

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 17, 2021

Patricia H. Hancock , RA
SMPC
219 Central Ave NE Suite 800
Albuquerque, NM 87102

Re: Standard Diner/Range Café Patio Expansion
320 Central Ave SE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 9-15-20 (K14D055)
Certification dated 6-14-21

Dear Ms. Hancock,

Based upon the information provided in your submittal received 6-15-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

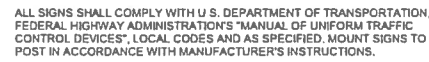
Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible aisles will need to have the words "NO PARKING"
- Bicycle Parking on dirt/ground: What happens when it rains and the parking surface turns muddy. What type of solution after the rain will be provide with this concern.
- ADA stall: it appears post support need to be flushed on asphalt surfaces. Please verify that there isn't any issue.
- Provide a clear pathway from the stalls to the front of the building. At present time, there is no clear pathway from accessible aisle to building entrance. Please provide some type of delineation to define this pathway.

Once these corrections are complete, email pictures showing the changes to epgomez@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3981.
Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services
EG via: email
C: CO Clerk, File

[illegible]

A detailed black and white map of a city grid, likely New York City, showing streets, buildings, and a large body of water. A prominent diagonal line runs across the map, possibly indicating a major thoroughfare or a boundary. The map is oriented with North at the top.

Diagram illustrating a three-lane highway cross-section. The central lane is 5'-0" wide and marked "ON RAMP" with diagonal hatching. The two outer lanes are 8'-0" wide. The total width is 21'-0". The diagram includes a 15' 0" vertical dimension, a 4' 0" shoulder width, and a 15' 0" vertical dimension. A note "RE-SURFACE AS NEEDED" points to the outer lanes. A 45' 00' angle is indicated for the ramp markings.

Diagram illustrating a 4' x 8' van space. The space is marked with a 45° diagonal line and a "NO PARKING" sign. The sign is labeled "1 TYP". The space is labeled "RE-SURFACE AS NEEDED" and "VAN". The diagram shows a 4' x 8' area with a 45° diagonal line and a "NO PARKING" sign. The sign is labeled "1 TYP". The space is labeled "RE-SURFACE AS NEEDED" and "VAN".

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

1. HANDICAP SYMBOL, MARKING AND STRIPING, BLUE
2. EXISTING "NO PARKING" STRIPING RED PAINT
3. EXISTING CURB CUT/DURVE PAD
4. EXISTING DUMPMETER AND STORAGE AREA
5. ASPHALT ADA PARKING AREA LEVEL WITH CONCRETE, NO RAMP REQUIRED, MAXIMUM 1/2" VERTICAL DEFLECTION ALLOWED PER ADA.
6. EXISTING CONCRETE SIDEWALK
7. EXISTING ASPHALT PAVEMENT
8. PROVIDE "4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPS, SPACES AT 1'-6" (SHOWN WITHIN IN PARKING LOT, BLUE PAINT) ACCESSIBLE PARKING SPACES, MIN 2 COATS. INSTALL THE WORDS "NO PARKING AS" WHITE WITH LETTER AT LEAST ONE FOOT HIGH AND TWO INCHES WIDE, MIN. 2 COATS.
9. INSTALL "HIC" SIGNAGE PER DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED, "HIC" SIGN MUST INCLUDE LANGUAGE PER 86-7-32.42 C.M.S.A 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
10. PROVIDE ADA INTERIOR WHEEL CHAIR SYMBOL (BLUE) PER ADA STANDARD, MIN. 2 COATS.
11. INSTALL "4" WIDE PAINT STRIPS (WHITE) FOR PARKING SPACES AS SHOWN, MIN 2 COATS.
12. EXISTING BIKE RACK
13. MOTORCYCLE PARKING AREA, 2 SPACES, ADD PAINT LABELS (2 COATS) AND SIGNAGE PER COA REQUIREMENTS.
14. INSTALL EXISTING PRE-CAST WHEELSTOPS.
15. EXISTING ON-STREET PARKING STRIPES
16. PAINTED PATH FROM ADA PARKING PROVIDE "4" WIDE PAINT STRIPES AT 45° ANGLE, SPACING AT 1'-6", 2 COATS MIN.
17. ADA RESTAURANT ENTRANCE
18. 6'-0" CLEAR WALK AREA
19. EXISTING SIGN

SCOPE BOX CURRENT PHASE

*ELEMENTS WITHIN SCOPE BOX ARE NEW
ELEMENTS. EVERYTHING ELSE IS EXISTING.*

Signed _____ Date 9/25/2020



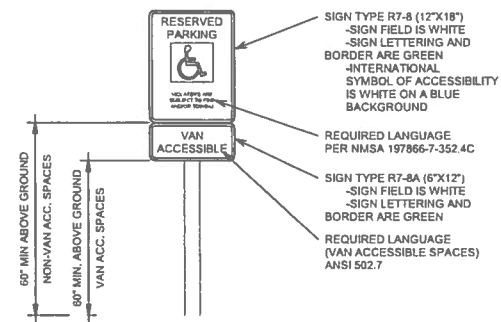
3320 Central Ave SE, Albuquerque, NM 87102

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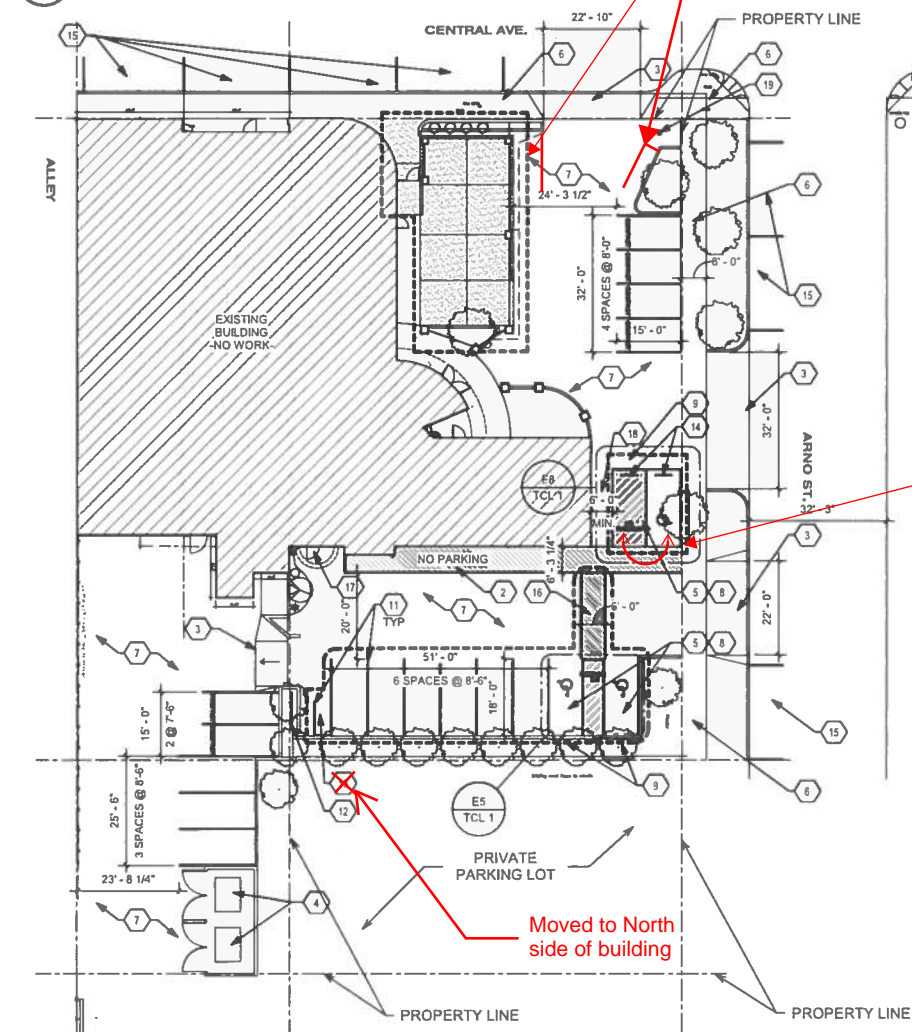
SHEET TITLE

TCL 1



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

H1 ACCESSIBLE PARKING SIGN TYP. 3" = 1'-0"



A1 TRAFFIC CIRCULATION PLAN 1" = 20'-0"

VICINITY MAP



PROJECT SITE:
320 CENTRAL AVE SE

GENERAL INFORMATION

ADDRESS 320 Central Ave SE Albuquerque NM 87102
OWNER: Vince DiGregory, Lifeline Building Sciences, LLC
UPC: 101405739737811507
LEGAL DESCRIPTION: T-001 009HUNINGS HIGHLAND ADD W50FT L1 THRU 3
PROPERTY CLASS C
DOCUMENT NUMBER 2015026616 033115 WD - EN
ACRES: 0.17
IDO ZONE DISTRICT: MX-L
IDO DISTRICT DEFINITION: LOW INTENSITY
LAND USE 041 COMMERCIAL SERVICES
LOT BLOCK 9 | SUBDIVISION: HUNINGS HIGHLAND ADDN
ZONE ATLAS PAGE: K14

SHEET KEYNOTES

- HANDICAP SYMBOL MARKING AND STRIPING, BLUE
- EXISTING "NO PARKING" STRIPING, RED PAINT
- EXISTING CURB CUT/DRIVE PAD
- EXISTING DUMPSTER AND STORAGE AREA
- ASPHALT ADA PARKING AREA LEVEL WITH CONCRETE, NO RAMP REQUIRED, MAXIMUM 1/2" VERTICAL DEFLECTION ALLOWED PER ADA
- EXISTING CONCRETE SIDEWALK
- EXISTING ASPHALT PAVEMENT
- PROVIDE 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPS, SPACES AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS), MIN. 2 COATS. INSTALL THE WORDS "NO PARKING" AS SHOWN WITH LETTER AT LEAST ONE FOOT HIGH AND TWO INCHES WIDE, MIN. 2 COATS.
- INSTALL HVC SIGNAGE PER DETAIL THIS SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. HVC SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- PAINTED INTERNATIONAL WHEEL CHAIR SYMBOL (BLUE) PER ADA STANDARD, MIN. 2 COATS.
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR PARKING SPACES AS SHOWN, MIN. 2 COATS.
- EXISTING BIKE RACK
- MOTORCYCLE PARKING AREA, 2 SPACES, ADD PAINT LABELS (2 COATS) AND SIGNAGE PER COA REQUIREMENTS.
- INSTALL EXISTING PRE-CAST WHEELSTOPS.
- EXISTING ON-STREET PARKING SPACES.
- PAINTED PATH FROM ADA PARKING: PROVIDE 4" WIDE PAINT STRIPES AT 45° ANGLE, SPACED AT 1'-6", 2 COATS MIN.
- ADA RESTAURANT ENTRANCE
- 6'-0" CLEAR WALK AREA
- EXISTING SIGN

LEGEND

SCOPE BOX CURRENT PHASE
ELEMENTS WITHIN SCOPE BOX ARE NEW
ELEMENTS, EVERYTHING ELSE IS EXISTING.

PARKING CALCULATION

PROPERTY DESIGNATION: UC-M5-PT § ALBUQUERQUE BERNALEJO COUNTY COMPREHENSIVE PLAN 5-1

REQUIRED PARKING § COA IDO
RESTAURANT: 5 OCC PER 1000 SF § (TABLE 5-5-1 COA IDO)

Total SF: 5,368 SF
5,368/1000 = 5.4
5.4 x 5 = 27 Spaces
27 x .70 § 5-5 (C)(5)(C) previously to internal 30% reduction
18.9 § 5-5 (C)(1)(C) rounded down from the rounded whole number

18 Spaces required
20 Provided

OUTDOOR PARKING NOT REQUIRED § (TABLE 5-5-1 COA IDO)

ACCESSIBLE SPACES:
VAN ACCESSIBLE
REQUIRED 1 PROVIDED 1
ACCESSIBLE
REQUIRED 1 PROVIDED 1

MOTORCYCLE:
REQUIRED 1 PROVIDED 1

BIKE PARKING: (EXISTING)
REQUIRED 3 PROVIDED 4

TCL Substantial Compliance
2021-06-14

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

Date

9/25/2020

SMPC Architects

219 Central Ave SE
Albuquerque, NM 87102
1-202-253-8888
www.smpcarchitects.com



STANDARD DINER/RANGE CAFE
PATIO EXPANSION

320 Central Ave SE, Albuquerque, NM 87102

NO	DATE	DESCRIPTION
DATE:	2020-09-03	
PROJECT #	20244	
DRAWN BY	RSJ	
CHKD BY	PH	

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SHEET TITLE

TRAFFIC
CIRCULATION
LAYOUT

TCL 1


SHEET

June 14, 2021

TRAFFIC CERTIFICATION

I, **Patricia Hancock AIA**, NMRA _____, OF THE FIRM **SMPC Architects**, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **9/25/2020**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **Vince DiGregory OF THE FIRM Lifeline Building Sciences, LLC**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **6/14/2021** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **Certificate of Occupancy**.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ENGINEER'S OR ARCHITECT'S STAMP

Signature of Engineer or Architect

June 14, 2021

Date





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____