

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 9, 1992

W. Reed Edgel  
Rodriguez and Associates  
12800 San Juan NE  
Albuquerque, NM 87123

RE: DRAINAGE PLAN FOR MICHAEL GONZALES @ 910 4TH STREET S.W. (K14-D53)  
ENGINEER'S STAMP DATED 9/30/92.

Dear Mr. Edgel:

Based on the information provided on your September 30, 1992 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction plans prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Assistant

BJM/d1/WPHYD/3680

xc: Alan Martinez  
File

PUBLIC WORKS DEPARTMENT

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: MICHAEL GONZALES  
910 4TH STREET S.W. ZONE ATLAS/DRNG. FILE #: K-14/D053

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT 107-A-3, M.R.G.C.D. MAP NO-40CITY ADDRESS: 910 4TH STREET S.W.ENGINEERING FIRM: W. REED EDGEL, P.E. CONTACT: MR. EDGELADDRESS: 601 VASSAR N.E. 87106 PHONE: 255-2675OWNER: MICHAEL GONZALES CONTACT: MR. GONZALESADDRESS: ~~1426~~ 4TH ST. S.W. 87102 PHONE: 843-7577ARCHITECT: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: TORRES SURVEYING Co. CONTACT: MR. JIM TORRESADDRESS: 1570 BRIDGE S.W. 87105 PHONE: 291-7085CONTRACTOR: ? CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

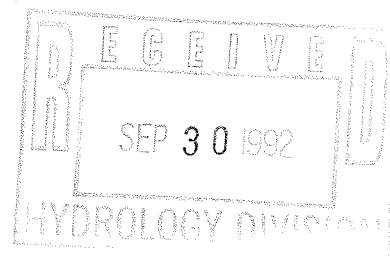
- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

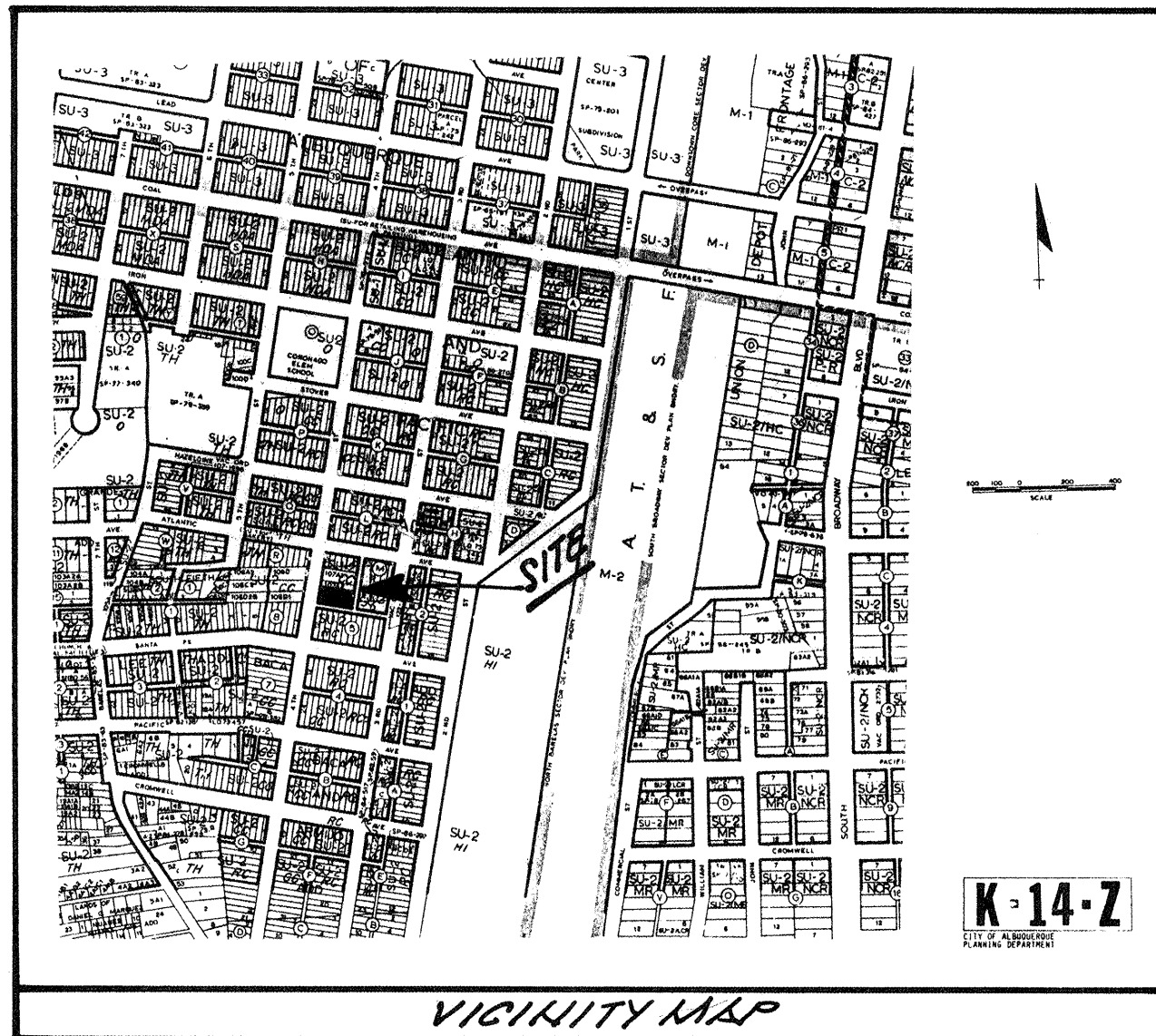
## PRE-DESIGN MEETING:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☒ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: SEPT. 29, 1992  
BY: W. REED EDGEL, P.E.



#### CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

#### GENERAL NOTES:

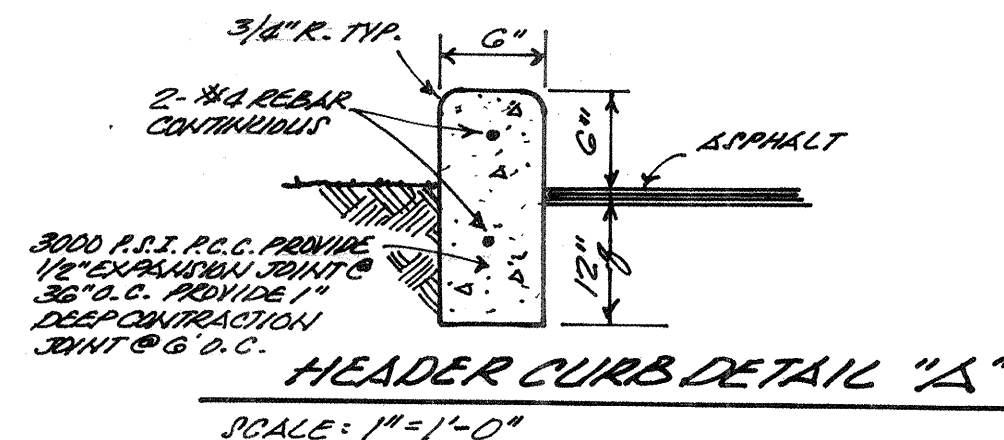
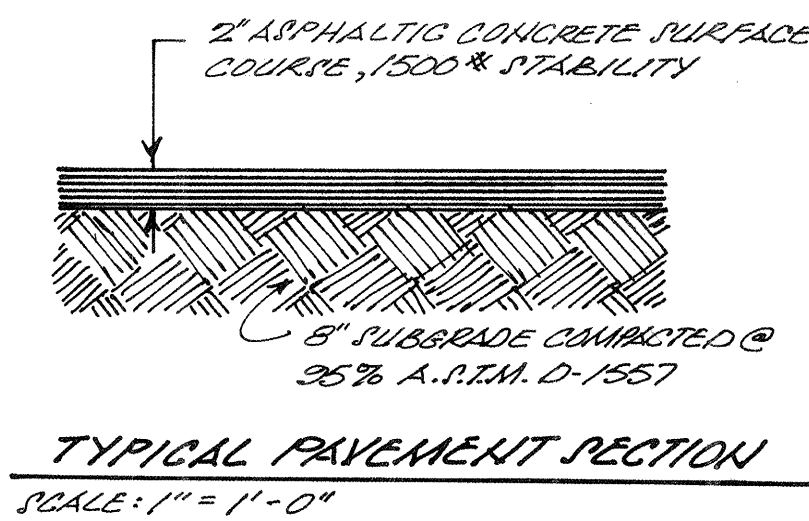
- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD.
- 3.) REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF THE PROPOSED IMPROVEMENTS.
- 4.) TOPOGRAPHY SURVEY OBTAINED BY "TRANSIT-STADIA" METHOD.

#### NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CONTRACT DOCUMENTS FOR CITY WIDE UTILITIES AND CASH PAVING NO. 31".
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE ( 765-1234 ), FOR LOCATION OF EXISTING OF SURFACE AND SUBSURFACE UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR THE PROJECT.

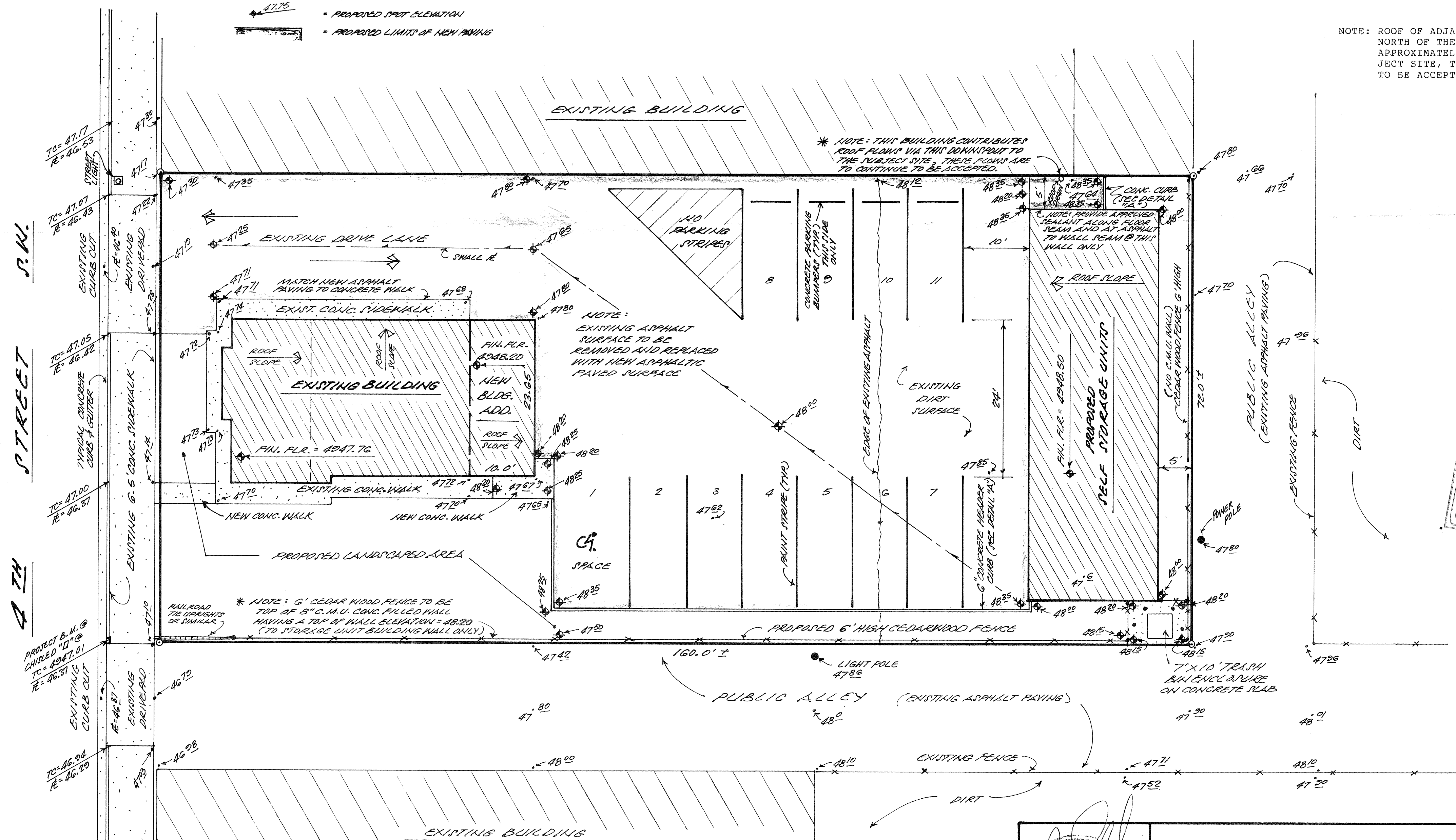
LEGAL DESCRIPTION: TRACT 107-A-3, M.R.G.C.D. MAP NO. 40, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK REFERENCE: ACS STATION "13-K14", M.S.L.D. ELEVATION = 4947.479, PROJECT B.M. AS SHOWN ON THE PLAN HEREON.



#### LEGEND:

- 7.0' = 47.17' = TOP OF CURB ELEVATION
- 7.0' = 46.53' = CURB FLOW LINE ELEVATION
- 47 --- = EXISTING OR PROPOSED CONCRETE
- 47 --- = EXISTING CONTOUR
- 47 --- = PROPOSED CONTOUR
- 47 --- = EXISTING FENCE
- 47.75 --- = PROPOSED DIRT ELEVATION
- 47.75 --- = PROPOSED LIMIT OF NEW PAVING



#### DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF 4 TH STREET S.W. APPROXIMATELY 100.00' SOUTH OF THE INTERSECTION OF 4 TH STREET S.W. AND ATLANTIC AVENUE S.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (ZONE ATLAS MAP "K-14-Z")

THE SUBJECT PROJECT SITE, (1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN, (P.E.M.A. 28 OF 50), (2.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, (3.) HAS NO DRAINAGE EASEMENTS ON THE PROPERTY AT THE PRESENT TIME, (4.) DOES NOT CONTRIBUTE BUT ACCEPTS OFFSITE FLOWS; BASED ON A SITE INVESTIGATION, IT HAS BEEN DETERMINED THAT THE FREE DISCHARGE OF THE DEVELOPED SURFACE FLOWS WILL HAVE NO ADVERSE AFFECT TO DOWNSIDE PROPERTIES.

#### DRAINAGE CALCULATIONS: (RATIONAL METHOD: Q<sub>100</sub> = CIA)

SITE AREA = 11,520.0 SQ. FT. (±) = 0.26 ACRE

RAINFALL, R<sub>s</sub> (100-YR.-6 HR.) = 2.3 INCHES

TIME OF CONCENTRATION, T<sub>c</sub> = TEN (10) MINUTES

RAINFALL INTENSITY, "I" = 2.3 X 6.84 X (10)<sup>-0.51</sup> = 4.86 IN./HR.

#### EXISTING CONDITIONS:

ROOFED AREA = 1,133.0 SQ. FT.  
LANDSCAPED AREA = 0.0 SQ. FT.  
CONCRETE/PAVED AREA = 6,931.0 SQ. FT.  
UNDEVELOPED AREA = 3,456.0 SQ. FT.

C<sub>r</sub> = 1,133.0 X 0.90 = 0.09

C<sub>d</sub> = 0.0 X 0.25 = 0.00

C<sub>c/p</sub> = 6,931.0 X 0.95 = 0.57

C<sub>u</sub> = 3,456.0 X 0.40 = 0.12

SUM "C" = 0.78

Q<sub>100</sub> = 0.78 X 4.86 X 0.26 = 0.99 CFS

#### PROPOSED DEVELOPED CONDITIONS:

ROOFED AREA = 2,333.0 SQ. FT.  
LANDSCAPED AREA = 2,337.8 SQ. FT.  
CONCRETE/PAVED AREA = 6,849.2 SQ. FT.  
UNDEVELOPED AREA = 0.0 SQ. FT.

C<sub>r</sub> = 2,333.0 X 0.90 = 0.18

C<sub>d</sub> = 2,337.8 X 0.25 = 0.05

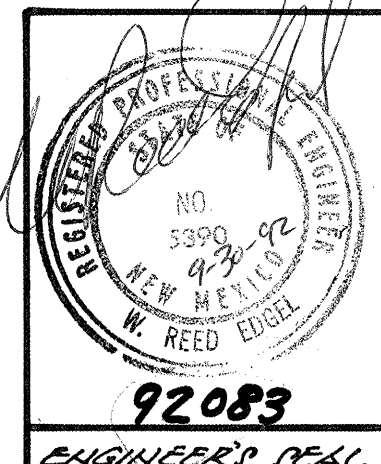
C<sub>c/p</sub> = 6,849.2 X 0.95 = 0.56

C<sub>u</sub> = 0.00 X 0.40 = 0.00

SUM "C" = 0.79

Q<sub>100</sub> = 0.79 X 4.86 X 0.26 = 1.00 CFS

NOTE: ROOF OF ADJACENT BUILDING TO THE NORTH OF THE SUBJECT SITE CONTRIBUTES APPROXIMATELY 0.35 CFS ONTO THE SUBJECT SITE, THESE FLOWS ARE TO CONTINUE TO BE ACCEPTED.



GRADING AND DRAINAGE PLAN  
FOR  
MICHAEL GONZALES  
(910 4 TH STREET S.W.)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 1992