

SITE PLAN

BID LOTS/ALTERNATES

$$1'' = 30'-0''$$

**FOR REFERENCE
ONLY**

Symbols Legend

- | | |
|--|--------------------------------------------------------------|
| | NORTH ARROW |
| | STRUCTURAL GRID |
| | BUILDING SECTION
REF. DWG. No. TYP.
REF. SHT. No. TYP. |
| | WALL SECTION |
| | EXTERIOR ELEVATION |
| | DETAIL (SECTION) |
| | DETAIL (PLAN) |
| | INTERIOR ELEVATIONS
REF. DWG. No.
REF. SHT. No. |
| | ROOM NUMBER |
| | DOOR NUMBER |
| | WINDOW TYPE |
| | EQUIPMENT TYPE |
| | ASSEMBLY TYPE |
| | ACCESSORY TYPE |
| | REVISION NUMBER |
| | KEYED NOTE NUMBER |
| | ELEVATION MARK
EL 0.00'
DESCRIPTION |
| | ELEVATION MARK, EXISTING
EL 0.00'
DESCRIPTION |
| | MATCH LINE |

ANSI Notes

- 4.13.8 THRESHOLDS AT DOORWAYS
- THRESHOLDS, IF PROVIDED, AT DOORWAYS SHALL BE 1/2 IN. (13 MM) HIGH MAXIMUM EXCEPT THAT THRESHOLDS FOR EXTERIOR RESIDENTIAL SLIDING DOORS SHALL BE 3/4 IN. (19 MM) HIGH MAXIMUM. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES SHALL COMPLY WITH 4.5.2.
- 4.13.9 DOOR HARDWARE:
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TWISTING, OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE MOUNTED WITH REACH RANGES SPECIFIED IN 4.2. WHEN SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
- 4.13.10 DOOR CLOSERS:
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES WILL BE 5 SECONDS MINIMUM.
- 4.13.11 DOOR-OPENING FORCE
- DOOR CLOSERS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE REQUIRED FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
- INTERIOR HINGED DOOR: 5.0 LB (22.2 N) MAX.
 - SLIDING/FOLDING DOOR: 5.0 LB (22.2 N) MAX.
- THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
- 4.20.5 FAUCETS
- FAUCETS SHALL COMPLY WITH 4.25.4. SELF-CLOSING FAUCETS, WHEN USED, SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.
- 4.25.4 OPERATION
- OPERABLE PARTS OF EQUIPMENT AND APPLIANCES SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PUNCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LB (22.2N) MAXIMUM.

Bid Lots

BID LOT A (BASE BID)

ALL AREAS NOT DESIGNATED AS BID LOT B OR C, OR AS ANY OTHER ADDITIVE ALTERNATES. THESE AREAS INCLUDE BUT ARE NOT LIMITED TO SITE WORK, BUILDING SHELL INCLUDING ALL STRUCTURAL COMPONENTS, INTERIOR CONSTRUCTION INCLUDING ALL COMMON AREAS RE: RESTROOMS, WAITING AREAS, MECHANICAL, ELECTRICAL ROOMS.

BID LOT B (AREAS TO BE UTILIZED BY GREYHOUND ONLY)

ALL AREAS DESIGNATED IN SITE/FLOOR PLAN ABOVE AS "FOR INCLUDING," BUT NOT LIMITED TO ENTIRE CONSTRUCTION OF MAINTENANCE BUILDING, INCLUDING ALL UTILITY RUNS FROM PROPERTY LINE TO MAINTENANCE BUILDING. WORK ALSO TO INCLUDE TENANT IMPROVEMENTS AT DEPOT IN AREAS AS INDICATED IN PLAN ABOVE, INCLUDING, BUT NOT LIMITED TO WALLS, AND ALL CORRESPONDING FLOOR, WALL AND CEILING FINISHES IN DESIGNATED AREA.

BID LOT C (TRI-CENTENIAL PLAZA)

AREA DESIGNATED IN SITE/FLOOR PLAN ABOVE AS BID LOT C, INCLUDING, BUT NOT LIMITED TO ENTIRE CONSTRUCTION OF THE TRI-CENTENIAL PLAZA, INCLUDING ALL SIDEWALKS, CURBS, DRIVES, LANDSCAPING, IRRIGATION, WATER FEATURES, BENCHES, AND LIGHTING SHOWN WITHIN LIMITS OF DESIGNATED AREA.

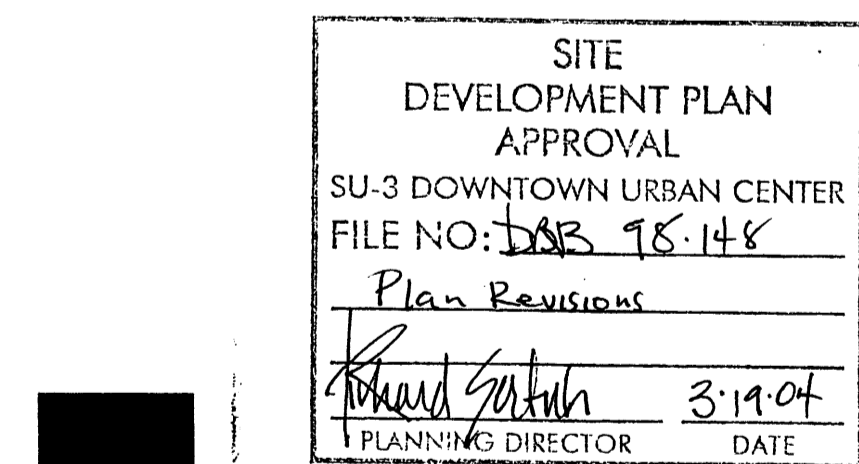
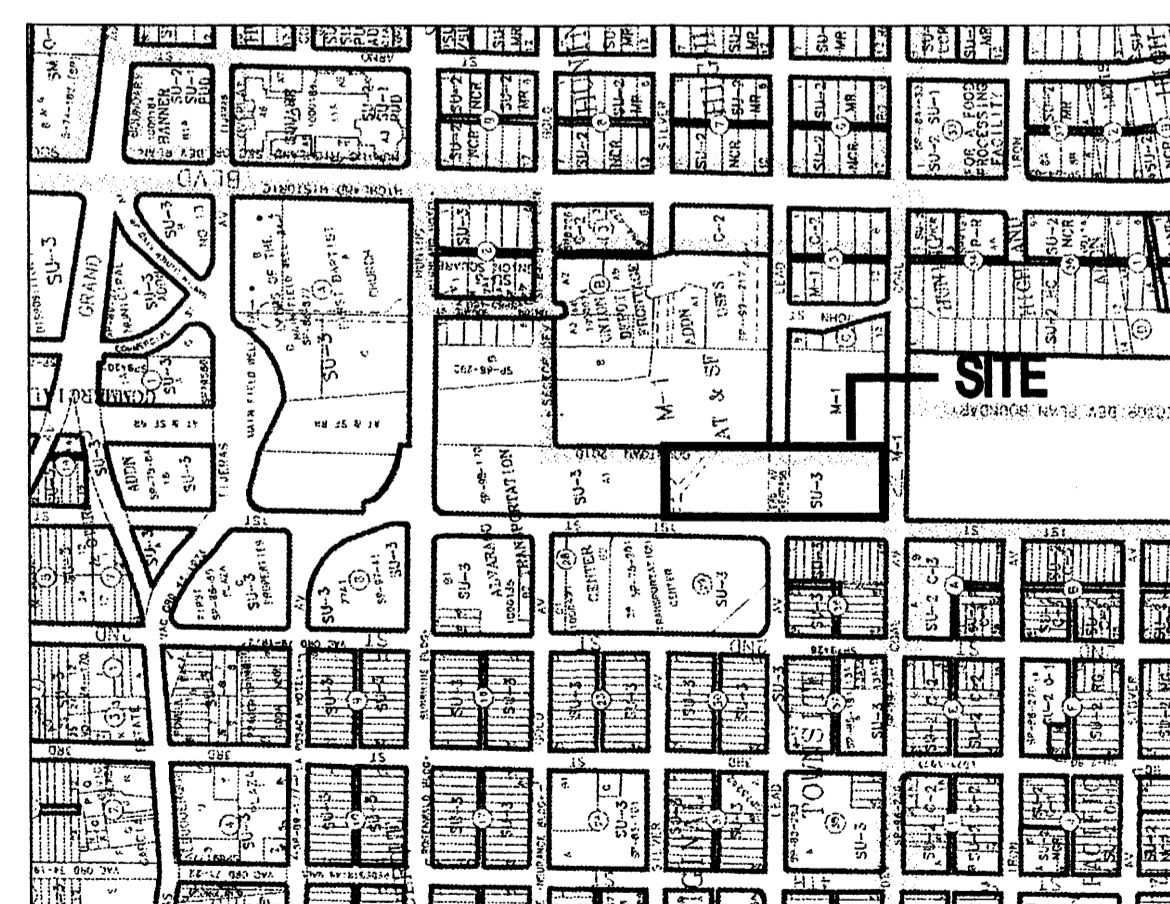
Project Data

1. LEGAL DESCRIPTION:
BEING THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALBUQUERQUE, GRANT, WITHIN SECTION 20 (AS PROJECTED), TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING IDENTICAL AS TRACT A, RAILWAY DEPOT, AS SAID TRACT A IS SHOWN AND DESIGNATED ON A PLAT OF TRACT A, RAILWAY DEPOT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 7, 1990, IN VOLUME C90, FOLIO 28.
2. OWNER:
CITY OF ALBUQUERQUE
PROJECT MANAGER: DEMETRIO GRIEGO
USER CONTACT: GEORGE GEE
3. SITE AREA:
294.715 S.F. (APPROXIMATELY 6.77 ACRES)
4. PARKING REQUIRED:
TO BE DETERMINED

Alternates

ADDITIVE ALTERNATE #1 (PID 101)

AS DESIGNATED ON PLAN ABOVE AT ADDITIVE ALTERNATE #1, INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION FOR WEST EXTENSIONS OF ARCADE CANOPY.




Dekker/Perich/Sabatini
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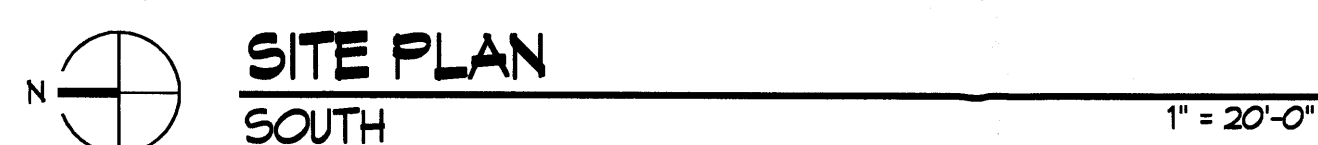


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

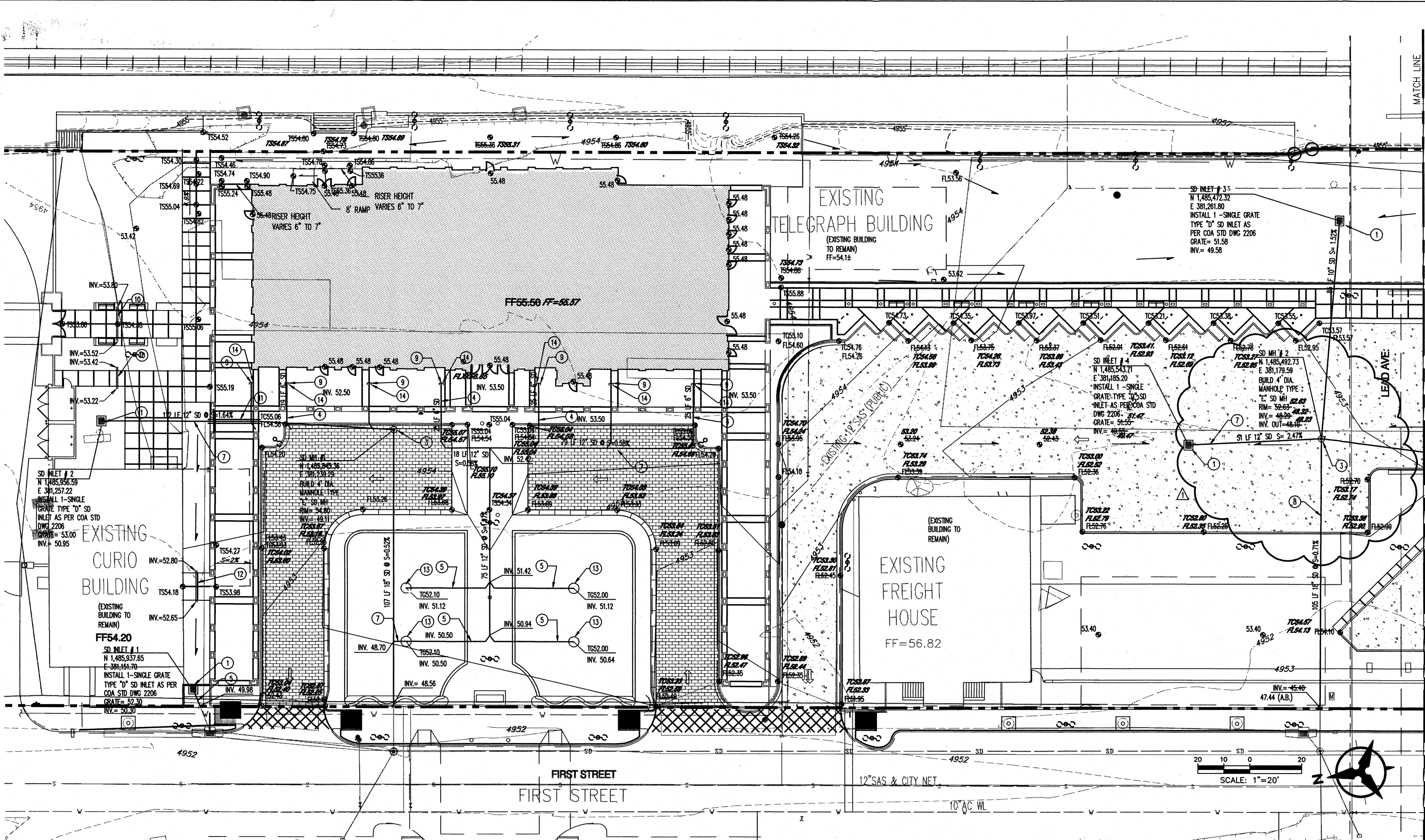
TITLE: ALVARADO TRANSPORTATION CENTER-PHASE II DEPOT BLDG.
GENERAL INFO & BID LOTS/ALTERNATES

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 5842.94		Zone Map No. K-14-Z	Sheet 02 OF 92	

1	9/14/04	PERMIT AND DRC COMMENTS		
NO.	DATE	REMARKS	BY	
REVISIONS				
DESIGN				
DESIGNED BY	D/P/S	DATE	6/15/04	
DRAWN BY	D/P/S	DATE	6/15/04	
CHECKED BY	D/P/S	DATE	6/15/04	



Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 5842.94	A002	Zone Map No. K-14-Z	Sheet OF	



GENERAL NOTES

1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK ORDERS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

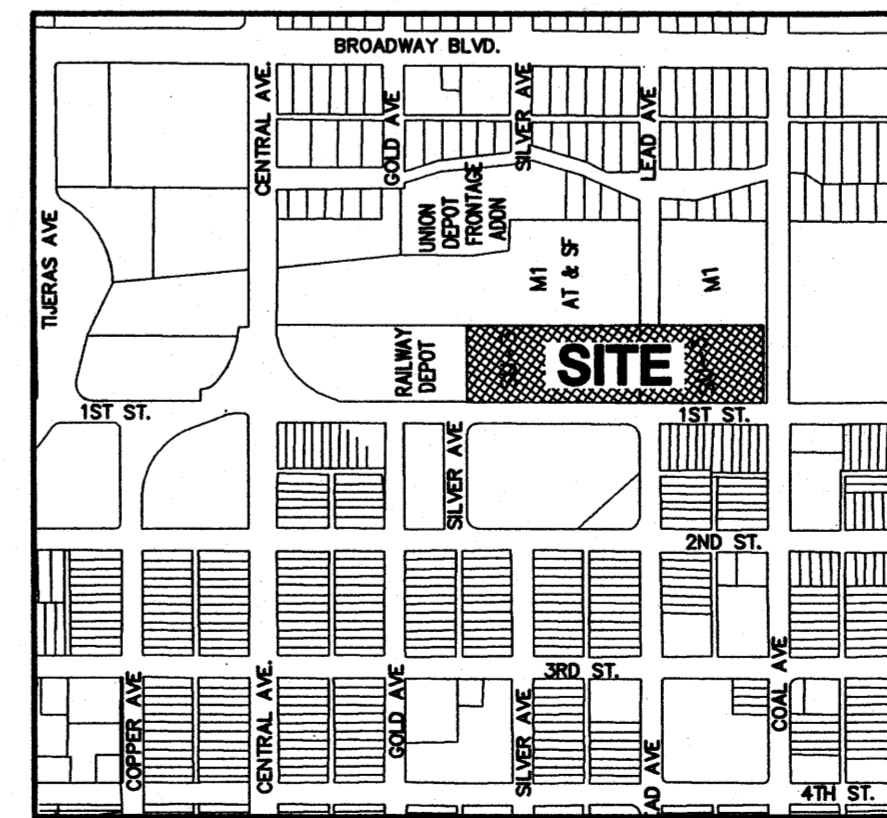
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY OTHERS.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSATURABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE CERTIFICATION

I, GLENN BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/15/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT A. GROMATZKY, NMPS 16468, OF THE FIRM BOHANNAN HUSTON INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/19/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn Broughton
GLENN BROUGHTON NMPE 14171



Bohannon & Huston
Engineering & Spatial Data & Advanced Technologies
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- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOURS
 - EXISTING ELECTRICAL POLE
 - PROPOSED SPOT ELEVATION
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED RETAINING WALL
 - PROPOSED CURB & GUTTER
 - EASEMENT
 - EXISTING SANITARY MANHOLE
 - PROPOSED LIGHTING
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET
 - EXISTING EASEMENT
 - CONCRETE PAVEMENT, SEE DETAIL SHEET C102
 - BRICK PAVEMENT, SEE DETAIL SHEET C102

- LEGEND**
- FLX056.85 DESIGN GRADE
 - ASBUILT GRADE

KEYED NOTES

1. SINGLE "D" INLET PER COA. STD. DWG. 2206.
2. NOT USED.
3. STORM DRAIN MANHOLE TYPE "E" PER COA. STD. DWG. 2102.
4. 6" SDR-35 STORM DRAIN.
5. 8" SDR-35 STORM DRAIN.
6. 10" SDR-35 STORM DRAIN.
7. 12" SDR-35 STORM DRAIN.
8. 18" RCP CLASS III.
9. EXTEND STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
10. 6" SDR-35 PVC PIPE UNDER SIDEWALK.
11. 18" STEEL SLEEVE.
12. 8" SDR-35 PVC PIPE UNDER SIDEWALK.
13. STORMWATER HARVESTING MANHOLE. SEE LANDSCAPE PLAN SHEET L301 FOR DETAIL.
14. ECCENTRIC REDUCER. SEE PLUMBING PLAN FOR ROOF DRAIN PIPE SIZE.

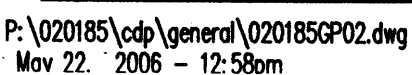
NOTICE OF EXTENDED PAYMENT PROVISION - THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.

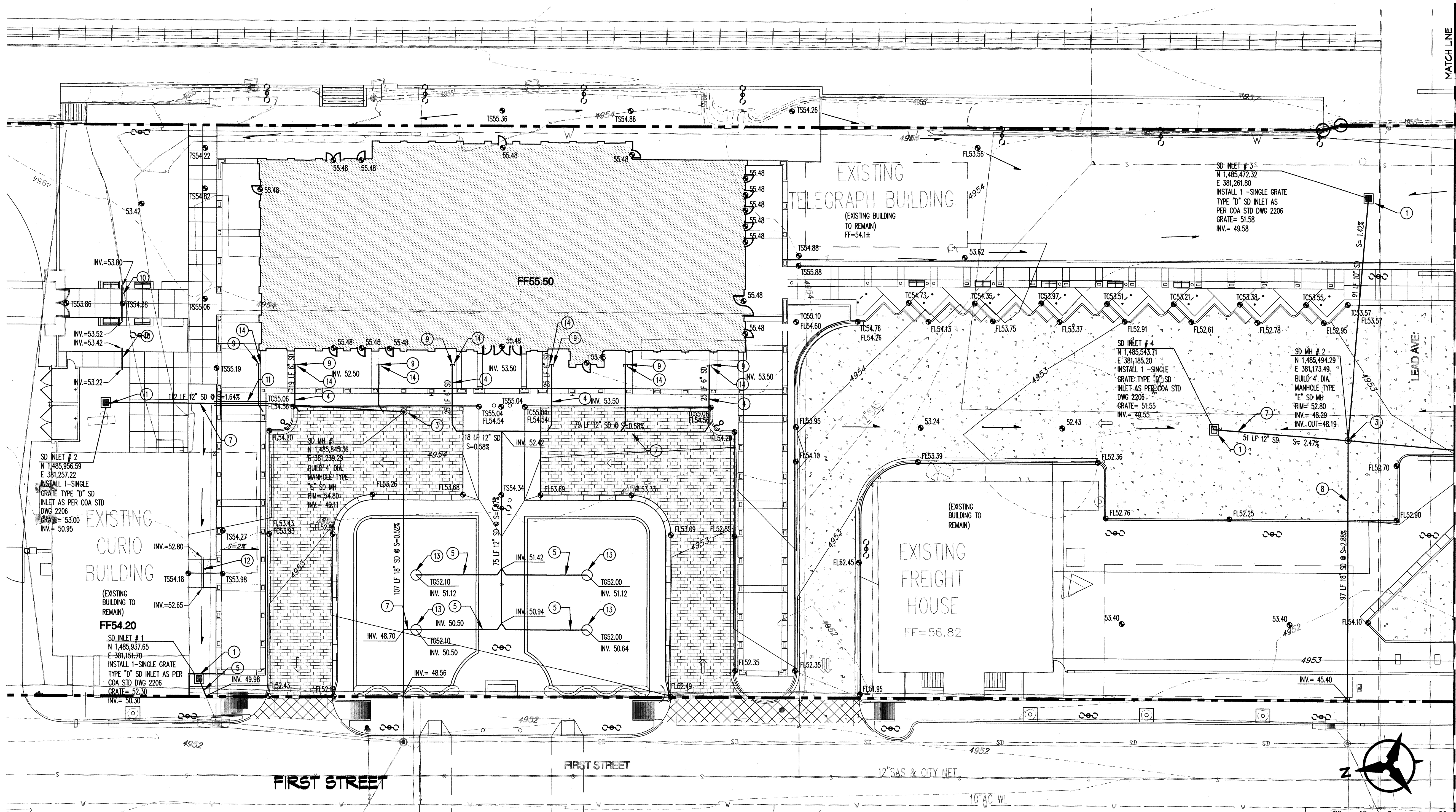
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT			
TITLE: ALVARADO TRANSPORTATION CENTER-PHASE II: DEPOT/MAINT. BLDGS. GRADING & DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	
City Project No.	C101	Zone Map No.	Sheet
5842.94		K-14-Z	OF

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACCS STATION	STANDARD CITY OF ALBUQUERQUE DISK SET	NO.	BY	DATE	NO.		
WORK	DATE	IN A DRILLED HOLE IN THE SIDEWALK. LOCATED	IN A DRILLED HOLE IN THE SIDEWALK. LOCATED						
ACCEPTANCE BY	DATE	DOWNTOWN ALBUQUERQUE AT THE INTERSECTION	DOWNTOWN ALBUQUERQUE AT THE INTERSECTION						
REVISIONS	DATE	OF 3RD ST. & LEAD AVE. IN THE NE QUADRANT	OF 3RD ST. & LEAD AVE. IN THE NE QUADRANT						
DATE	DATE	OF THIS INTERSECTION. STA. IS 7.0' EAST OF	OF THIS INTERSECTION. STA. IS 7.0' EAST OF						
		THE BACK OF CURB ON 3RD ST. & 9.0' NORTH	THE BACK OF CURB ON 3RD ST. & 9.0' NORTH						
		COORDINATES X=380,362.8298 Y=1,485,612.128	COORDINATES X=380,362.8298 Y=1,485,612.128						

MAY 23 2006
HYDROLOGY SECTION





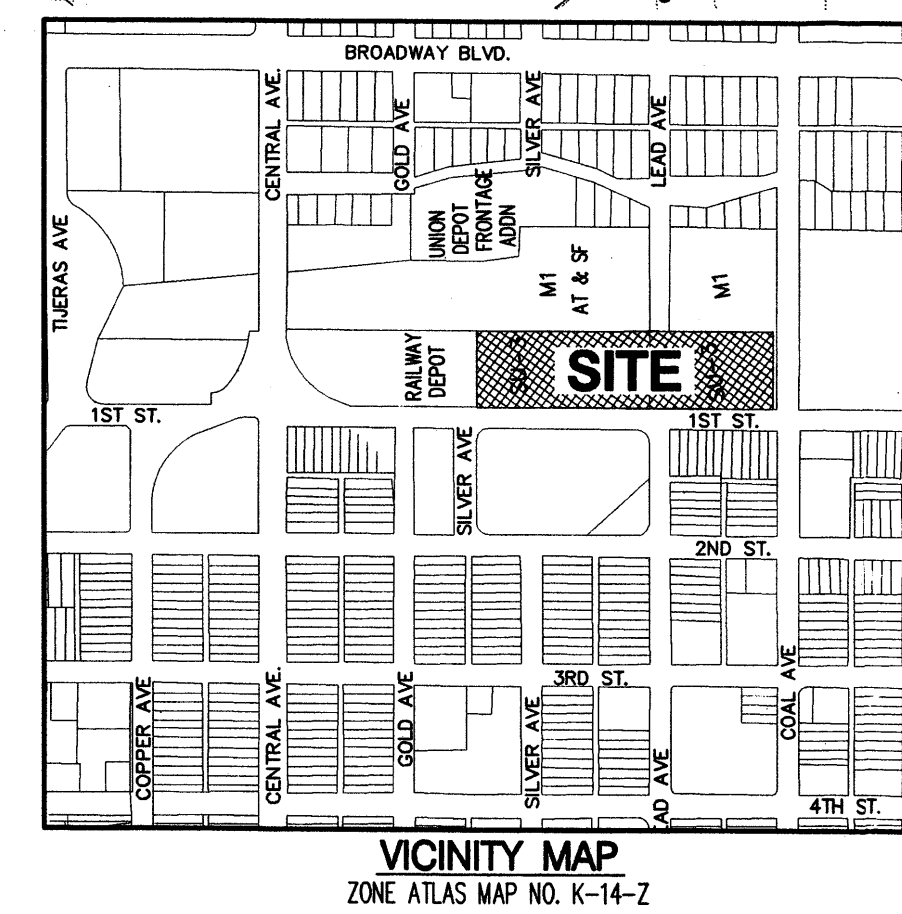
LEGEND			
---	PROPERTY LINE	AS BUILT INFORMATION	CONTRACTOR
---	EXISTING CONTOURS	DATE	DATE
X 5301.15	EX. GROUND SPOT ELEVATION	DATE	DATE
●	EXISTING ELECTRICAL POLE	DATE	DATE
65.23	PROPOSED SPOT ELEVATION	DATE	DATE
---	PROPOSED DIRECTION OF FLOW	DATE	DATE
---	WATER BLOCK	DATE	DATE
---	PROPOSED RETAINING WALL	DATE	DATE
---	PROPOSED CURB & GUTTER	DATE	DATE
---	EASEMENT	DATE	DATE
---	EXISTING SANITARY MANHOLE	DATE	DATE
---	PROPOSED LIGHTING	DATE	DATE
---	PROPOSED STORM DRAIN LINE	DATE	DATE
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BENCH MARKS			
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13.	STORMWATER HARVESTING MANHOLE. SEE LANDSCAPE PLAN SHEET L301 FOR DETAIL.	DATE	DATE
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 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY OTHERS.
 - A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
 - ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
 - VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



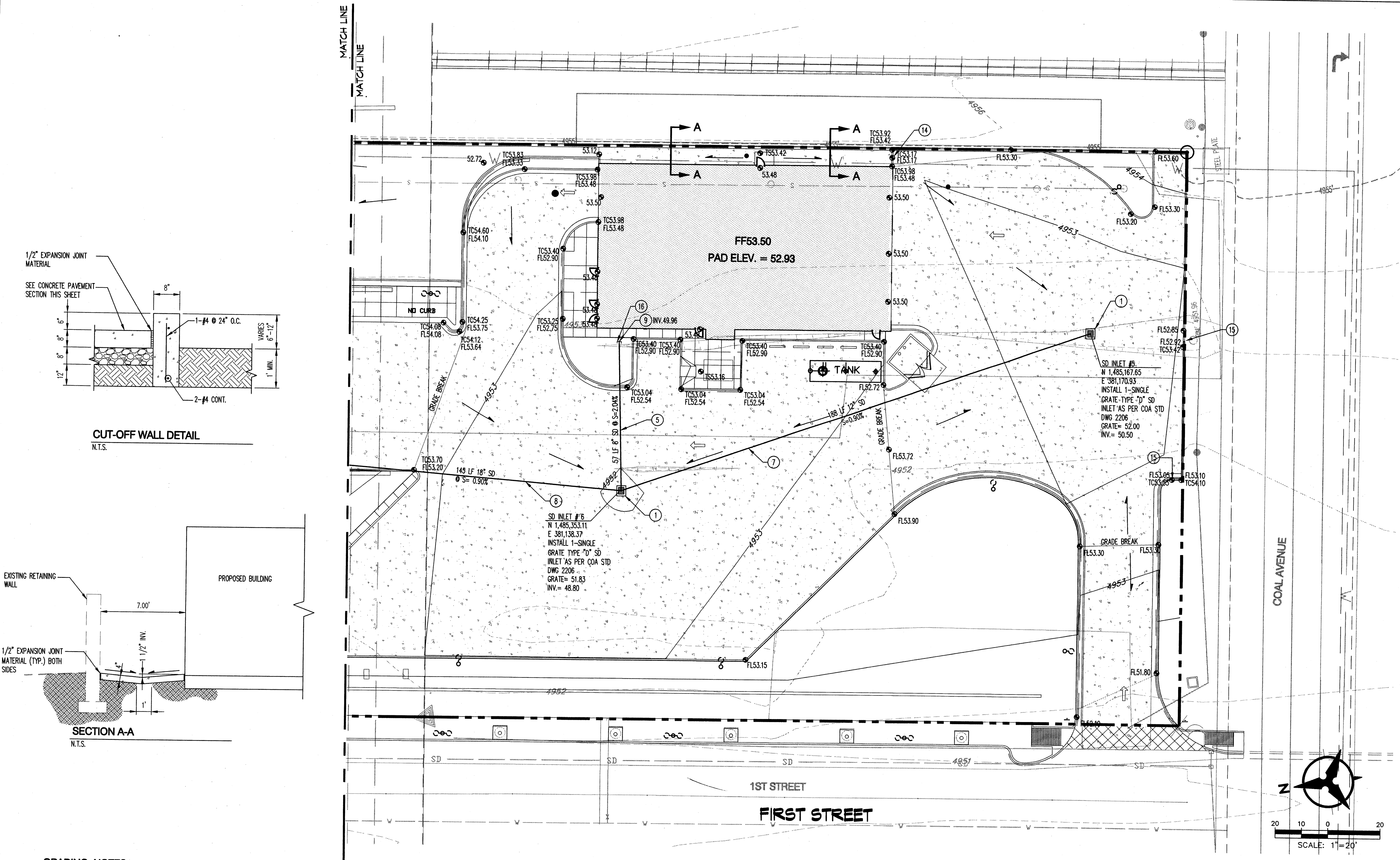
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Courtney | 7800 Jefferson St. NE | Albuquerque, NM 87109-4336
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

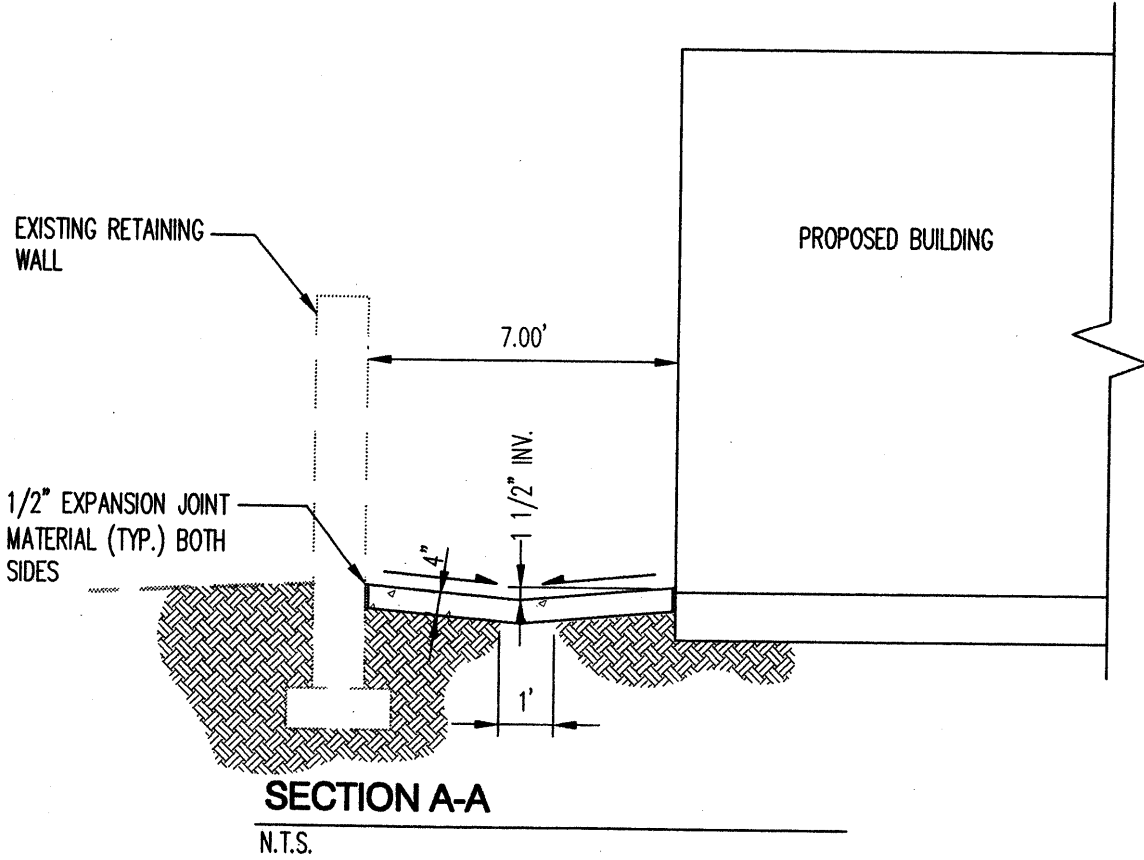
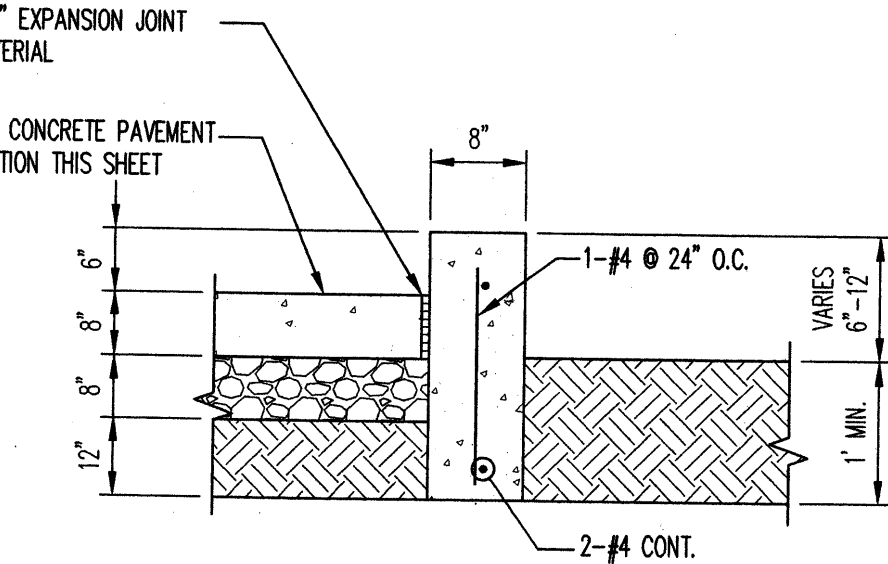
TITLE: ALVARADO TRANSPORTATION CENTER-PHASE II: DEPOT/MAINT. BLDGS.
GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 5842.94	C101	Zone Map No. K-14-Z	Sheet 05 OF 92

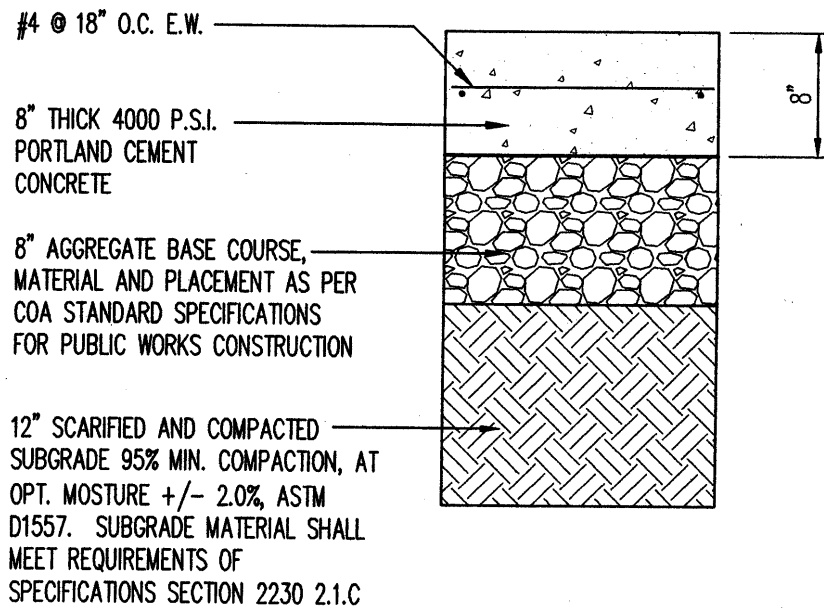


- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOURS
 - EX. GROUND SPOT ELEVATION
 - EXISTING ELECTRICAL POLE
 - PROPOSED SPOT ELEVATION
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED RETAINING WALL
 - PROPOSED CURB & GUTTER
 - EASEMENT
 - EXISTING SANITARY MANHOLE
 - PROPOSED LIGHTING
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET
 - EXISTING EASEMENT
 - CONCRETE PAVEMENT, SEE DETAIL THIS SHEET

- KEYED NOTES**
- SINGLE "D" INLET PER COA. STD. DWG. 2206.
 - NOT USED.
 - STORM DRAIN MANHOLE TYPE "E" PER COA. STD. DWG. 2102.
 - 6" SDR-35 STORM DRAIN.
 - 8" SDR-35 STORM DRAIN.
 - 10" SDR-35 STORM DRAIN.
 - 12" SDR-35 STORM DRAIN.
 - 18" RCP CLASS III.
 - EXTEND STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - 6" SDR-35 PVC PIPE UNDER SIDEWALK.
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 - STORMWATER HARVESTING MANHOLE. SEE LANDSCAPE PLANS FOR DETAILS.
 - INSTALL 12" WIDE CURB OPENING.
 - TRANSITION FROM STD. CURB TO CUT-OFF WALL, SEE DETAIL THIS SHEET.
 - ECCENTRIC REDUCER. SEE PLUMBING PLANS FOR ROOF DRAIN PIPE SIZE.

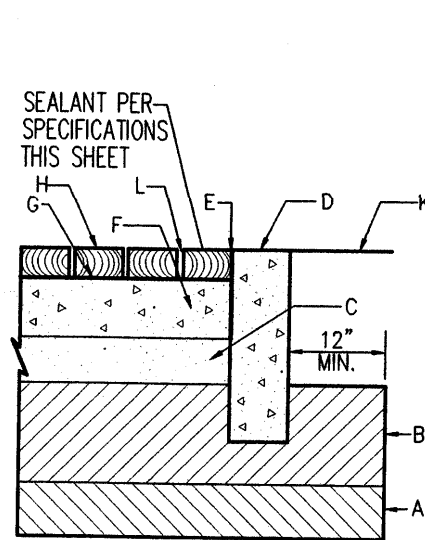


- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
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CONCRETE PAVEMENT SECTION

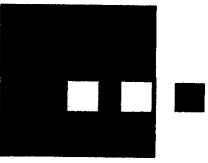
NOTE
SEE ARCHITECTURAL SITE PLAN, SHEET A0001 FOR JOINT PATTERN AND SPACING



- GENERAL NOTES:**
- HARDBOILED EXTERIOR BRICK PER STANDARD 4" x 8" AS MANF. BY ENOCOT CLAY PRODUCTS (402)729-3315. COLOR: DARK IRONSPOT. NOTE: BRICKS TO BE INSTALLED IN BASKET-WEAVE PATTERN.
 - NO LESS THAN 1/2" BRICKS WILL BE INSTALLED.
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 - 12" COMPACTED SBGRD 95% R-VALUE OF 50
 - 6" AGGREGATE BASE COARSE
 - 6" x 18" CONCRETE HEADER
 - 1/2" MASTIC JOINT MATERIAL
 - 6" CONCRETE PAVEMENT - 4000 PSI @ 28 DAYS.
 - ASPHALT SETTING MATERIAL
 - PAVING BRICK-SEE NOTE1
 - CURB & GUTTER
 - STREET OR SIDEWALK SURFACE.
 - 1/8" TO 1/16" SAND-FILLED GAP BETWEEN ALL BRICK.

BRICK PAVEMENT SECTION N.T.S.

NOTICE OF EXTENDED PAYMENT PROVISION - THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 45 DAYS AFTER SUBMISSION OF AN UNDISPUTED REQUEST FOR PAYMENT.



Dekker/Perich/Sabatini
architecture + interiors + planning + engineering
5801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: ALVARADO TRANSPORTATION CENTER PHASE II DEPT MAINT BLDGS
GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	5842.94	Zone Map No.	K-14-Z
Sheet	C102	06 OF 92	

Bohannon & Huston

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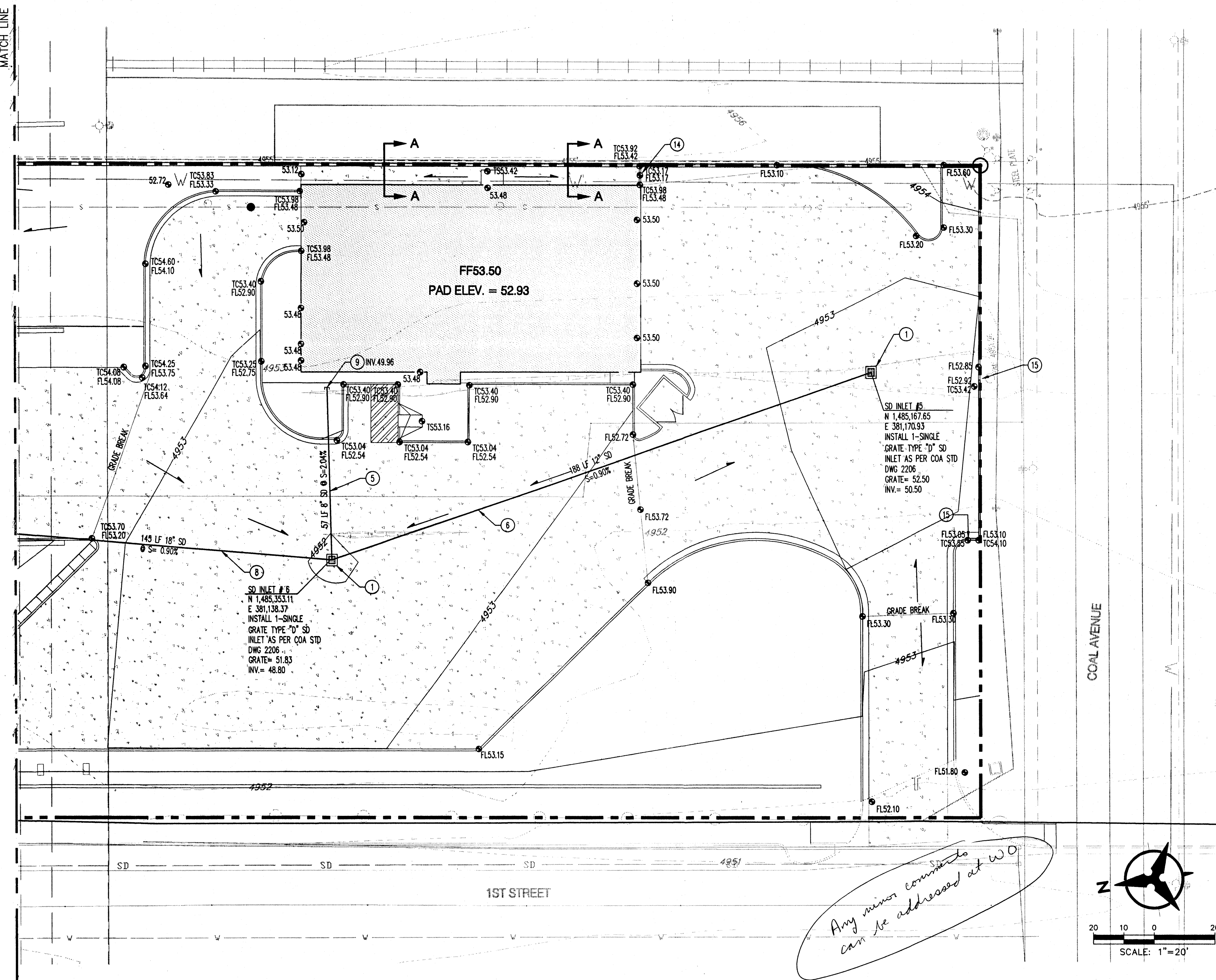
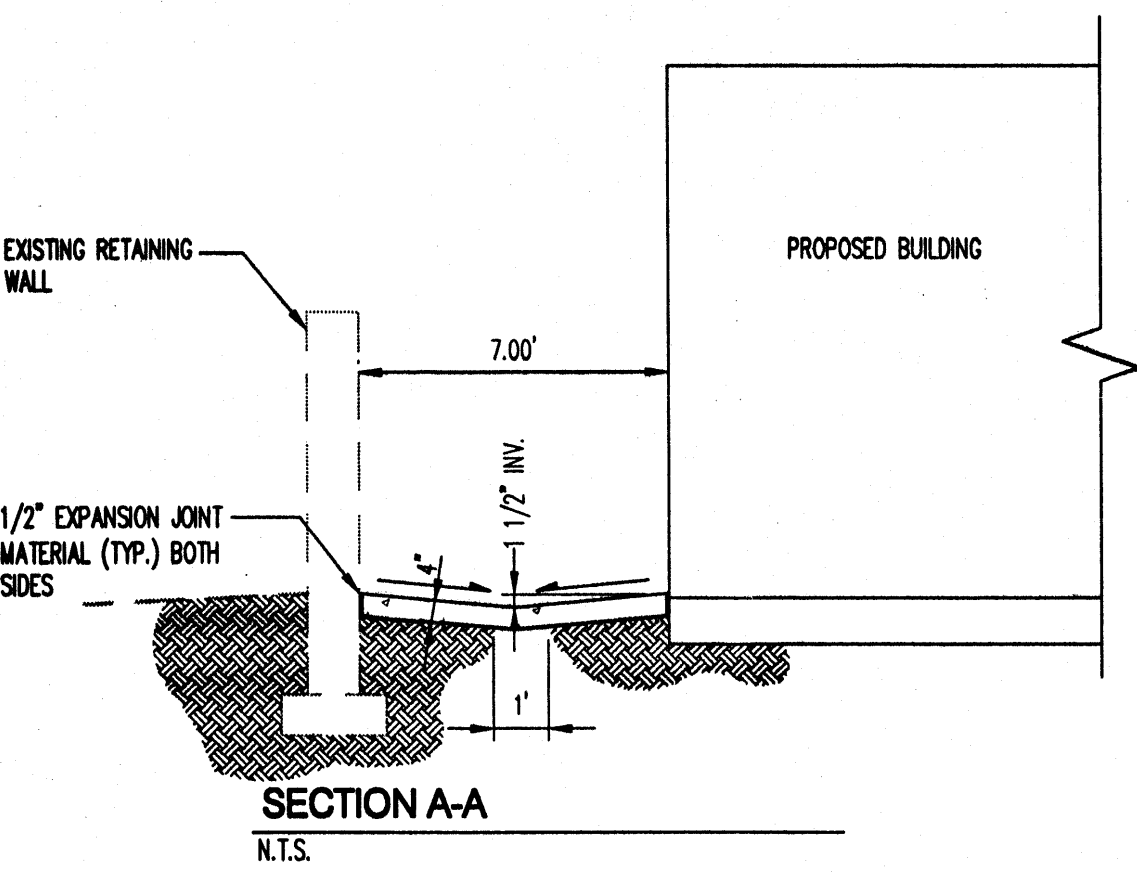
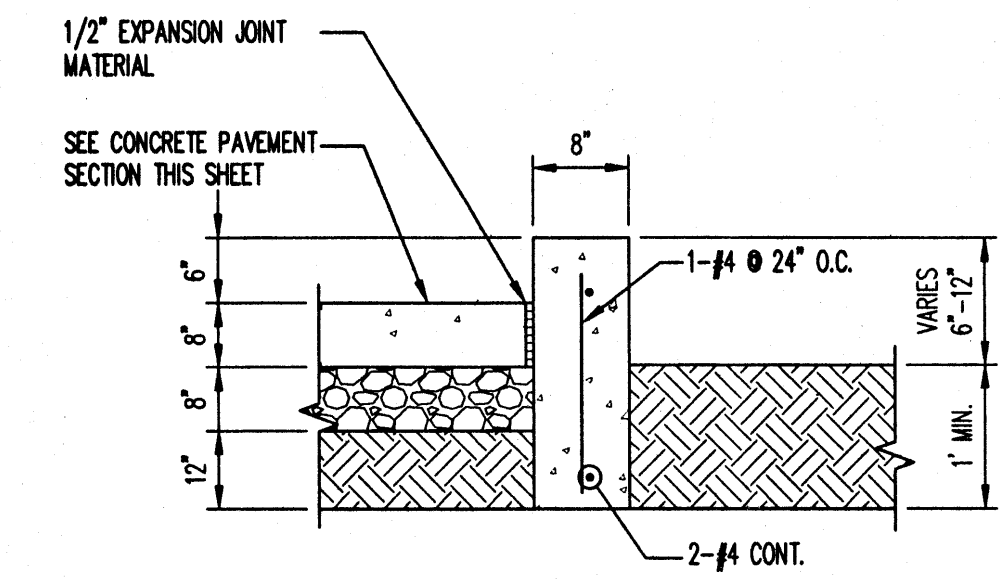
AS BUILT INFORMATION	
CONTRACTOR	DATE
STANDARD CITY OF ALBUQUERQUE DISK SET	DATE
INSPECTOR'S	DATE
FIELD STAMPE BY	DATE
VERIFICATION BY	DATE
DRAWINGS	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
ACS STATION "3-K 14" ELEVATION=4950.564'	
IN A DRILLED HOLE IN THE SIDEWALK. LOCATED DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF 3RD ST & LEAD AVE. IN THE NE QUADRANT OF THIS INTERSECTION. STA. IS 7.0' EAST OF THE BACK OF CURB ON 3RD ST. & 9.0' NORTH OF THE BACK OF CURB ON LEAD AVE. GROUND COORDINATES X=380,362.8298 Y=1,485,612.1128	

SURVEY INFORMATION	
FIELD NOTES	BY
NO.	

ENGINEER'S SEAL	
BY	DATE
NO.	

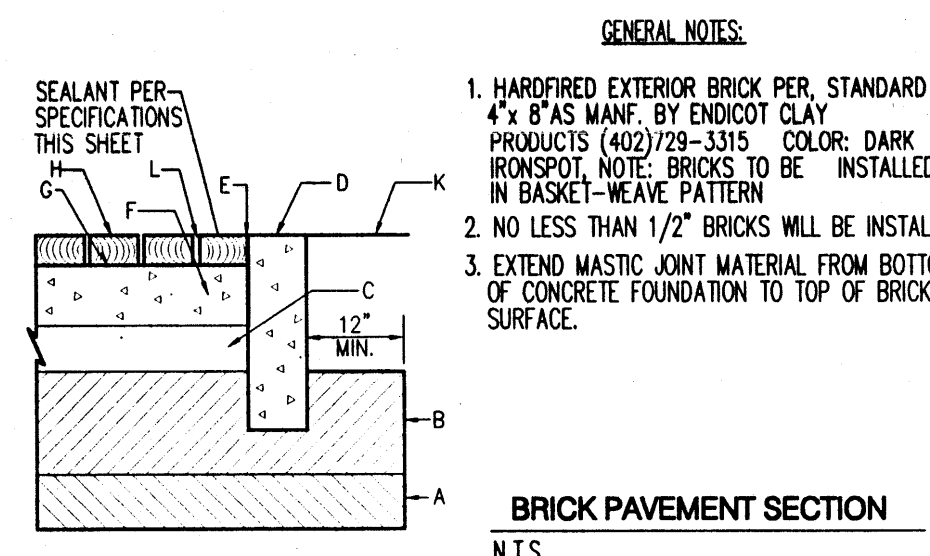
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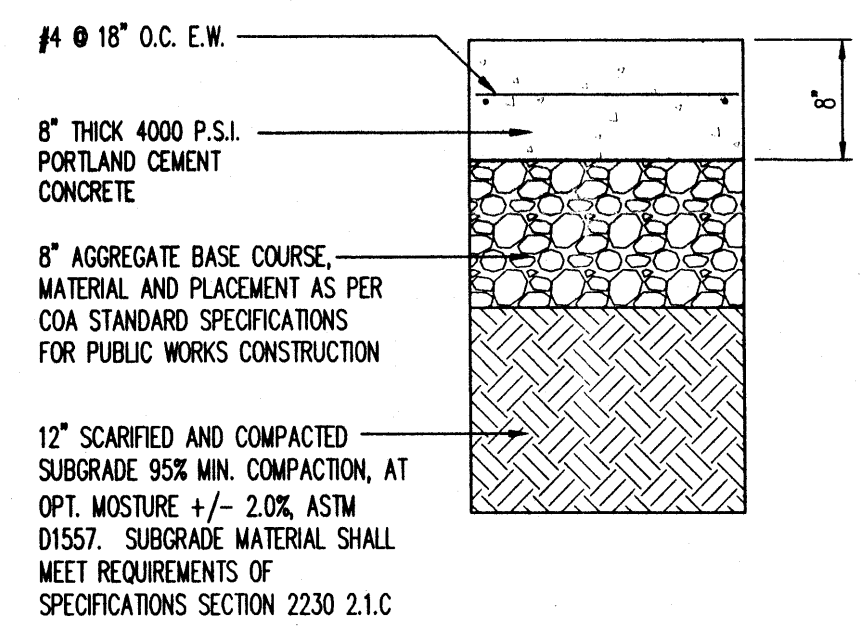
- LEGEND**
- PROPERTY LINE
 - 5301- EXISTING CONTOURS
 - 5301.15 EX. GROUND SPOT ELEVATION
 - EXISTING ELECTRICAL POLE
 - 65.23 PROPOSED SPOT ELEVATION
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 - FGH=FINISHED GRADE @ HIGH SIDE OF WALL
 - FLG=FINISHED GRADE @ LOW SIDE OF WALL
 - EX=EXISTING, TO=TOP OF GRATE
 - TS=TOP OF SIDEWALK
 - PROPOSED DIRECTION OF FLOW
 - WATER BLOCK
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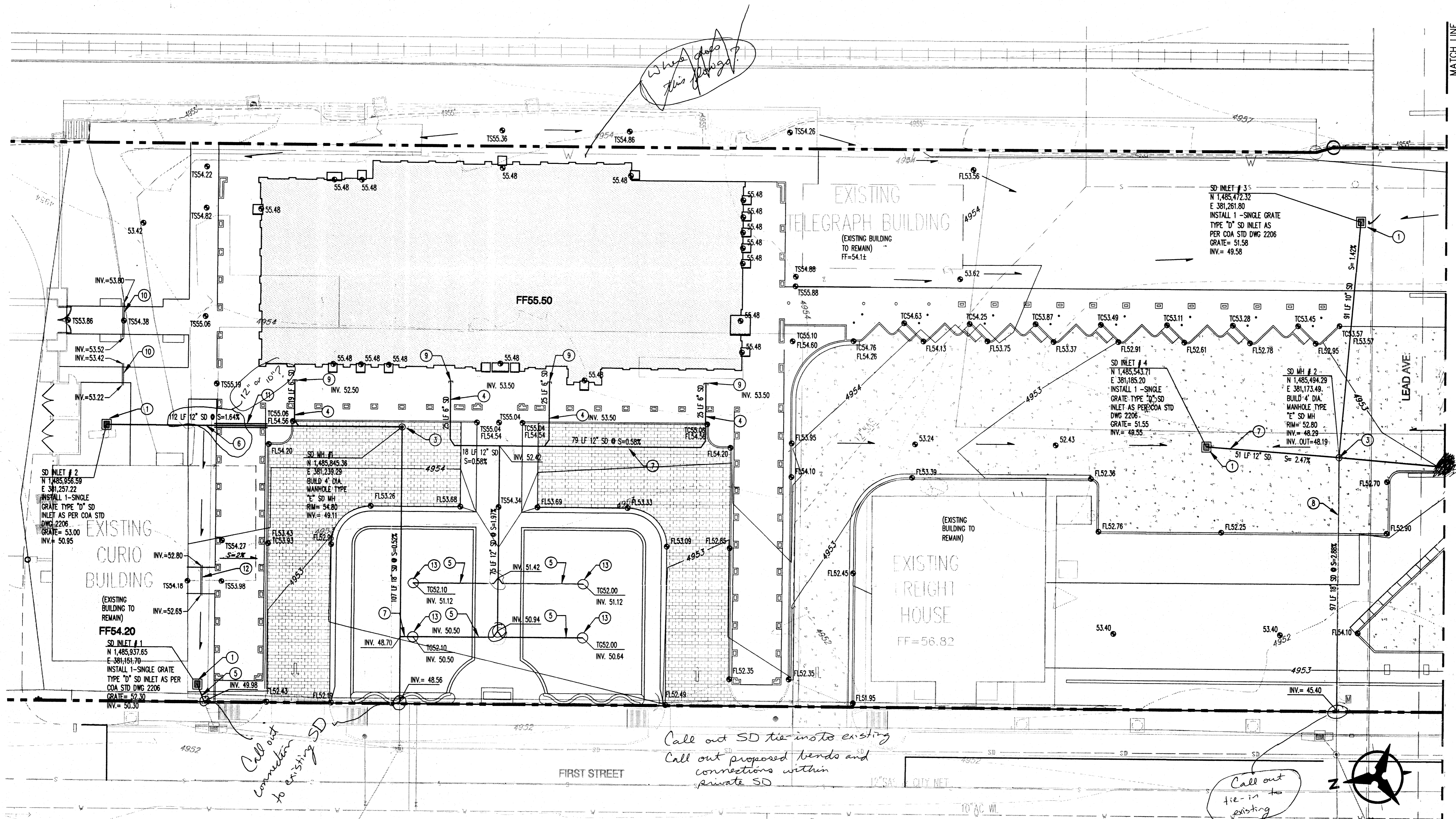


CONCRETE PAVEMENT SECTION

Bohannon & Huston
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT
TITLE: ALVARADO TRANSPORTATION CENTER-PHASE II-DEPOT/MAINT. BLDGS. GRADING & DRAINAGE PLAN
DESIGNED BY: G33 DATE: 4/27/04
DRAWN BY: KJW DATE: 4/27/04
CHECKED BY: BUS DATE: 4/27/04
City Project No. 5842.94 Zone Map No. K-14-Z Sheet OF



- ### LEGEND
- PROPERTY LINE
 - EXISTING CONTOURS
 - EX. GROUND SPOT ELEVATION
 - EXISTING ELECTRICAL POLE
 - PROPOSED SPOT ELEVATION
 - TC=TOP OF CURB, FL=FLOW LINE
 - FG=FINISHED GRADE @ HIGH SIDE OF WALL
 - FG=FINISHED GRADE @ LOW SIDE OF WALL
 - EX=EXISTING, TO=TOP OF GRATE
 - TS=TOP OF SIDEWALK
 - PROPOSED DIRECTION OF FLOW
 - WATER BLOCK
 - PROPOSED RETAINING WALL
 - PROPOSED CURB & GUTTER
 - EASEMENT
 - EXISTING SANITARY MANHOLE
 - PROPOSED LIGHTING
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET
 - EXISTING EASEMENT
 - CONCRETE PAVEMENT, SEE DETAIL SHEET C102
 - BRICK PAVEMENT, SEE DETAIL SHEET C102

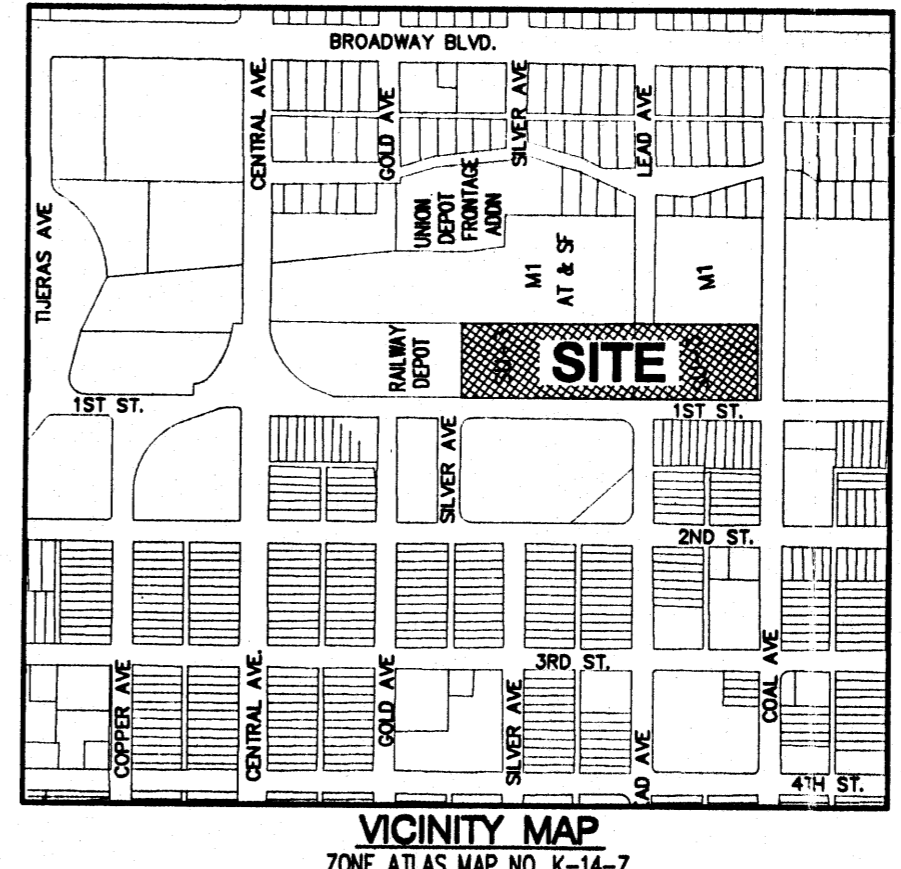
- ### KEYED NOTES
- SINGLE "D" INLET PER COA. STD. DWG. 2206.
 - NOT USED.
 - STORM DRAIN MANHOLE TYPE "E" PER COA. STD. DWG. 2102.
 - 6" SDR-35 STORM DRAIN.
 - 8" SDR-35 STORM DRAIN.
 - 10" SDR-35 STORM DRAIN.
 - 12" SDR-35 STORM DRAIN.
 - 18" RCP CLASS III.
 - EXTEND STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - 6" SDR-35 PVC PIPE UNDER SIDEWALK.
 - 18" STEEL SLEEVE.
 - 8" SDR-35 PVC PIPE UNDER SIDEWALK.
 - STORMWATER HARVESTING MANHOLE. SEE LANDSCAPE PLANS FOR DETAILS.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL ON SHEET C203 AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

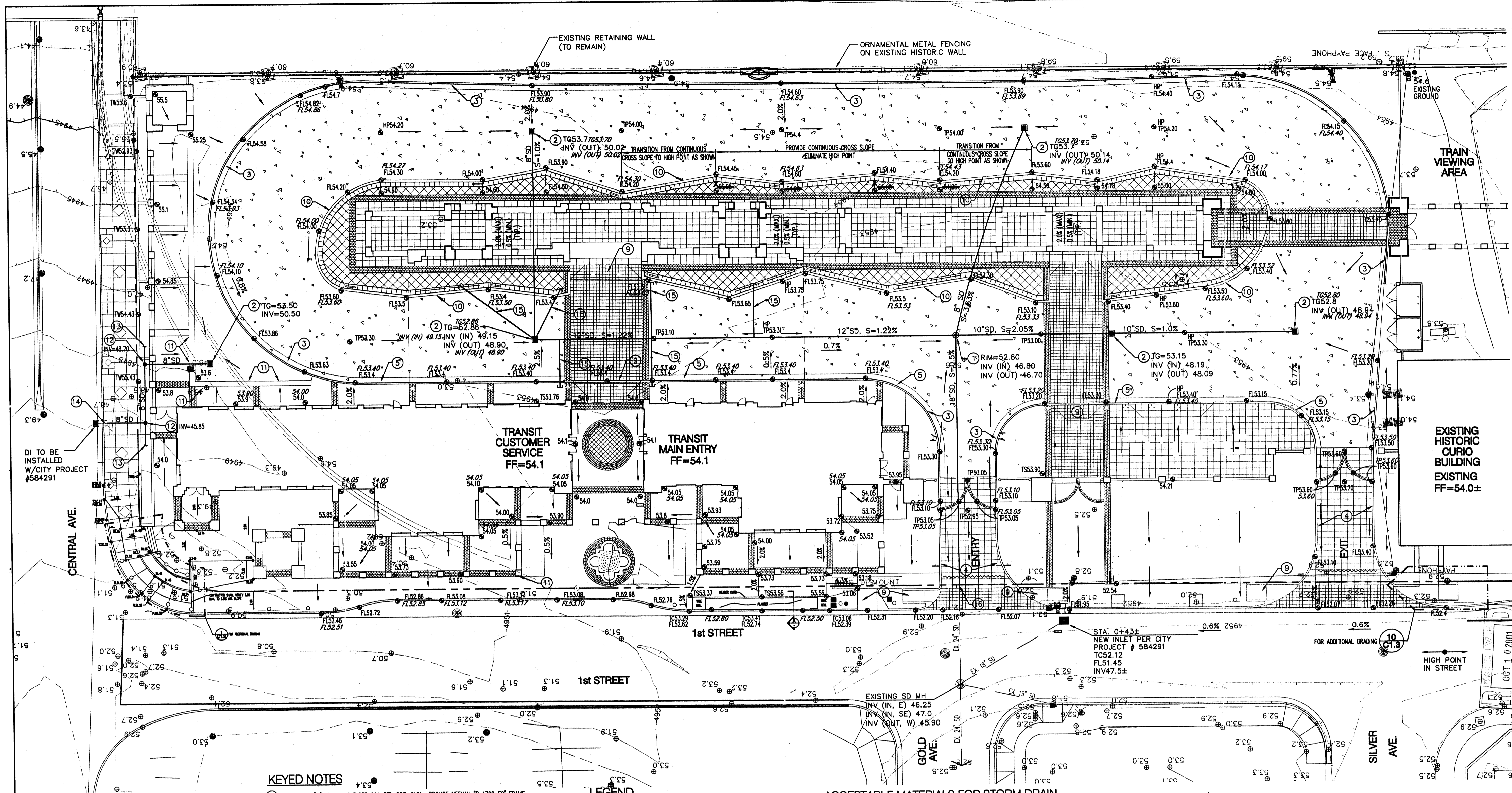


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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ALVARADO TRANSPORTATION CENTER - PHASE II: DEPOT/MAINT. BLDGS. GRADING & DRAINAGE PLAN	
Design Review Committee City Engineer: <i>[Signature]</i> Date: MAY 13 2004 Hydrology Section	City Project No. 5842.94 Zone Map No. K-14-Z Sheet C101 OF

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		DATE		DATE	
CONTRACTOR	DATE	DATE	DATE	NO.	BY	NO.	BY	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
STANDARD CITY OF ALBUQUERQUE DISK SET															
IN A DRILLED HOLE IN THE SIDEWALK, LOCATED															
DOWNTOWN ALBUQUERQUE AT THE INTERSECTION															
OF 3RD ST & LEAD AVE, IN THE NE QUADRANT															
OF THIS INTERSECTION. STA. IS 7.0' EAST OF															
THE BACK OF CURB ON 3RD ST. & 9.0' NORTH															
OF THE BACK OF CURB ON LEAD AVE. GROUND															
COORDINATES X=380,362.8288 Y=1,485,612.1128															



KEYED NOTES

- BUILD TYPE "C" SD MANHOLE PER COA STD. DWG. 2101. PROVIDE NEEDNAH "R-1792-FG" FRAME & GRATE, OR ENGR. APPROVED EQUAL.
- BUILD TYPE SINGLE "D" INLET PER COA STD. DWG. 2206.
- BUILD CURB & GUTTER AS PER DETAIL 3, SHEET C1.3.
- BUILD CURB PER DETAIL 1, SHEET C1.3.
- BUILD CURB & GUTTER AS PER DETAIL 4, SHEET C1.3.
- INSTALL PAVEMENT FLUSH WITH EDGE OF SIDEWALK.
- MATCH EXISTING PAVEMENT GRADE.
- MATCH PROPOSED CURB OR VALLEY GUTTER TO EXISTING PAVEMENT GRADE.
- INSTALL HC RAMP, 12:1 MAX SLOPE. SEE HC RAMP DETAILS SHEET C1.3.
- BUILD MOVEABLE CURB AS PER DETAIL, SHEET C2.2.
- PROVIDE TURNED BLOCKS OR 2" DIA. CAST-IN-PLACE HOLES IN WALL TO ALLOW FOR DRAINAGE.
- PROVIDE CLEANOUT ON DRAIN LINE AS PER DETAIL, SHEET C2.2.
- DRAIN LINE FOR PLANTERS, INV=46.55±, SEE ARCH. FOR CONTINUATION.
- REMOVE PLUG AND CONNECT TO EXISTING 8" DRAIN LINE.
- INSTALL 6" DRAIN LINE AT S=1.0% MIN., FOR CONNECTION TO ROOF DRAIN. SEE SHEET M1.2.
- CONNECT TO EXISTING 4" RCP, INV=46.20±.

LEGEND

- | | |
|-----|----------------------------------------------------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING CONTOUR |
| --- | EXISTING SWALE |
| --- | EXISTING SPOT ELEVATION |
| --- | EXISTING EASEMENT |
| --- | EXISTING SANITARY SEWER MH |
| --- | EXISTING FIRE HYDRANT |
| --- | PROPOSED HYDRANT |
| --- | PROPOSED UTILITY CAP |
| --- | PROPOSED STORM DRAIN |
| --- | PROPOSED STORM DRAIN MH |
| --- | PROPOSED STORM DRAIN INLET |
| --- | PROPOSED CLEANOUT |
| --- | PROPOSED SPOT ELEVATION |
| --- | TO-TOP OF CURB, FL=FLOW LINE |
| --- | TO-TOP OF WALL, BW=BOTTOM OF WALL |
| --- | EX=EXISTING, TS=TOP OF SIDEWALK, TP=TOP OF PAVEMENT, TG=TOP OF GRATE |
| --- | AS-BUILT ELEVATION |

ACCEPTABLE MATERIALS FOR STORM DRAIN

- SDR 35, PVC (FOR STORM DRAIN PIPE 12" DIA. AND SMALLER)
- RCP CLASS III

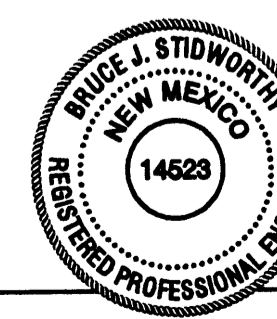
DRAINAGE CERTIFICATION

AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN NEAR THE LOCATION OF THE ORIGINAL DESIGN ELEVATION IN ITALICS. ELEVATIONS WERE PROVIDED BY THE CONTRACTOR'S SURVEYOR.

NOTES:

I, BRUCE J. STODWORTHY, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE DRAINAGE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Bruce J. Stodworthy 10/9/01
BRUCE J. STODWORTHY, P.E.
N.M.P.E. NO. 14523



LEGAL DESCRIPTION

TRACT A-1, ALVARADO TRANSPORTATION CENTER

Bohannon & Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Dekker/Perich/Sabatini

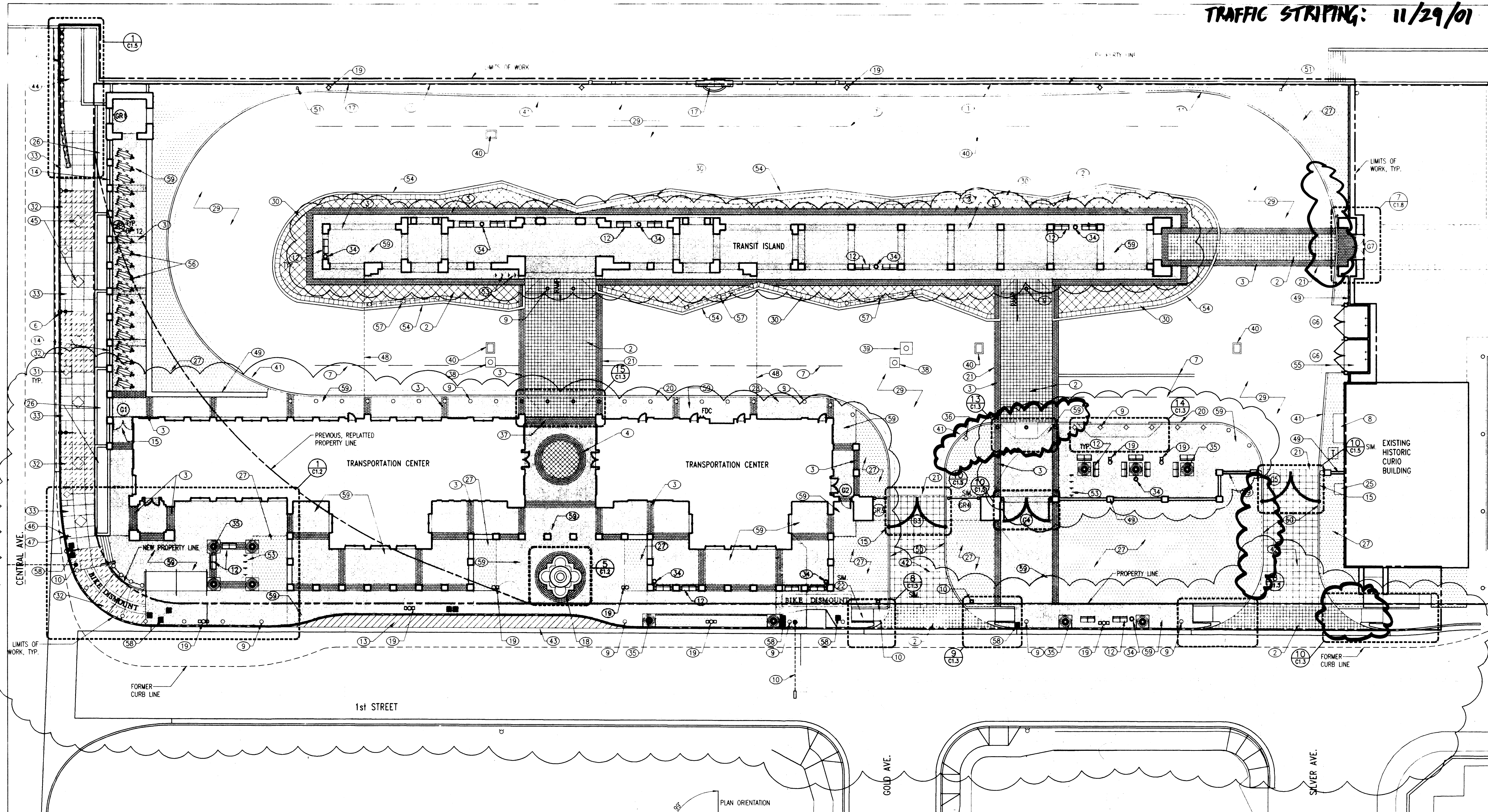
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
TITLE: **ALVARADO TRANSPORTATION CENTER
GRADING AND DRAINAGE PLAN - SECTOR 1**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
PROJECT NO. 5842.92	MAP NO. C2.1	SHEET K-14-Z	OF

AS BUILT INFORMATION										BENCH MARKS		SURVEY INFORMATION				HYDROLOGY SECTION ENGINEER'S SEAL		PROPOSAL REQUEST #005		REMARKS		DESIGN		DATE															
CONTRACTOR										ACS ALUMINUM CAP STAMPED "1B-K14, 1986"		FIELD NOTES				 <i>Paul Popel</i> 3/23/99		7/2/99		7/2/99		6/28/99		4/28/99		NO. DATE		BY		DESIGNED BY BS		DATE 10/8/01							
WORK										GEOGRAPHIC POSITION (NAD 1927)		NO.		BY																				DATE		DRAWN BY RMB		DATE 10/8/01	
INSPECTOR'S										N.M. STATE PLANE COORDINATES (CENTRAL ZONE)																													
ACCEPTANCE BY										X= 381,330.57, Y= 1,485,990.88																													
VERIFICATION BY										GROUND-TO-GRID FACTOR = 0.99967846																													
CORRECTED BY										Δα = -00134"																													
MICRO-FILM INFORMATION										SLD 1929 ELEVATION = 4960.723																													
RECORDED BY																																							
NO.																																							

TRAFFIC SIGNAGE:	COMPLETION DATE	
	10/29/01	
TRAFFIC STRIPING:	11/29/01	ON



**Site Plan
Keyed Notes:**









1. EXISTING SITE WALL. SEE SHEET C-1.7 FOR REPAIRS.
2. CONC. UNIT PAVERS OVER SAND AND BASE COURSE 12" NOM. SIZE 8" x 8" x 1 1/2" (1" THICK) BUS DRAKE (32" x 32" HERE SHOWN IN DIAGONAL PATTERN).
3. CONC. UNIT PAVERS OVER SAND AND BASE COURSE. NOM. SIZE 8" x 8" x 1 1/2" IN RUNNING BOND PATTERN.
4. SEE DETAIL 3/C-1.2 FOR PAVING THIS AREA.
5. NOT USED.
6. CONTINUATION OF CENTRAL AVENUE STREETScape LIGHTING.
7. PART OF THIS CONTRACT. RE. SHEET C-1.8 FOR FIXTURE.
8. PAINTED STRIPING. SEE SHEET C-1.1B FOR DETAILS AND ADD'L PAVEMENT MARKINGS.
9. EXISTING CONC. PAD W/ AC. UNITS TO REMAIN.
10. BOLLARD PER 12 CTS/BOLLARD REPRESENTS LIGHTED BOLLARD (RE. ELEC.) MAINTAIN 18" MIN. FROM FACE OF CURB TO FACE OF BOLLARD TYPE AT 1ST, 2ND AND CENTRAL.
11. TRAFFIC SIGNAL, EXISTING (INSTALLED AS PART OF COA CUSB#291).
12. PLANTING AREA FOR TREES. SEE LANDSCAPE.
13. BENCH WITH 3" DIVIDERS. MAINTAIN 18" MIN. FROM 1B (1). KEEP MIN. 3'-0" FROM FACE OF CURB (BENCH TO FACE STREET).
14. DROP OFF / TAXI ZONE. PAINT STRIPING. EXISTING.

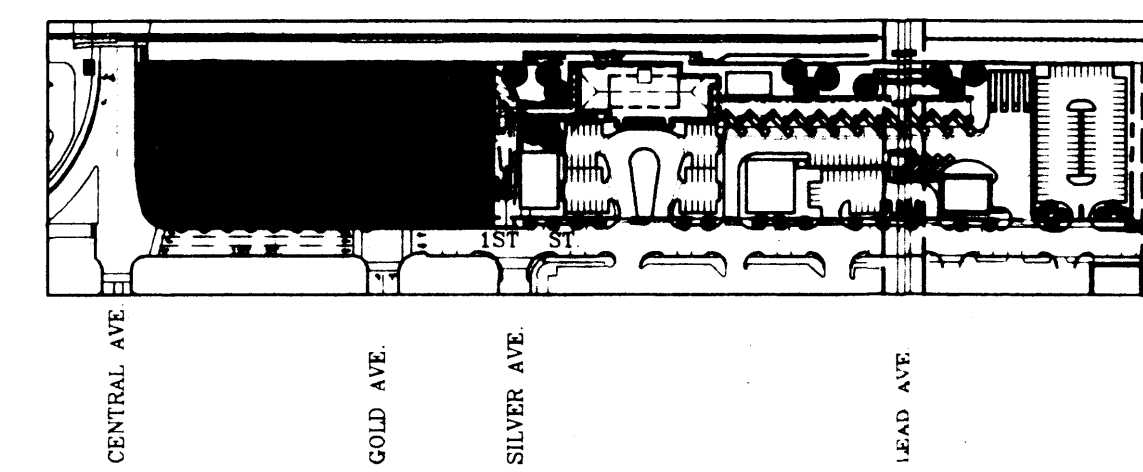
14. ORNAMENTAL METAL GRILL IN OPENING. REF. 1/C1/6
15. ORNAMENTAL METAL GRATE AT OPENING. REF. 1/C1/6
16. NEW GUARDRAIL TO MATCH RAILROAD UNDERPASS, REF. SHEET C1.5
17. EXISTING NICHE IN WALL
18. NEW FOUNTAIN. REF. 2.45/C1/3 FOR ENLARGED PLAN AND DETAILS
19. LIGHT FIXTURE (FLEC). KEEP 18" MIN. FROM F.O. CURB AT STREET
20. CONC. CURB CUT PER 9/C1/3
21. REF. 5/C1/3 FOR PAVEMENT/CONC. PAVING TRANSITION DETAIL
22. RAMP AT CURB CUT PER 8/C1/3
23. RAMP AT CURB CUT PER 9/C1/3
24. RAMP AT CURB CUT PER 10/C1/3
25. EXISTING WATERLINE, CLEANOUT AND COVER TO REMAIN
26. STEPPED PLANTING AREA TO MATCH EX. LANDSCAPE
27. PLANTING AREA TYPE. SEE LANDSCAPE
28. NO BOLLARD THIS LOCATION
29. CONC. PAVING OVER AGGREGATE BASE COURSE -- SEE CIVIL
30. PROVIDE PAVERS, WITH TACTILE WARNING SURFACE COMPLIANT WITH ADA REQUIREMENTS FOR 2'-0" ALONG EDGE OF TRANSIT LANE.

31. 5' X 5' TREE PLANTER WITH PRECAST CONCRETE
32. CONCRETE COLOR TO MATCH EXISTING CENTRAL AVE. "FINISH A".
33. CONCRETE COLOR TO MATCH EXISTING CENTRAL AVE. "FINISH B".
34. TRASH RECEPTACLE. KEEP 18" MIN. FROM F.O. CURB AT STREET
35. TREE WALK WITH GRATE. RE: 11/C13
36. NEW FIRE HYDRANT - SEE CIVIL
37. O.H. SECURITY GATE - SEE BUILDING PLANS
38. SAS MH - SEE CIVIL
39. SO MH - SEE CIVIL
40. SD CATCHBASIN - SEE CIVIL
41. CONC. CURED PER 3/C13
42. SCORED COLORED CONCRETE, RE 19/C13 FOR SCORE JOINT
43. ADDITIVE ALTERNATE #3 AT SOME LOCATIONS, RE C11A FOR
44. EXTENT OF BASE BID BRICK PAVERS
45. PASSENGER ACCESS AISLE LOADING ZONE. STREET CURBS ARE
46. EXISTING, PROVIDED UNDER CAR PROJECT BIDDING. SIDEWALK,
47. RAMPERS AND BOLLARDS ARE PART OF THIS CONTRACT.
48. RAMP FROM SIDEWALK LEVEL TO PEDESTRIAN PATH
49. UNDER RAILROAD OVERPASS, RE: 1/C15

45. DIAMOND SHAPE ISOLATED FROM ADJACENT SIDEWALK FOR FUTURE REMOVAL TO ACCOMMODATE INSTALLATION OF CURB OR ORNAMENTAL PIECE. PROVIDE 1/2" EXP. JT. ALL AROUND.
46. STREET CURB, EXISTING. INSTALLED AS PART OF COA PROJECT #584291
47. EXISTING SPEED LIMIT SIGN INSTALLED AS PART OF COA PROJECT #584291. REMOVE AND INSTALL ON LIGHT FIXTURE PER DETAIL 1/C1.4
48. LINE OF BUILDING ABOVE
49. EUCALYPTUS WALL (RE STRUCT.) SEE ELEVATIONS
50. CURB PER 1/C1.1
51. EXISTING FIRE HYDRANT TO BE REMOVED. SEE CIVIL
52. PIPE BOLLARD PER 8/C1.5
53. BIKE RACK
54. MOVEABLE CURB, RE: CIVIL
55. TRASH ENCLOSURE AND APRON SLAB RE: 17/C1.4
56. COVERED BIKE PARKING PER SPECIFICATIONS
57. BOLLARDS W/ C-CHANNEL AT MOVEABLE CURB SEE 16/C1.3 AND 16/C1.4
58. TRAFFIC SIGNAL POLE, EXISTING
59. BRICK PAVING, IN RUNNING BOND PATTERN.

Legend

-  DOUBLE ARM LIGHT POLE
 -  SINGLE ARM LIGHT POLE
 -  BOLLARD
 -  BOLLARD WITH CHAIN
 -  LIGHTED BOLLARD
 -  TRASH RECEPTACLE
-  P.I.P. CONC. SCORED FINISH "A" (MED. BROOM)
-  P.I.P. CONC. SCORED FINISH "B" (COLORED)



KEYPLAN

General Notes

1. SEE SHEET C-18 FOR SITE SIGNAGE AND PAVEMENT MARKINGS.
2. SEE A8.3 THRU A8.5 AND ROOM FINISH SCHEDULE FOR OTHER SIGNAGE.

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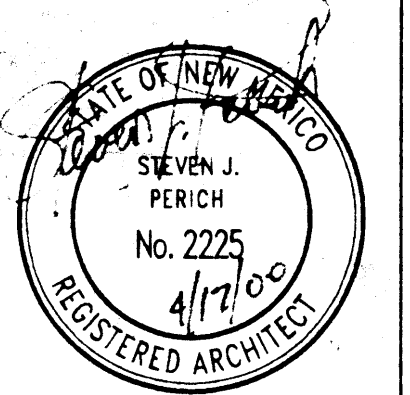
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **ALVARADO TRANSPORTATION CENTER**
Site Plan

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

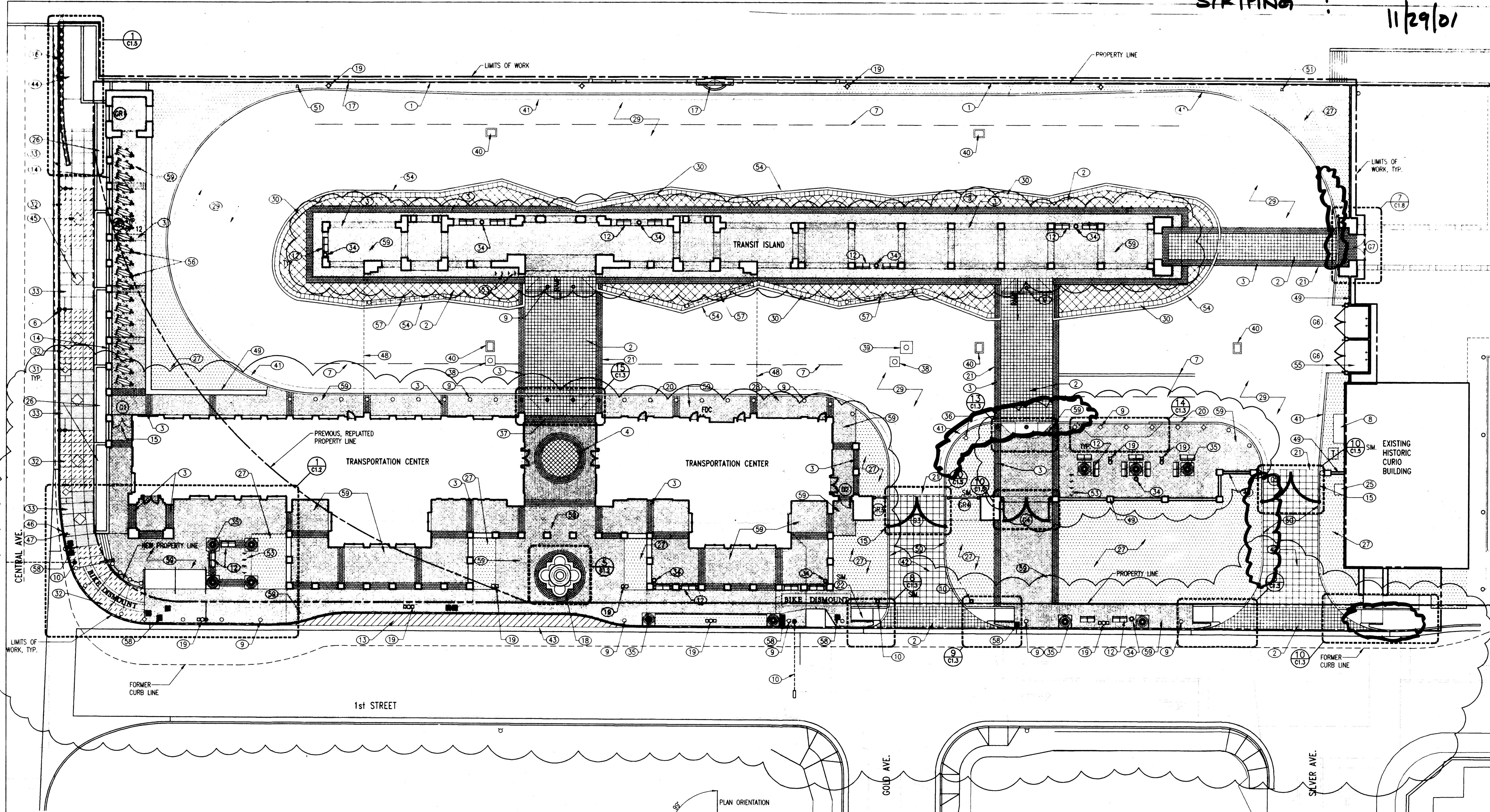
PROJECT NO. 584292	C1.1	MAP NO. K-14-Z	SHEET 4	OF 160
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SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES				
	BY	DATE			
			X		CONTRACTOR
			X		WORK
			X		STAND BY
			X		INSPECTOR'S
			X		DATE
			X		FIELD
			X		CHANGE BY
			X		DATE
			X		VERIFICATION BY
			X		DATE
			X		CONTRACTOR'S
			X		CORRECTED BY
			X		DATE
			X		MICRO-FILM INFORMATION
			X		RECORDED BY
			X		DATE
			X		NO.
			X		



2/28/00	PROPOSAL REQUEST #005 A
7/17/99	RELEASE FOR BID
6/28/99	DRC COMMENTS
4/28/99	BLDG. PERMIT REVIEW
NO. DATE	REMARKS
BY	
DESIGN	
DESIGNED BY CG	DATE 2/16/99
DRAWN BY ATF	DATE 2/16/99
CHECKED BY DPK	DATE 2/16/99

TRAFFIC SIGNAGE: 10/29/01
STRIPING: 11/1/01











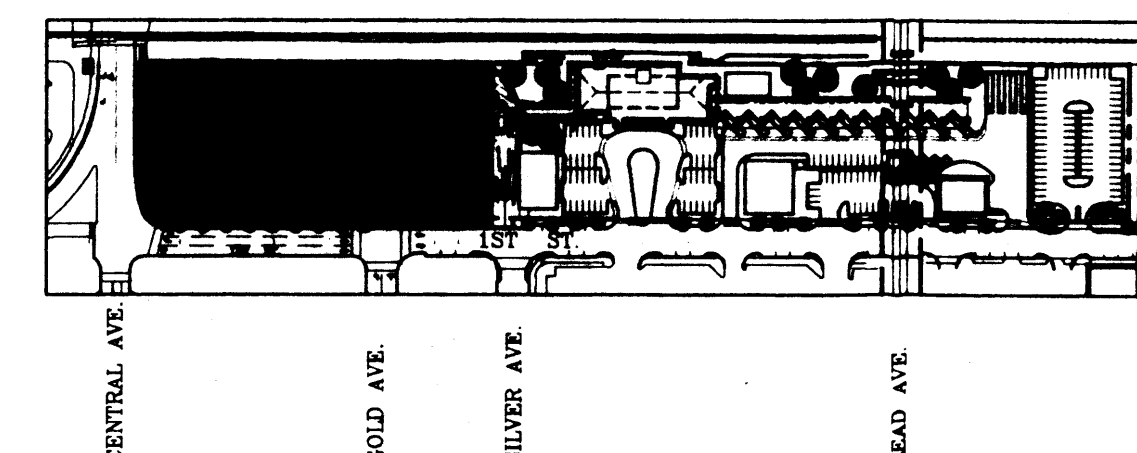
Site Plan
Keyed Notes:

1. EXISTING SITE WALL. SEE SHEET C1.7 FOR REPAIRS.
 2. CONC. UNIT PAVERS OVER SAND AND BASE COURSE. NOM. SIZE 18" x 18" x 2" THICK AT BUS CURB (32" x 32" WHERE SHOWN IN DIAGONAL PATTERN)
 3. CONC. UNIT PAVERS OVER SAND AND BASE COURSE. NOM. SIZE 8" x 8" x 2 1/2" IN RUNNING BOND PATTERN.
 4. SEE DETAIL 3/C1.2 FOR PAVING THIS AREA.
 5. NOT USED
 6. CONTINUATION OF CENTRAL AVENUE STREETSCAPE LIGHTING, PART 1. THIS CONTRACT.
 7. PAINTED STRIPING. SEE SHEET C1.18 FOR DETAILS AND ADD'L PAVEMENT MARKINGS.
 8. EXISTING CONC. PAD W/ AC UNITS TO REMAIN
 9. BOLLARD PER 12/C1.5/BOLD REPRESENTS LIGHTED BOLLARD (RE. ELEC.) MAINTAIN 18" MIN. FROM FACE OF CURB TO FACE OF BOLLARD. 1" AT 1ST. ST. AND CENTRAL
 10. TRAFFIC SIGNALS EXISTING (INSTALLED AS PART OF COA #584291)
 11. PLANTING AREA FOR TREES. SEE LANDSCAPE
 12. BENCH WITH SEAT DIVIDERS. ANCHOR IN PLACE PER 18/C1.3. KEEP MIN. 3'-0" FROM FACE OF CURB (BENCH TO FACE STREET)
 13. DROP-OFF/TAXI LANE PAINT STRIPING. EXISTING
 14. ORNAMENTAL METAL GRILL IN OPENING. RE. 1/C1.6
 15. ORNAMENTAL METAL GATE AT OPENING. RE. 1/C1.6
 16. CONCRETE CURB TO MATCH RAILROAD OVERPASS. RE. SHEET C1.5
 17. EXISTING NICHE IN WALL
 18. NEW FOUNTAIN. RE. 2.4.5/C1.2 FOR ENLARGED PLAN AND DETAILS
 19. LIGHT FIXTURE (ELEC.) KEEP 18" MIN. FROM F.O. CURB AT STREET
 20. CONC. CURB PER 4/C1.3
 21. RE. 5/C1.3 FOR PAVEMENT/CONC. PAVING TRANSITION DETAIL
 22. RAMP AT CURB CUT PER 8/C1.3
 23. RAMP AT CURB CUT PER 9/C1.3
 24. RAMP AT CURB CUT PER 10/C1.3
 25. EXISTING WATERLINE. CLEANOUT AND COVER TO REMAIN
 26. STEPPED PLANTING AREAS. SEE LANDSCAPE
 27. PLANTING AREA TYP. SEE LANDSCAPE
 28. NO BOLLARD THIS LOCATION
 29. CONC. PAVING OVER AGGREGATE BASE COURSE - SEE CIVL
 30. PROVIDE PAVERS WITH TACKLE WARNING SURFACE COMPLIANT WITH A.D.A. REQUIREMENTS FOR 2'-0" ALONG EDGE OF TRANSIT ISLAND
 31. 5' X 5' TREE PLANTER WITH PRECAST CONCRETE COVER. TYP. RE. 8/C1.4
 32. SCORED CONCRETE BOLLARD TO MATCH EXISTING CENTRAL AVE. "FINISH A"
 33. CONCRETE BOLLARD TO MATCH EXISTING CENTRAL AVE. "FINISH B"
 34. TRASH RECEPTACLE. KEEP 18" MIN. FROM F.O. CURB AT STREET
 35. TREE WELL WITH GRATE. RE. 11/C1.3
 36. NEW FIRE HYDRANT - SEE CIVIL
 37. O.H. SECURITY GATE. SEE BUILDING PLANS
 38. SAs MH - SEE CIVIL
 39. SD MH - SEE CIVIL
 40. SD CURB. SEE CIVIL
 41. CONC. CURB. RE. 4/C1.3
 42. SCORED COLORED CONCRETE. RE.19/C1.3 FOR SCORE JOINT ADDITIVE ALTERNATE #3 AT SOME LOCATIONS. RE. C1.1A FOR EXTENT OF BASE BID BRICK PAVERS.
 43. PASSENGER ACCESSIBLE LOADING ZONE. STREET CURBS ARE EXISTING. PROVIDED UNDER COA PROJECT #584291. SIDEWALK, RAMPS AND BOLLARDS ARE PART OF THIS CONTRACT.
 44. RAMP FROM SIDEWALK LEVEL TO PEDESTRIAN PATH UNDER RAILROAD OVERPASS. RE. 1/C1.5

45. DIAMOND SHAPE ISOLATED FROM ADJACENT SIDEWALK FOR FUTURE REMOVAL TO ACCOMMODATE INSTALLATION OF FUTURE ORNAMENTAL PIECE. PROVIDE 1/2" DIA. ALL AROUND.
46. STREET CURB, EXISTING. INSTALLED AS PART OF COA PROJECT #584291.
47. EXISTING SPEED LIMIT SIGN INSTALLED AS PART OF COA PROJECT #584291. REMOVE AND INSTALL ON LIGHT FIXTURE PER DETAIL 1/C1.4
48. LINE OF BUILDING ABOVE.
49. STUCCO WALL (RE: STRUCT.) SEE ELEVATIONS
50. CURB PER 1/C1.3
51. EXISTING FIRE HYDRANT TO BE REMOVED. SEE CIVIL
52. PIPE BOLLARD PER 8/C1.5
53. BIKE RACK
54. MOVEABLE CURB, RE: CIVIL
55. TRASH ENCLOSURE AND APRON SLAB. RE: 17/C1.4
56. COVERED BIKE PARKING PER SPECIFICATIONS
57. BOLLARDS W/ CHAIN AT MOVEABLE CURB.
RE: 16/C1.3 AND CHAIN FOR DETAILS
58. TRAFFIC SIGN, POLE, BOX, EXISTING
59. BRICK PAVERS, IN RUNNING BOND, DETAIL

Legend

- | | |
|---------------------------------------------------------------------------------------|------------------------------------------------|
|  | DOUBLE ARM LIGHT POLE |
|  | SINGLE ARM LIGHT POLE |
|  | BOLLARD |
|  | BOLLARD WITH CHAIN |
|  | LIGHTED BOLLARD |
|  | TRASH RECEPTACLE |
|  | P.I.P. CONC. SCORED
FINISH "A" (MED. BROOM) |
|  | P.I.P. CONC. SCORED
FINISH "B" (COLORED) |



KEYPLAN

General Notes

1. SEE SHEET C1.1B FOR SITE SIGNAGE AND PAVEMENT MARKINGS.
2. SEE A8.3 THRU A8.5 AND ROOM FINISH SCHEDULE FOR OTHER SIGNAGE

Dekker/Perich/Sabatini
architecture • interiors • planning • engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-8700
fax 761-4222

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **ALVARADO TRANSPORTATION CENTER**
Site Plan

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

PROJECT NO. 584292	C11	MAP NO. K-14-7	SHEET 4	OF 160
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AS BUILT INFORMATION	24" F
CONCRETE	24" F
IRON	24" F
STEEL	24" F
CEMENT	24" F
REINFORCEMENT	24" F
BRICK	24" F
ROOFING	24" F
MICRO-FILM INFORMATION	24" F
RECORDS	24" F

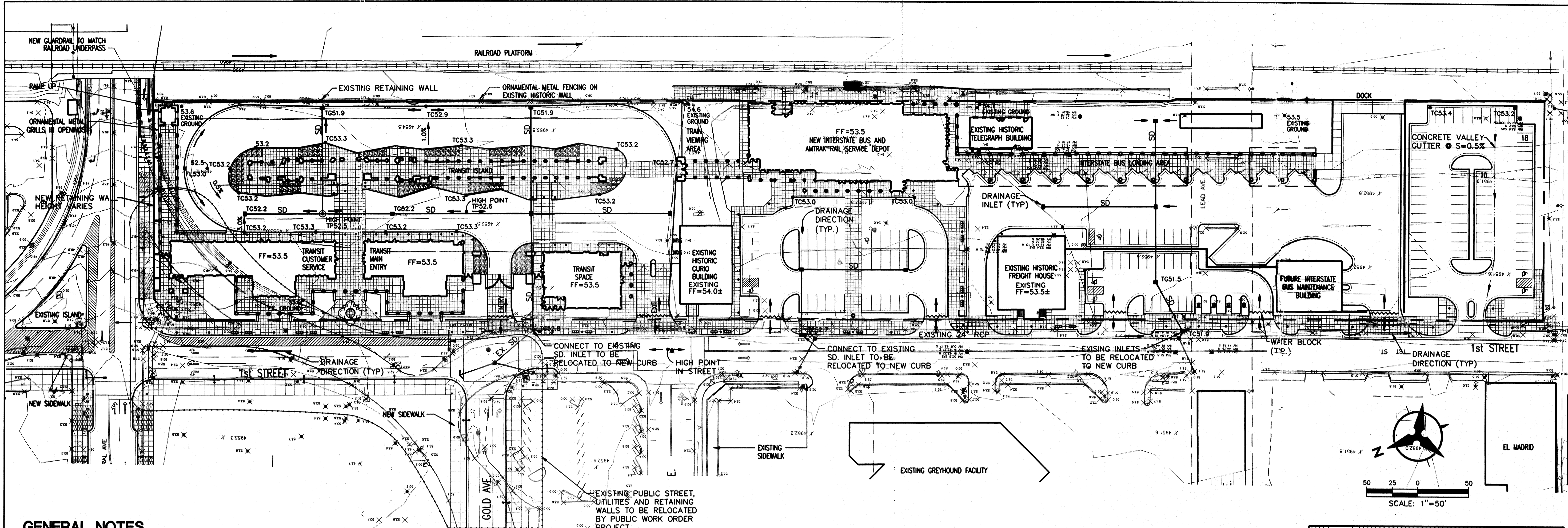
BENCH MARKS	
1	X
2	X
3	X
4	X
5	X
6	X
7	X

[illegible]

ENGINEER'S SEAL

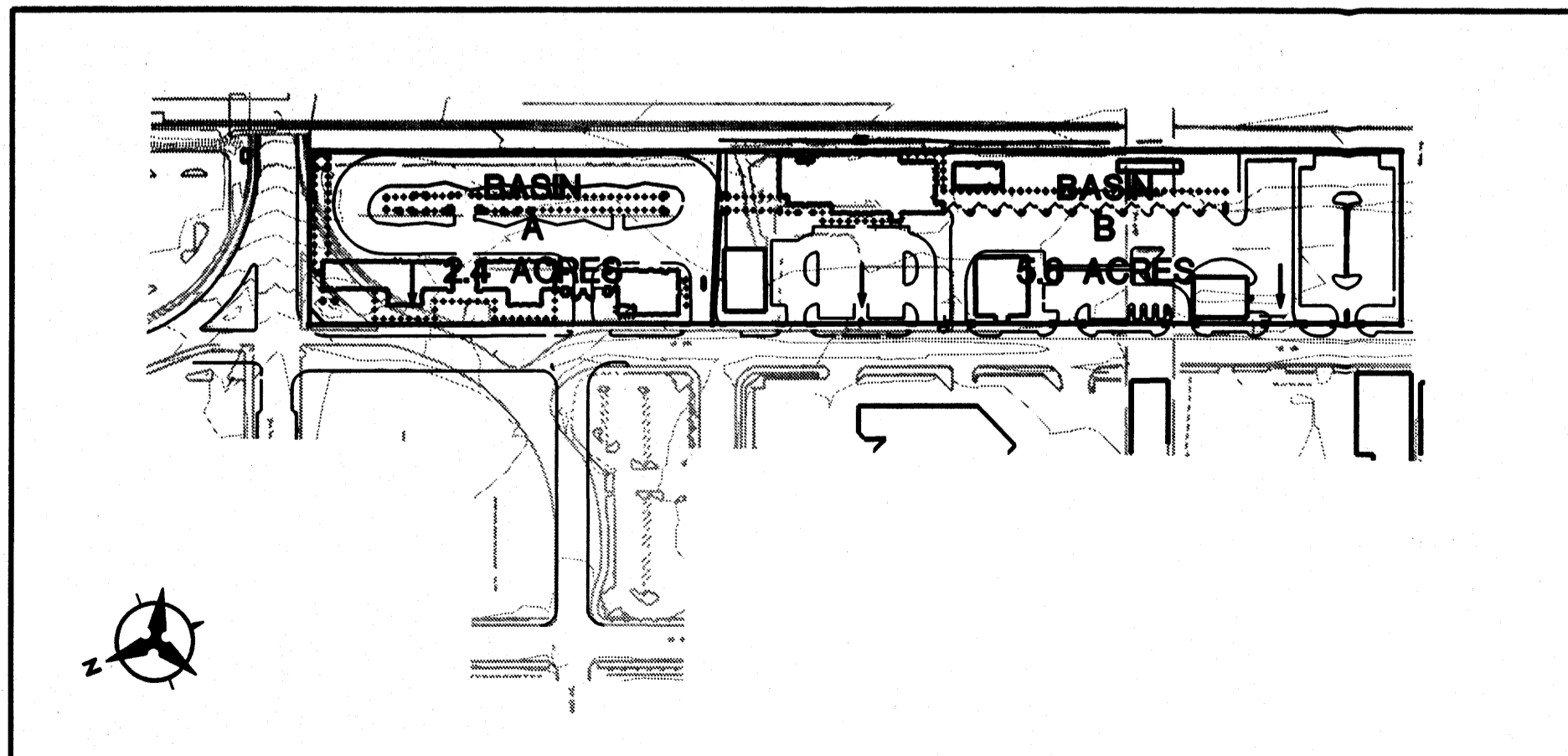
STATE OF NEW MEXICO
 STEVEN J. PERICH
 No. 2225
 4/17/00
 REGISTERED ARCHITECT

2/28/00	PROPOSAL REQUEST #005 A	
7/12/99	RELEASE FOR BID	
6/28/99	DRC COMMENTS	
4/26/99	BLDG. PERMIT REVIEW	
NO. DATE	REMARKS	BY
DESIGN		
DESIGNED BY	CG	DATE 2/16/99
DRAWN BY	ATF	DATE 2/16/99



GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.



EXISTING AND PROPOSED BASIN MAP

SCALE: 1"=200'

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Alvarado Transportation Center project, an approximately 8 acre project site in land area. The project is to be submitted as a site development plan under public hearing guidelines to Development Review Board (DRB) in the near future. It is anticipated that the plan will be heard at DRB on June 2, 1998, along with the final plan. This submittal is made in order to obtain site development plan, and preliminary and final plan approval for the proposed Alvarado Transportation Center.

II. SITE LOCATION

The site is located on the east side of 1st Street, extending from Central Avenue to the north right-of-way line of the Coal Avenue overpass. In its current condition, the site is largely graded over, heavily compacted soil surface and partially vacant. Some existing Amtrak and minor train support facilities exist on the site and are identified as existing buildings with this submittal. The site currently drains to an east to west direction of very mild slopes, ranging between 0.5% to 2.0%.

III. EXISTING HYDROLOGIC CONDITIONS

As stated above, the site is a mixture of vacant and existing buildings and paved parking lots. The vacant areas currently shown on the northern portion of the site have been previously used as a pay-for-use parking lot. Accordingly, between the existing impervious areas and the hardened dirt areas of the site, the site behaves as essentially developed site with a high degree of imperviousness and soil composition. The existing basins have been identified on the enclosed Existing Basins and Existing Topography map. Basin A, approximately 2.4 acres on the northern portion of the property drains approximately 7.9 cfs in the 100-year storm event. Basin B, on the southern portion of the property drains approximately 25 cfs to 1st Street.

Once flows reach 1st Street, they are collected by existing inlets and street gutter and carried away from the site.

IV. PROPOSED HYDROLOGIC CONDITIONS

The Alvarado Transportation Center proposes to construct an intermodal transportation facility on the project site.

The drainage management scheme for the development is proposed to be one of free discharge to 1st Street and its existing storm drain system. Due to the project's intense use of the land and the site's previous history of development, free discharge is the only feasible approach to site drainage. Due to the flatness of the site, private on-site drainage systems which collect flow from the surface and carry it via underground pipe to connections of the existing drainage inlets in 1st Street.

All on-site storm drainage systems will be designed to current hydrology and hydraulic standards to carry full flows. Should the downstream drainage systems preclude acceptance of the full site developed flows, finished floors of the buildings and key pedestrian structures are set above the overflow points on the site, i.e., in the case of the downstream systems not accepting flow from the site, discharge from the site will overflow through the proposed entry drives to the adjacent streets prior to impacting finished floor elevations of buildings and key pedestrian facilities. Under proposed developed conditions, Basin A will generate 10.2 cfs in 100-year, 6-hour design storm. Basin B will generate 25 cfs.

V. CONCLUSION

With this submittal, we are seeking site development plan, and preliminary and final plan approval.

EXISTING CONDITIONS CALCULATIONS

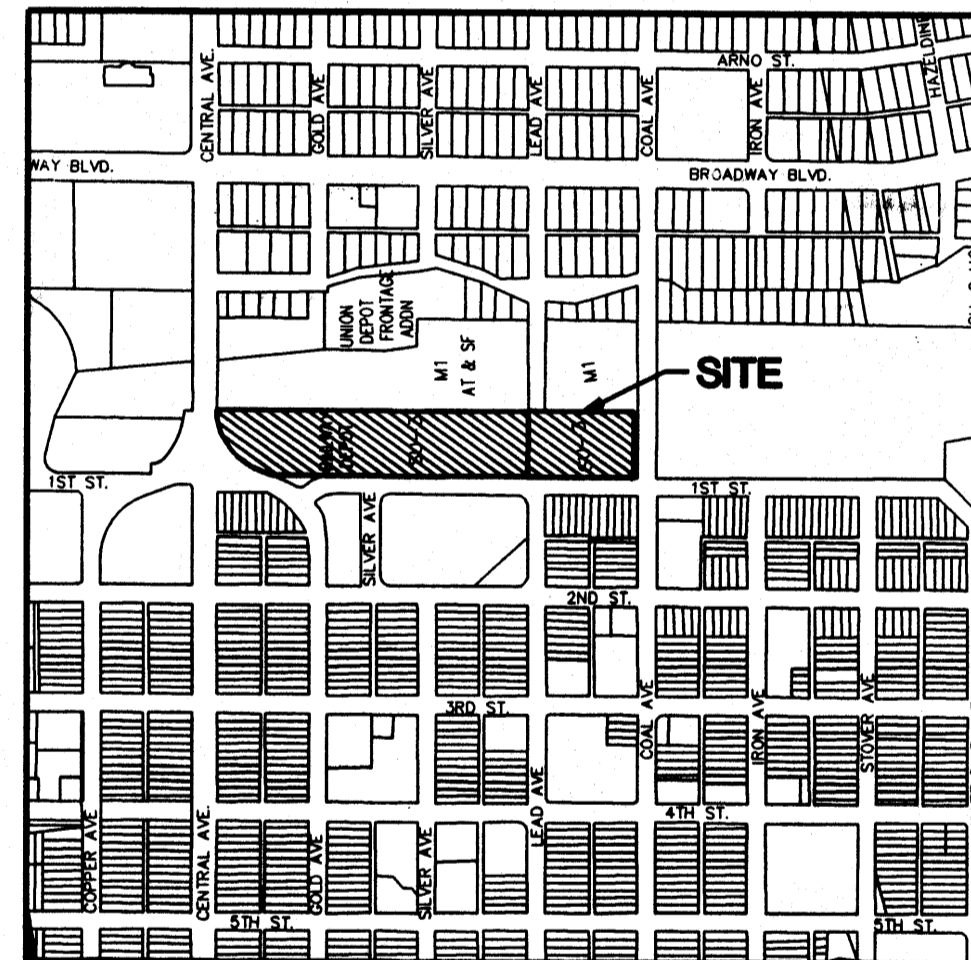
Basin A - 2.4 acres, Zone 2
Land Treatments % - "C" = 90%, "D" = 10%
 $Q_{100} = 0.9(2.4)3.14 \text{ cfs/acre} + 0.1(2.4)4.7 = 7.9 \text{ cfs}$

Basin B - 5.6 acres, Zone 2
Land Treatments % - "C" = 15%, "D" = 85%
 $Q_{100} = 0.15(5.6)3.14 + 0.85(5.6)4.7 = 25 \text{ cfs}$

PROPOSED CONDITIONS CALCULATIONS

Basin A - Land Treatments % - "B" & "C" = 75%, "D" = 85%
 $Q_{100} = 0.075(2.4)1.56 + 0.075(2.4)2.28 + 0.85(2.4)4.7 = 10.2 \text{ cfs}$

Basin B - Land Treatments % - "B" & "C" = 75%, "D" = 85%
 $Q_{100} = 0.075(5.6)1.56 + 0.075(5.6)2.28 + 0.85(5.6)4.7 = 25 \text{ cfs}$



VICINITY MAP
ZONE ATLAS K-14-Z

Dekker / Perich
architecture interiors planning

6801 Jefferson NE, Suite 100 (505) 761-9700
Albuquerque, New Mexico 87109 Fax 761-4222

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: ALVARADO TRANSPORTATION CENTER
CONCEPTUAL DRAINAGE / GRADING PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

Bohannon & Huson

County One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

DRAWING
NO.

MAP NO.
K-14-Z

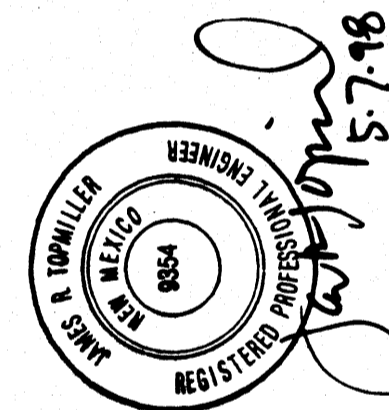
SHEET OF

AS BUILT INFORMATION			
CONTRACTOR	DATE	WORK	DATE
INSPECTOR	DATE	FIELD	DATE
VERIFICATION BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	

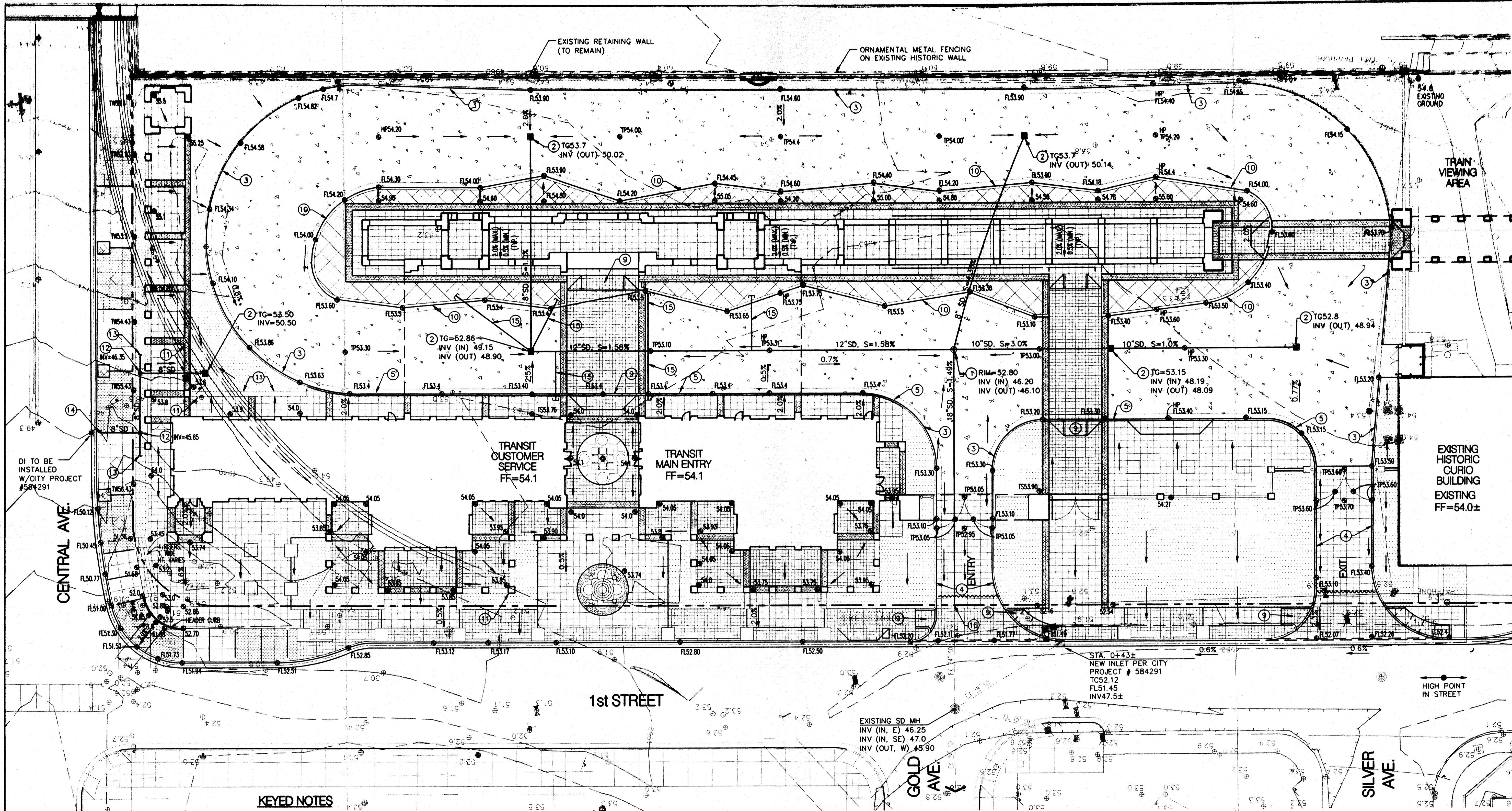
BENCH MARKS

SURVEY INFORMATION

ENGINEER'S SEAL



NO.	DATE	BY	REMARKS
			DESIGN
			DATE 5/98
			DRAWN BY LR
			CHECKED BY JRT
			DATE 5/98



KEYED NOTES

1. BUILD TYPE "C" SD MANHOLE PER COA STD. DWG. 2101. PROVIDE HEENAH "R-1792-FG" FRAME & GRATE, OR ENGR. APPROVED EQUAL.
2. BUILD TYPE SINGLE "D" INLET PER COA STD. DWG. 2206.
3. BUILD CURB & GUTTER AS PER DETAIL 3, SHEET C1.3.
4. BUILD CURB PER DETAIL 1, SHEET C1.3.
5. BUILD CURB & GUTTER AS PER DETAIL 4, SHEET C1.3.
6. INSTALL PAVEMENT FLUSH WITH EDGE OF SIDEWALK.
7. MATCH EXISTING PAVEMENT GRADE.
8. MATCH PROPOSED CURB OR VALLEY GUTTER TO EXISTING PAVEMENT GRADE.
9. INSTALL HC RAMP, 12:1 MAX SLOPE. SEE HC RAMP DETAILS SHEET C1.3.
10. BUILD MOVEABLE CURB AS PER DETAIL, SHEET C2.2.
11. PROVIDE TURNED BLOCKS OR 2" DIA. CAST-IN-PLACE HOLES IN WALL TO ALLOW FOR DRAINAGE.
12. PROVIDE CLEANOUT ON DRAIN LINE AS PER DETAIL, SHEET C2.2.
13. DRAIN LINE FOR PLANTERS, INV=46.55±, SEE ARCH. FOR CONTINUATION.
14. REMOVE PLUG AND CONNECT TO EXISTING 8" DRAIN LINE.
15. INSTALL 6" DRAIN LINE AT S=1.0% MIN., FOR CONNECTION TO ROOF DRAIN. SEE SHEET M1.2.
16. CONNECT TO EXISTING 24" RCP, INV=44.55±.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SWALE
- EXISTING SPOT ELEVATION
- EXISTING EASEMENT
- EXISTING SANITARY SOWER MH
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT
- PROPOSED UTILITY CAP
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MH
- PROPOSED STORM DRAIN INLET
- PROPOSED CLEANOUT
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TS=TOP OF SIDEWALK, TP=TOP OF PAVEMENT, TG=TOP OF GRADE

ACCEPTABLE MATERIALS FOR STORM DRAIN

- SDR 35, PVC (FOR STORM DRAIN PIPE 12" DIA. AND SMALLER)
- RCP CLASS III

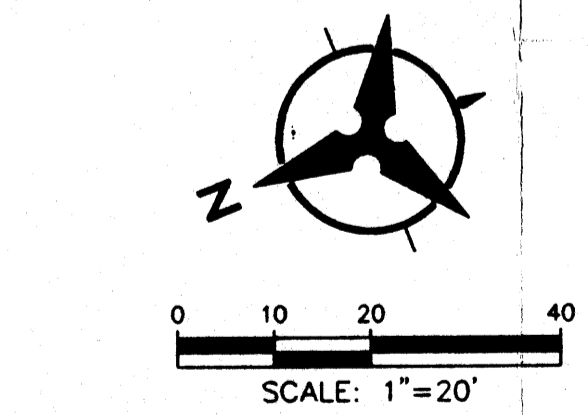
DRAINAGE CERTIFICATION

AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN LOCATIONS WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE NEW ELEVATION IS LISTED. ELEVATIONS WERE PROVIDED BY BOHANNAN HUSTON INC., PROFESSIONAL LAND SURVEYOR.

NOTES:

I, JAMES R. TOPMILLER, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE DRAINAGE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JAMES TOPMILLER, P.E. DATE
N.M.P.E. NO. 9354



LEGAL DESCRIPTION

TRACT A-1, ALVARADO TRANSPORTATION CENTER

Bohannan Huston
Courtney One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Dekker / Perich
architecture interiors planning
8801 Jefferson NE, Suite 100 Albuquerque, New Mexico 87109 (505) 761-9700 Fax 761-4222

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

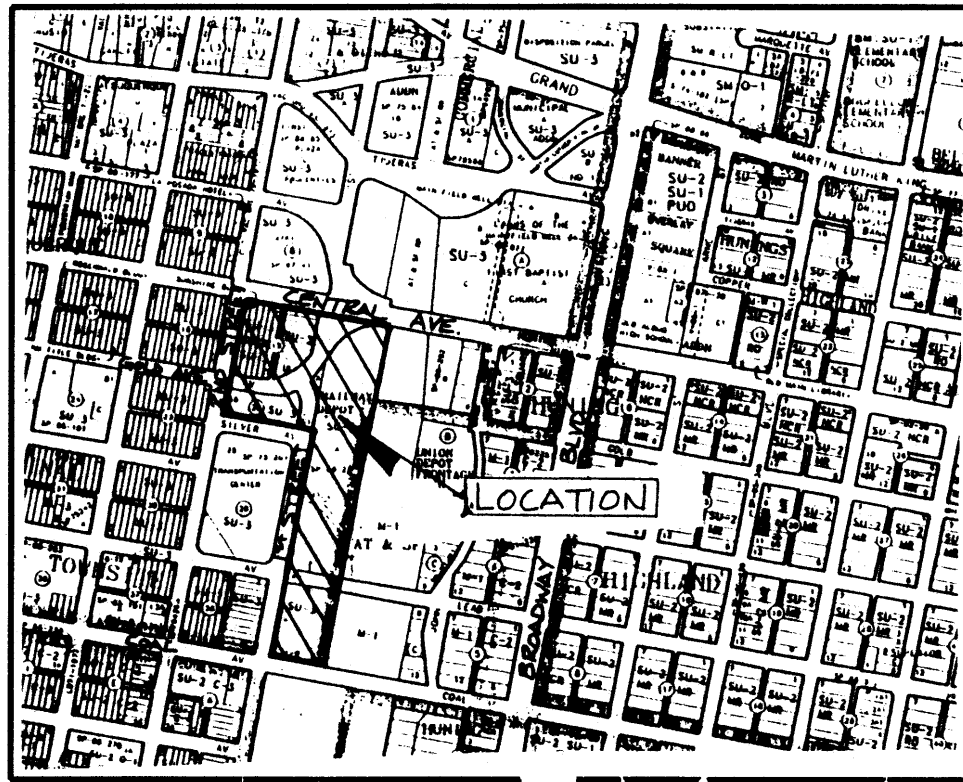
**TITLE: ALVARADO TRANSPORTATION CENTER
GRADING AND DRAINAGE PLAN - SECTOR 1**

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

DRAWING NO. **C21** MAP NO. **K-14-Z** SHEET **OF**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACT	DATE	ACS ALUMINUM CAP STAMPED "18-K14, 1986"	DATE	FIELD NOTES	BY		REMARKS
DATE	DATE	GEOGRAPHIC POSITION (NAD 1927)	DATE	NO.	BY		
DATE	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE				
DATE	DATE	X = 381,330.57 Y = 1,485,990.88	DATE				
DATE	DATE	GROUND TO GRID FACTOR = 0.999957846	DATE				
DATE	DATE	ADJ = -0.07341'	DATE				
DATE	DATE	SLO 1929 ELEVATION = 4960.723	DATE				

SP 98051109050137



LOCATION MAP
ZONE ATLAS INDEX MAP No. K-14-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRB No. 93-148
2. Zone Atlas Index Map No. K-14-Z
3. Gross Subdivision Acreage: 8.8980 Acres.
4. Total Number of Tracts created: Four (4) Tracts.
5. This plat shows existing easements.
6. Date of Survey: May 1998
7. Dedicated Public Street Right-of-Way: 0.1662 Acre
8. Vacate Public Street Right-of-Way: 0.3522 Acre
9. Plat is located within Section 20, T10N, R3E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Lots 1 through 7 inclusive, Lots 21 and 22, a westerly portion of Lots 8 through 12 inclusive of Block 15 of the NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 29, 1882 in Volume D, folio 140, together with all of Block 28 of the TRANSPORTATION CENTER SUBDIVISION as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 2, 1975 in Volume D6, folio 171, together with all of Tract "A" of PLAT OF TRACT "A" RAILWAY DEPOT, Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 7, 1990 in Volume 90C, folio 28 as Document No. 9010113, to vacate Public Street right-of-way, to dedicate Public Street right-of-way to the City of Albuquerque, to vacate easements and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, communication lines and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. U.S. West for the installation, maintenance and service of buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Jones Intercable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area and space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

DESCRIPTION

A certain tract of land situate within Section 20, Township 10 North, Range 3 East, New Mexico Principal Meridian, within the City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Lots 1 through 7 inclusive, Lots 21 and 22, a westerly portion of Lots 8 through 12 inclusive of Block 15 of the NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 29, 1882 in Volume D, folio 140, together with a portion of Gold Avenue SW right-of-way, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the northeast corner of said Lot 1, Block 15, a point of intersection of the westerly right-of-way line of First Street SW and the southerly right-of-way line of Central Avenue, whence the Albuquerque City Survey (ACS) monument "18-K14, 1986" a 3-1/4 inch diameter aluminum cap set on top of a loading dock platform, having New Mexico State Plane Grid Coordinates, Central Zone (NAD 1927) of X=381,330.57 and Y=1,485,990.88 bears S80°07'55"E, a distance of 279.48 feet and from said point of beginning running thence along the easterly boundary line of said Lots 1 through 8 inclusive, Block 15 and also along the westerly right-of-way line of said First Street SW, S09°09'38"W, a distance of 174.73 feet to a point of curvature (non-tangent) on the northwesterly right-of-way line of Gold Avenue SW, thence running along said right-of-way line, 23.56 feet along the arc of a curve to the right having a radius of 220.00 feet and a chord which bears S37°41'20"W, a distance of 23.55 feet to a point of non-tangency, thence leaving said right-of-way line and running thence along the easterly boundary line of the tract herein described, S09°10'28"W, a distance of 91.18 feet to a point of curvature; thence, 19.37 feet along the arc of a curve to the right having a radius of 12.33 feet and a chord which bears S54°10'29"W, a distance of 17.44 feet to a point of tangency on the southerly boundary line of the tract herein described, N80°49'31"W, a distance of 151.52 feet to a point of curvature (non-tangent) on the northerly right-of-way line of Gold Avenue SW, thence running along said right-of-way line, 23.48 feet along the arc of a curve to the right having a radius of 220.00 feet and a chord which bears S37°41'20"W, a distance of 23.47 feet to a point of tangency on the southerly boundary line of said Lot 20, Block 15, thence running along the southerly boundary line of said Lots 20 through 22 inclusive, Block 15 and also along the northerly right-of-way line of Gold Avenue SW, N80°51'31"W, a distance of 51.56 feet to the southwest corner of said Lot 22, Block 15, thence leaving said right-of-way line and running thence along the westerly boundary line of said Lot 22, Block 15, N09°09'38"E, a distance of 142.05 feet to the northwest corner of said Lot 22, Block 15, thence running along the northerly boundary line of said Lots 22 through 19 inclusive, Block 15, S80°51'31"E, a distance of 100.05 feet to the northeast corner of said Lot 19, Block 15, thence running along the easterly boundary line of said Lot 19, Block 15, S09°09'38"E, a distance of 136.64 feet to a point on a curve (non-tangent) on the northerly right-of-way line of Gold Avenue SW, thence running along said right-of-way line, 16.56 feet along the arc of a curve to the left having a radius of 220.00 feet and a chord which bears N84°15'09"E, a distance of 16.56 feet to a point on the westerly boundary line of said Lot 12, Block 15, thence leaving said right-of-way line and running thence along the westerly boundary line of said Lots 12 through 1 inclusive, Block 15, N09°09'38"E, a distance of 290.43 feet to the northwest corner of said Lot 1, Block 15, a point on the southerly right-of-way line of Central Avenue, thence running along the northerly boundary line of said Lot 1, Block 15 and also along said right-of-way line, S80°51'31"E, a distance of 134.08 feet to the point and place of beginning. Tract contains 1.2175 acres, more or less.

DESCRIPTION

A certain tract of land situate within Section 20, Township 10 North, Range 3 East, New Mexico Principal Meridian, within the City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract "A" of PLAT OF TRACT "A" RAILWAY DEPOT, Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk on February 7, 1990 in Volume 90C, folio 28 as Document No. 9010113 together with a portion of Gold Avenue SW right-of-way, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the northeast corner of said Tract "A", a point on the southerly right-of-way line of Central Avenue, whence the Albuquerque City Survey (ACS) monument "18-K14, 1986" a 3-1/4 inch diameter aluminum cap set on top of a loading dock platform, having New Mexico State Plane Grid Coordinates, Central Zone (NAD 1927) of X=381,330.57 and Y=1,485,990.88 bears S36°19'38"E, a distance of 6.02 feet and from said point of beginning leaving said right-of-way line and running thence along the easterly boundary line of said Tract "A", S09°09'29"W, a distance of 999.13 feet to a point; thence, S06°37'16"E, a distance of 6.98 feet to a point; thence, S09°08'57"W, a distance of 362.03 feet to the southeast corner of said Tract "A"; thence, N80°49'27"W, a distance of 217.18 feet to the southwest corner of said Tract "A", a point on the easterly right-of-way line of First Street SW, thence running along the westerly boundary line of said Tract "A" and also along said right-of-way line, S09°09'38"E, a distance of 1332.19 feet to the northwest corner of the tract herein described, a point of curvature; thence, 54.85 feet along the arc of a curve to the right having a radius of 35.00 feet and a chord which bears N54°03'33"E, a distance of 49.41 feet to a point of tangency; thence, S81°02'32"E, a distance of 153.57 feet to a point on the northerly boundary line of said Tract "A" and also being a point on the southerly right-of-way line of Central Avenue, thence running along the northerly boundary line of said Tract "A" and also along said right-of-way line, S81°00'39"E, a distance of 26.72 feet to the point and place of beginning. Tract contains 6.7657 acres, more or less.

DESCRIPTION

A certain tract of land situate within Section 20, Township 10 North, Range 3 East, New Mexico Principal Meridian, within the City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Block 28 of the TRANSPORTATION CENTER SUBDIVISION as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 2, 1975 in Volume D6, folio 171 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the northeast corner of said Block 28, a point on the westerly right-of-way line of First Street SW, whence the Albuquerque City Survey (ACS) monument "18-K14, 1986" a 3-1/4 inch diameter aluminum cap set on top of a loading dock platform, having New Mexico State Plane Grid Coordinates, Central Zone (NAD 1927) of X=381,330.57 and Y=1,485,990.88 bears N53°01'31"E, a distance of 435.11 feet and from said point of beginning running thence along the easterly boundary line of said Block 28 and also along said right-of-way line, S33°18'17"E, a distance of 4.27 feet to a point of curvature; thence, 54.17 feet along the arc of a curve to the right having a radius of 73.09 feet and a chord which bears S12°04'20"E, a distance of 52.94 feet to a point of tangency; thence, S09°09'38"W, a distance of 98.42 feet to a point of curvature; thence, 18.85 feet along the arc of a curve to the right having a radius of 12.00 feet and a chord which bears S54°09'03"W, a distance of 16.97 feet to a point of tangency on the southerly boundary line of said Block 28 and also being a point on the northerly right-of-way line of Silver Avenue SW, thence running along the southerly boundary line of said Block 28 and also along said right-of-way line, N80°51'31"W, a distance of 276.15 feet to a point of curvature; thence, 18.85 feet along the arc of a curve to the right having a radius of 12.00 feet and a chord which bears N35°50'57"W, a distance of 16.97 feet to a point of tangency on the westerly boundary line of said Block 28 and also being a point on the easterly right-of-way line of Second Street SW, thence running along the westerly boundary line of said Block 28 and also along said right-of-way line, N09°09'38"E, a distance of 95.98 feet to a point of curvature; thence, 18.84 feet along the arc of a curve to the right having a radius of 12.00 feet and a chord which bears N54°08'25"E, a distance of 16.96 feet to a point of tangency on the northerly boundary line of said Block 28 and also being a point on the southerly right-of-way line of Gold Avenue SW, thence running along the northerly boundary line of said Block 28 and also along said right-of-way line, S80°51'31"E, a distance of 15 feet to a point of curvature; thence, 162.37 feet along the arc of a curve to the left having a radius of 280.00 feet and a chord which bears N82°31'42"E, a distance of 160.11 feet to a point of reverse curvature; thence, 24.72 feet along the arc of a curve to the right having a radius of 17.53 feet and a chord which bears S73°41'41"E, a distance of 22.72 feet to the point and place of beginning. Tract contains 9.9143 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of those certain tracts of land situate within Section 20, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, said tracts being and comprising all of Lots 1 through 7 inclusive, Lots 21 and 22, a westerly portion of Lots 8 through 12 inclusive of Block 15 of the NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 29, 1882 in Volume D, folio 140, together with all of Block 28 of the TRANSPORTATION CENTER SUBDIVISION as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 2, 1975 in Volume D6, folio 171, together with all of Tract "A" of PLAT OF TRACT "A" RAILWAY DEPOT, Albuquerque, Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 7, 1990 in Volume 90C, folio 28 as Document No. 9010113, together with portion of Gold Avenue SW, and First Street SW, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or above ground distribution lines, conduits, pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

BY:

LAWRENCE RAEI, CHIEF ADMINISTRATION OFFICER, CITY OF ALBUQUERQUE

State of New Mexico)

SS

County of Bernalillo)

This instrument was acknowledged before me on 4 day of June 1998 by Lawrence Rael, Chief Administration Officer, City of Albuquerque.

My Commission Expires:

Notary Public

ALVARADO TRANSPORTATION CENTER

ALBUQUERQUE, NEW MEXICO
MAY, 1998

APPROVALS

PLAT NUMBER	DATE
98-98-170	8-19-98
PLANNING DIRECTOR	7-21-98
CITY ENGINEER	7-21-98
A.M.A.F.C.	8-03-98
TRAFFIC ENGINEER	05-27-98
CITY SURVEYOR	8-10-98
PROPERTY MANAGEMENT	7-21-98
UTILITY DEVELOPMENT DEPARTMENT	7-21-98
PLANNING & POLICY SECTION	07-14-98
U.S. COMMUNICATIONS	7-14-98
JONES INTERCABLE	7-14-98
PNM ELECTRIC SERVICES	7-14-98
PNM GAS SERVICES	7-14-98

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPON AS ATTACHED TO 4 UPON SUBSIDIARY BUILDING PARTNERSHIP / CITY OF ALBUQUERQUE PROPERTY OWNER OF RECORD: URBAN DEVELOPMENT AGENCY

Wickie Lucido 8/20/98
BERNALILLO COUNTY TREASURER'S OFFICE DATE

PNM STAMP

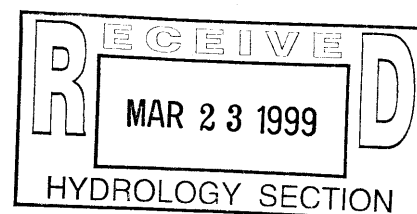
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled. Other than the easement shown to be released by this plat. See Note 1A.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in February, 1994 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon Huston
Courtyard 1
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109

A. Dwain Weaver
New Mexico Professional Surveyor 6544
Date: May 21, 1998



JOB NO. 97-186A2-01

Bohannon Huston



Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

ENGINEERS ARCHITECTS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SHEET 1 OF 2

11/7/2001

