 DPM - Volume 2, October 2008  
 Section 22.2 Hydrology

Precipitation Zone	2			
100 Year Storm Depth, P (360)	0.92			
<b>Treatment Area</b>	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>
Excess Precipitation Factors	0.53	0.78	1.13	2.12
Peak Discharge Factors	1.56	2.28	3.14	4.70
<b>Land Treatment Area</b>	<b>Acres</b>	<b>Existing</b>	<b>Allowable</b>	<b>Proposed</b>
Type "D" (Impervious, Roof, Drive way, Ect.)	0	0.16	0.00	
Type "C" (Compacted Soil, Unpaved Parking)	0.92	0.18	0.92	
Type "B" (Irrigated Lawns)	0	0.18	0.00	
Type "A" (Undeveloped)	0	0.40	0.00	
<b>Total (Acres)</b>		0.920	0.920	0.920
Excess Precipitation(in)		1.13	0.99	1.13
Volume (100), cf		3774	3291	3774
Volume (10),cf		2528	2205	2528
Q (100), cfs		2.89	2.34	2.89
Q (10), cfs		1.94	1.57	1.94
Ponding Volume Required, cf = $V(10)_{proposed} - V(10)_{existing}$				0
<b>POND VOLUME PROVIDED</b>				565 CF

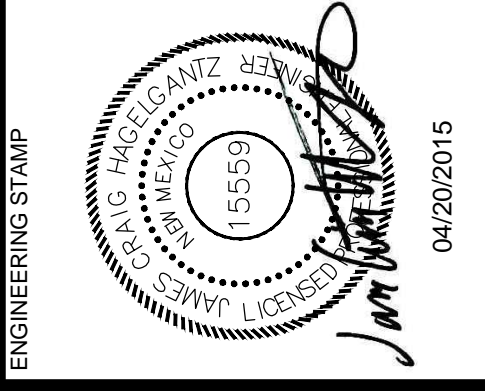


**2 PAVEMENT SECTION**  
 Scale: NTS



**3 WHEEL STOP DETAIL**  
 Scale: NTS

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DO NOT SCALE DRAWINGS  
 CONTRACTOR TO VERIFY ALL  
 EXISTING CONDITIONS AND  
 DIMENSIONS- NOTIFY  
 ENGINEER/ARCHITECT OF ANY  
 DISCREPANCIES PRIOR TO  
 BEGINNING CONSTRUCTION

DESIGNED BY: CAB PROJECT NO.: 15-034  
 DRAWN BY: CAB DATE: APRIL 2015

SHEET TITLE  
**GRADING & DRAINAGE PLAN**  
 SHEET NUMBER  
**C-101**

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