

## DRAINAGE PLAN

## I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT IS LOCATED EAST OF OLD TOWN AND WILL CONSIST OF A SMALL BUILDING ADDITION ON AN EXISTING DEVELOPED SITE WITHIN AN INFILL AREA. THE DRAINAGE CONCEPT, CONSISTING OF FREE DISCHARGE OF DEVELOPED RUNOFF WILL REMAIN UNCHANGED BY THE PROPOSED CONSTRUCTION, THEREBY MAINTAINING THE STATUS QUO.

THIS SUBMITTAL IS MADE IN SUPPORT OF A BUILDING PERMIT FOR THE PROPOSED BUILDING ADDITION.

## II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP ON SHEET 1, THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF SEVENTH STREET NW AND TIJERAS AVENUE NW. THE CURRENT LEGAL DESCRIPTION IS LOTS 1 THROUGH 18, IMMACULATE CONCEPTION ADDITION; LOTS 5 THROUGH 22, BLOCK 6 AND LOTS 6 AND 7, BLOCK 51, ORIGINAL TOWNSITE OF ALBUQUERQUE. AS SHOWN BY PANEL 334 OF 825 OF THE FLOOD INSURANCE RATE MAP PUBLISHED BY FEMA, SEPTEMBER 20, 1996, THIS SITE DOES NOT LIE WITHIN, NOR DIRECTLY IMPACT A DESIGNATED FLOOD HAZARD ZONE.

## III. BACKGROUND DOCUMENTS

THE FOLLOWING PREVIOUSLY APPROVED DRAINAGE PLAN WAS USED IN THE PREPARATION OF THIS PLAN:

SAINT MARY MIDDLE SCHOOL GRADING AND DRAINAGE PLAN (K14/D68), PREPARED BY ADVANCED ENGINEERING AND CONSULTING, JUNE 1998. THIS PLAN UTILIZES FREE DISCHARGE OF DEVELOPED STORMWATER RUNOFF FROM THIS SITE INTO SEVENTH STREET NW AND TIJERAS AVE. NW.

## IV. EXISTING CONDITIONS

CURRENTLY, THE SITE IS DEVELOPED AS A CHURCH AND SCHOOL SITE. THE OVERALL SITE CONSISTS OF TWO SCHOOL BUILDINGS, THE CHURCH BUILDING, AN ASPHALT PAVED PARKING LOT, AND PLAYGROUNDS FOR THE SCHOOL WITH ASSOCIATED LANDSCAPED AREAS. THE OVERALL SITE OCCUPIES A FULL BLOCK AND IS BOUNDED ON ALL FOUR SIDES BY FULLY DEVELOPED CITY STREETS THEREBY PREVENTING OFFSITE FLOWS FROM IMPACTING THE SITE. THE PROJECT SITE CONSISTS OF THE WEST SIDE OF THE SCHOOL BUILDING LOCATED AT THE NORTHEAST PORTION OF THE PROPERTY. RUNOFF GENERATED BY THE PROJECT SITE CURRENTLY DISCHARGES FREELY TOWARD THE NORTH WITHIN AN ASPHALT PAVED FLOWLINE TO TIJERAS AVE. NW.

## V. DEVELOPED CONDITIONS

THE NEW CONSTRUCTION WILL CONSIST OF A SMALL BUILDING ADDITION TO THE EXISTING SCHOOL BUILDING LOCATED AT THE NORTHEAST PORTION OF THE PROPERTY. THE PROPOSED ADDITION WILL OCCUPY AN AREA WHICH IS CURRENTLY PAVED WITH ASPHALT. RUNOFF WILL CONTINUE TO DISCHARGE INTO TIJERAS AVE. NW VIA THE EXISTING ASPHALT PAVED FLOWLINE AND THE DRAINAGE CONCEPT WILL NOT BE ALTERED FROM THE EXISTING DRAINAGE PATTERN.

## VI. GRADING PLAN

THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS AS TAKEN FROM THE PARTIAL TOPOGRAPHIC SURVEY PERFORMED BY THIS OFFICE IN AUGUST 2001. 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS. 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS. 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS. AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES.

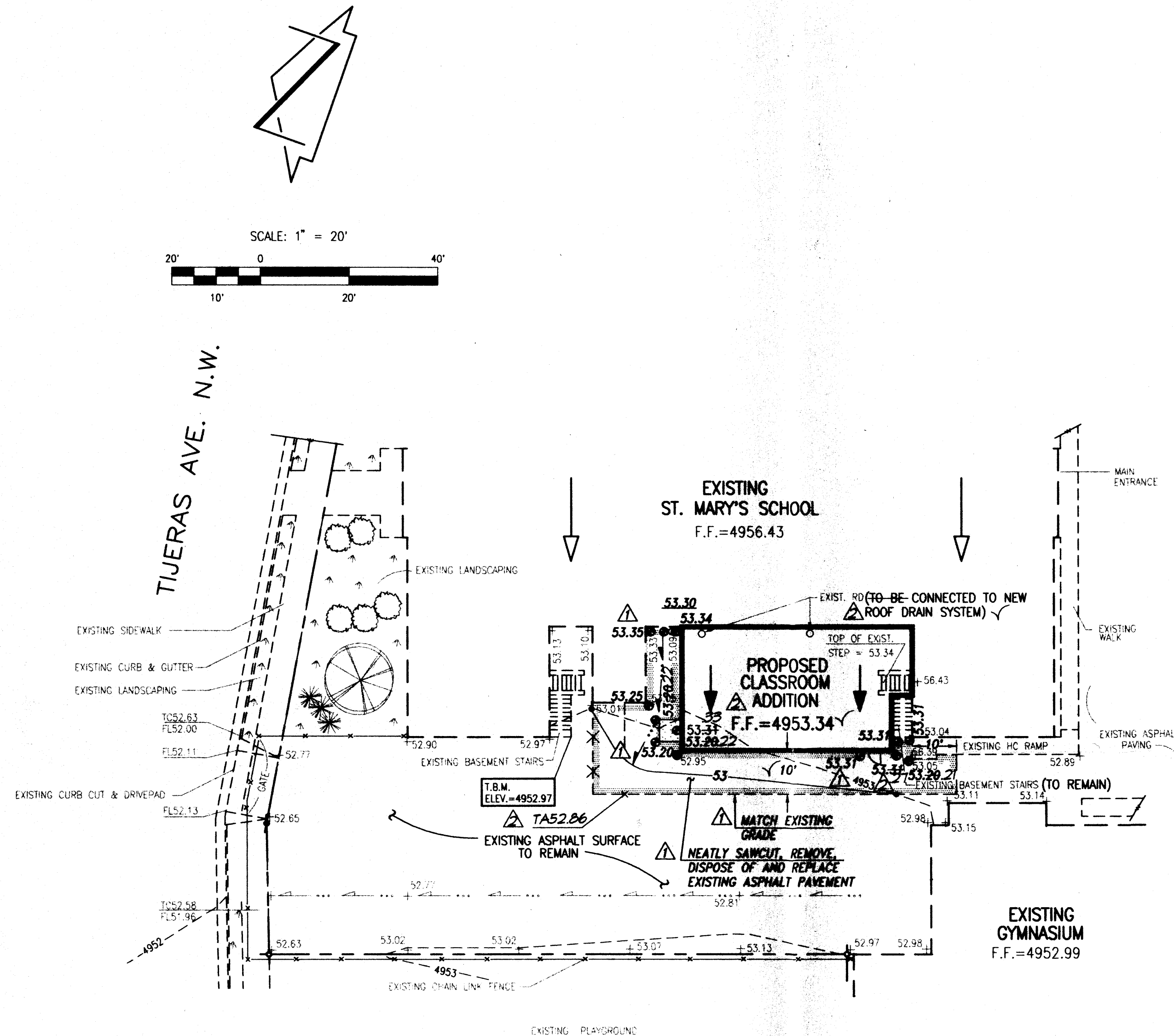
## VII. CALCULATIONS

THE PROPOSED BUILDING ADDITION WILL BE CONSTRUCTED IN AN AREA WHICH IS CURRENTLY PAVED WITH ASPHALT. AS A RESULT, THERE IS NO INCREASE OR DECREASE IN THE AMOUNT OF IMPERVIOUS AREA; THEREFORE, DRAINAGE CALCULATIONS WERE NOT PREPARED AS PART OF THIS SUBMITTAL.

## VIII. CONCLUSION

THE CONTINUED FREE DISCHARGE OF THE RUNOFF FROM THIS SITE IS APPROPRIATE DUE TO THE FOLLOWING:

1. THIS PROJECT CONSISTS OF THE MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA.
2. THERE WILL BE NO INCREASE IN RUNOFF DISCHARGED FROM THE SITE AS A RESULT OF THE NEW BUILDING ADDITION.
3. NO CHANGE WILL BE EXPERIENCED IN THE DEVELOPED ONSITE DRAINAGE PATTERNS.
4. THIS PROJECT WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES, FLOOD HAZARD ZONES OR DRAINAGE CONDITIONS.



## PROJECT BENCHMARK

STATION IS A STANDARD CITY OF ALBUQUERQUE DISK SET IN A DRILL HOLE IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF COPPER AVE. N.W. AND 6TH STREET N.W. STATION IS MARKED "1-K14 ACS". ELEVATION = 4952.29 FEET (M.S.L.D.-1929)

## T.B.M.

A "C" CHISELED ON CORNER OF CONCRETE STAIRWELL LOCATED ON THE WEST SIDE OF SCHOOL BUILDING. ELEVATION = 4952.97 FEET (M.S.L.D.-1929)

## LEGEND

TC	TOP OF CURB
FL	FLOWLINE
52.95+	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	EXISTING FLOWLINE
RD	ROOF DRAIN
HC	HANDICAP
F.F.	FINISHED FLOOR
→	EXISTING ROOF DRAINAGE
→	PROPOSED ROOF DRAINAGE
53.50	PROPOSED SPOT ELEVATION
□	PROPOSED CONCRETE
▨	PROPOSED ASPHALT PAVEMENT

## RECORD INFORMATION

53.28-52 RECORD INFORMATION  
RECORD INFORMATION = AS DESIGNED  
TA52.86 RECORD ELEVATION

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN HEREON WAS PROVIDED BY SHIVER CONSTRUCTION. TOPOGRAPHIC DATA IS FROM THE SURVEY BY JEFF MORTENSEN AND ASSOCIATES, INC. DATED 08/10/2001.

## CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

## EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

## DRAINAGE CERTIFICATION

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-13-2001. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT; THIS CERTIFICATION DOES NOT ANALYZE AND/OR EVALUATE ADA COMPLIANCE. THOSE RELYING UPON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY G. MORTENSEN, NMPE 8547

01-09-2002

DATE



08-13-2001

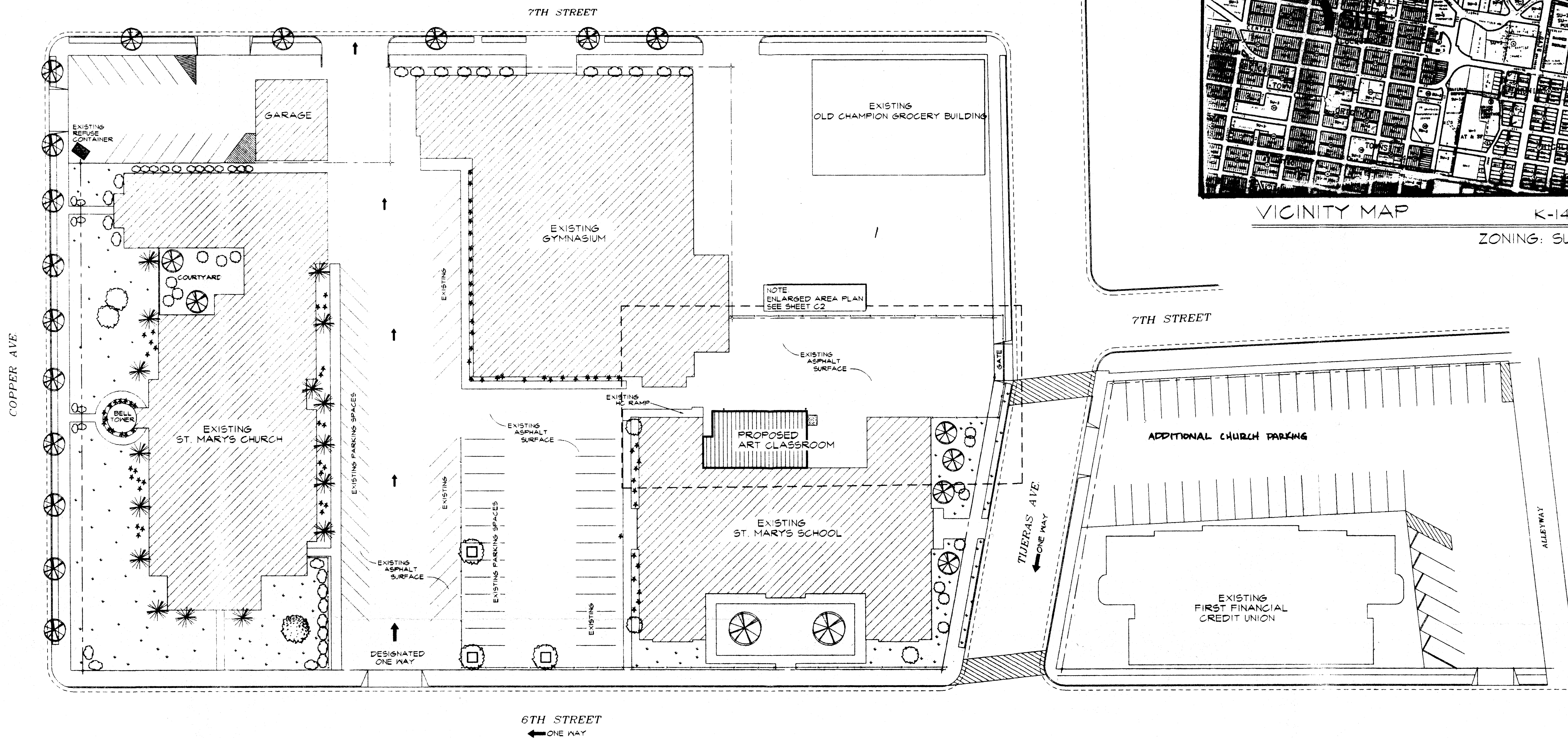


JEFF MORTENSEN & ASSOCIATES, INC.  
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ALBUQUERQUE, N.M. 87109  
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TEL: 505 345-4254 FAX: 505 345-4254 E-MAIL: jmort@jma.com

# ENLARGED GRADING PLAN ST. MARY'S SCHOOL ART CLASSROOM ADDITION

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	10/01	CJS	ELIMINATE STEP @ NORTH DOOR, ADD DOOR @ SW CORNER	2001.047X2
S.G.H.	01/02	JGM	DRAINAGE CERTIFICATION	DATE 08-2001
J.G.M.				SHEET 12 OF 21





VICINITY MAP  
K-14-Z  
ZONING: SU-3

# SITE PLAN (INCLUDES LANDSCAPE & TRAFFIC CIRCULATION INFO)

SCALE: 1" = 30'-0"

PARKING CRITERIA	SPACES REQ'D
ELEMENTARY & MIDDLE SCHOOL ONE SPACE PER EMPLOYEE	
(30) ELEMENTARY EMPLOYEES	30 SPACES
(32) MIDDLE SCHOOL EMPLOYEES	32 SPACE
PARKING REQ'D = 62 SPACES	
PARKING PROVIDED = 74 SPACES ON MAIN SCHOOL SITE ADDITIONAL (45) SPACES IN CHURCH PARKING AREA	

- ## TRAFFIC CIRCULATION NOTES
- AN AS-BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEPARTMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TCL. VERIFICATION OF TCL ACCEPTABILITY, (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE - BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
  - THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE SITE PLAN. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:
    - UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK.
    - INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

## LANDSCAPING CRITERIA (ALL LANDSCAPING IS EXISTING)

TOTAL LOT SIZE.....	117,000 SQ. FT.
NEW BUILDING SIZE .....	1,399 SQ. FT.
EXISTING BUILDING(S) SIZE.....(FOOTPRINT).....	47,391 SQ. FT.
TOTAL NET LOT..... 68,204 SQ. FT.	
15% LANDSCAPE REQ'D..... 10,230 SQ. FT.	
TOTAL EXISTING LANDSCAPING PROVIDED..... 20,060 SQ. FT.	

- ## LANDSCAPE NOTES
- ALL LANDSCAPING SHOWN ON THIS SITE PLAN IS EXISTING AND WILL REMAIN AS-IS. ANY NEW LANDSCAPING TO BE BY OWNER N.T.C.
  - ANY NEW LANDSCAPE (IF ANY) MUST BE INSTALLED IN ORDER TO COMPLY WITH- 15% PAVED AREA AND 75% LIVE GROUND COVER PER CITY ZONING REGULATIONS.
  - NEW LANDSCAPE (IF ANY) MUST CONSIST OF LOW AND MEDIUM WATER USE TREES AND SHRUBS PER CITY OF ALBUQUERQUE WASTE WATER ORDINANCE
  - ALL LANDSCAPING IS DRIP SYSTEM IRRIGATED.
  - LANDSCAPED AREAS ARE TO BE WEED FREE AND MAINTAINED BY THE OWNER.



REVISION  
  
 THESE PLANS WERE PREPARED BY SHIVVER CONSTRUCTION CO. FOR SHIVVER CONSTRUCTION CO. THEY SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT.

SHIVVER CONSTRUCTION CO.  
 100 IRON AVE SE ALBUQUERQUE NEW MEXICO 87102 PHONE (505) 344-3461 FAX (505) 344-8148

A NEW ART CLASSROOM FOR:  
**ST. MARYS SCHOOL**  
 224 SEVENTH AVE NW

ALBUQUERQUE, NEW MEXICO

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 of  
 16

7/25/01  
 DATE  
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 PROJ NO



DRAINAGE PLAN

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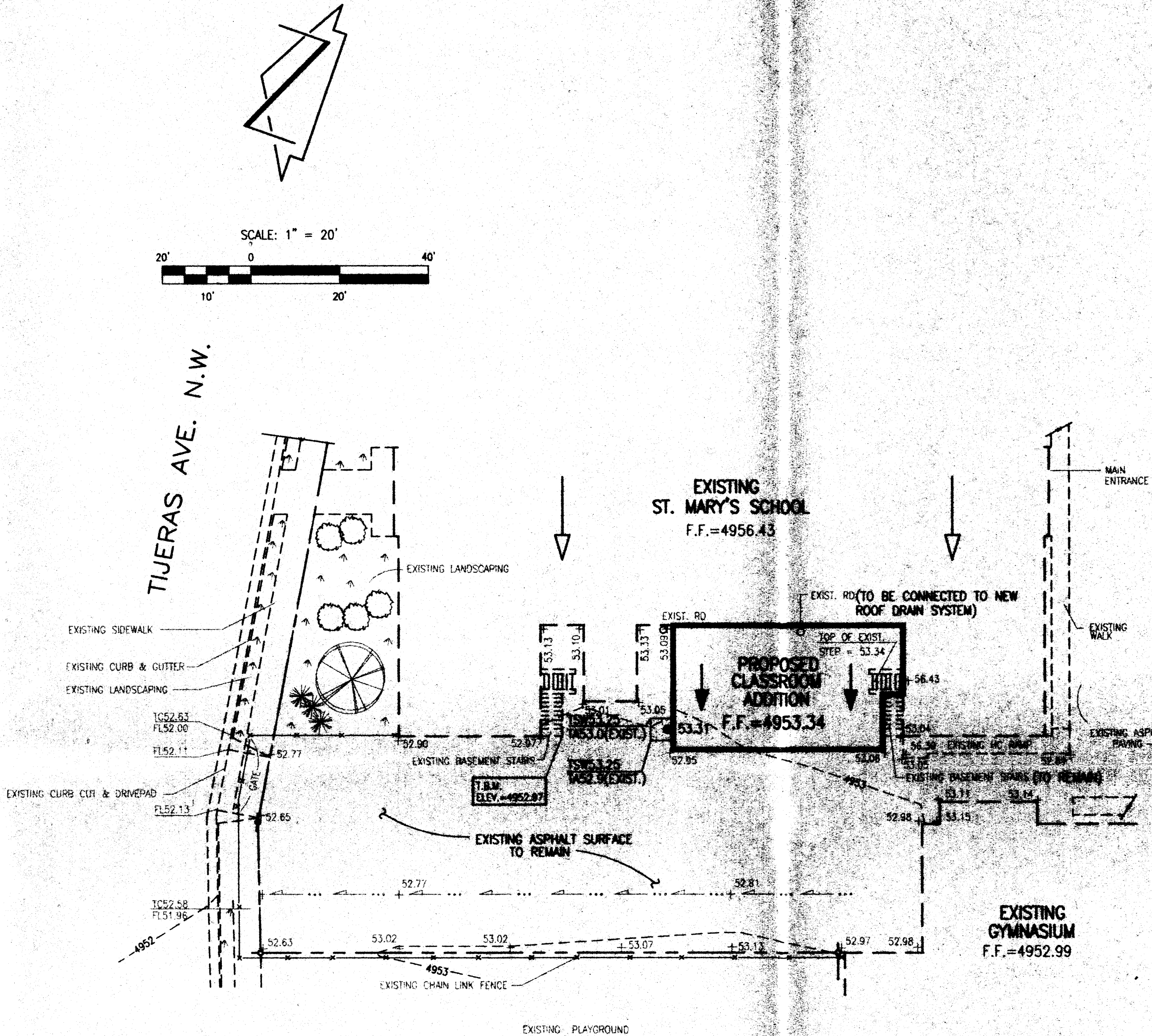
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T.B.M.

A "C" CHISELED ON CORNER OF CONCRETE STAIRWELL LOCATED ON THE WEST SIDE OF SCHOOL BUILDING. ELEVATION = 4952.97 FEET (W.S.L.D.-1929)

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ENGINEERS & SURVEYORS (505) 245-4250  
FAX: 505 345-4254 E-mail: jma@jma-inc.com

ENLARGED GRADING PLAN  
ST. MARY'S SCHOOL ART CLASSROOM ADDITION

DESIGNED BY	DATE	BY	REVISIONS	SHEET NO.
GM				2001.047.1
DRAWN BY				DATE
JGM				08-2001
APPROVED BY				SHEET
				2 OF 2



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JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NM 87109  
ENGINEERS & SURVEYORS (505) 345-4250  
FAX: 505 345-4254 E-mail: jma@jma.com

OVERALL SITE PLAN  
ST. MARY'S SCHOOL ART CLASSROOM ADDITION

DESIGNED BY C.J.S.  
DRAWN BY S.G.H.  
APPROVED BY G.M.

NO.	DATE	BY	REVISIONS	JOB NO.
				2001.047.1
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				SHEET 1 OF 2



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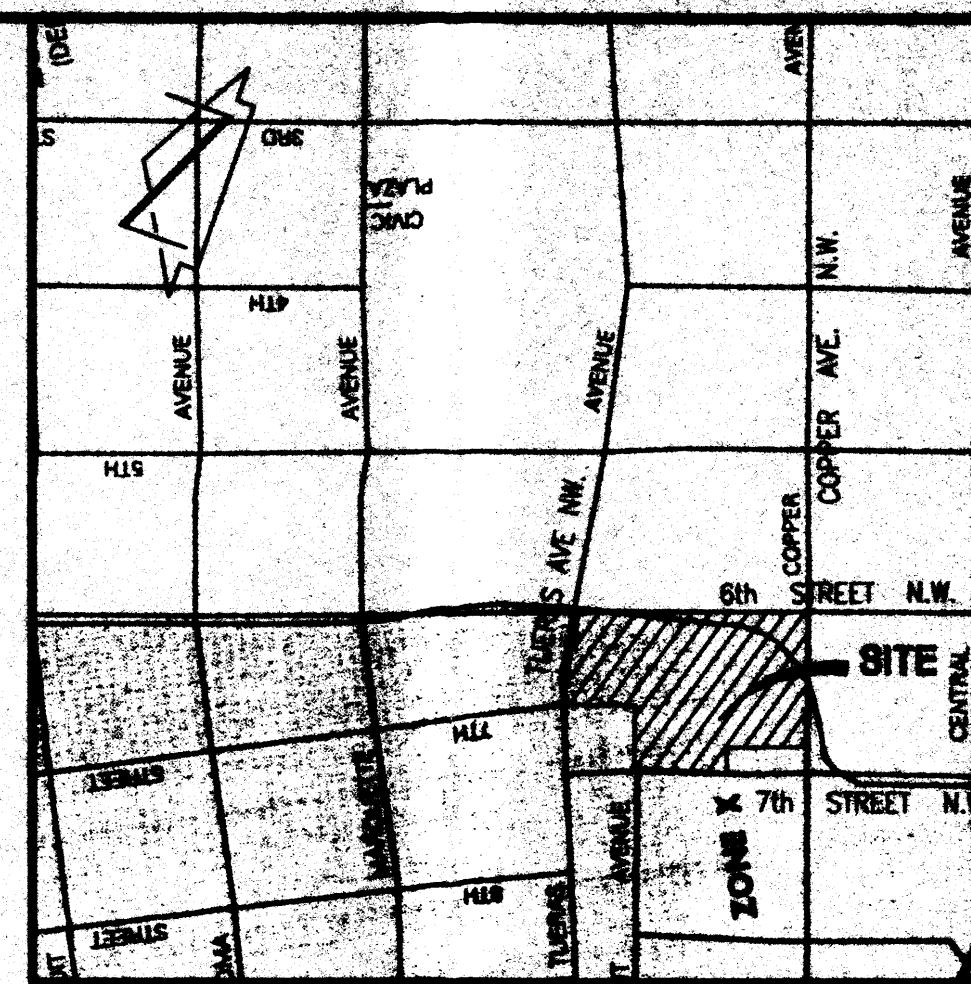
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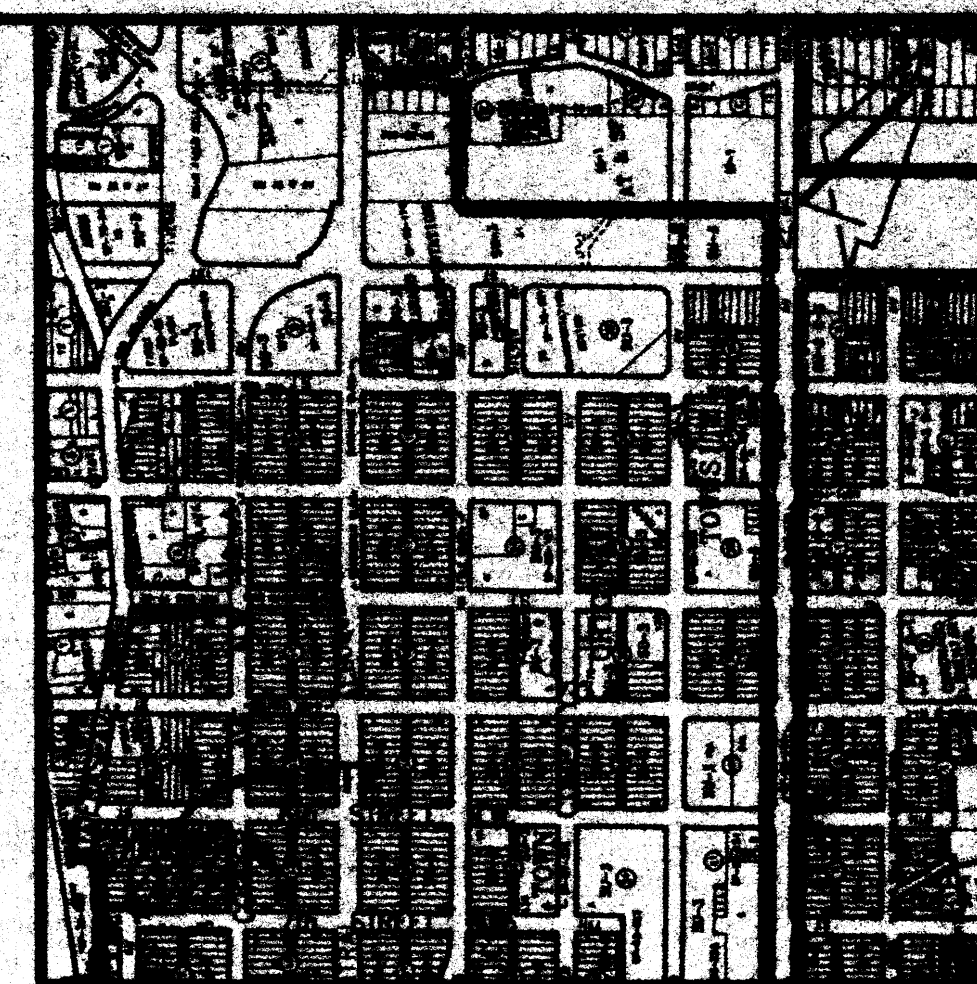
LEGEND

PROPERTY LINE  
PROPOSED CONCRETE  
PROPOSED ASPHALT PAVING



FLOODPLAIN MAP  
SCALE: 1" = 500'

PANEL 334 OF 825



VICINITY MAP  
SCALE: 1" = 750'

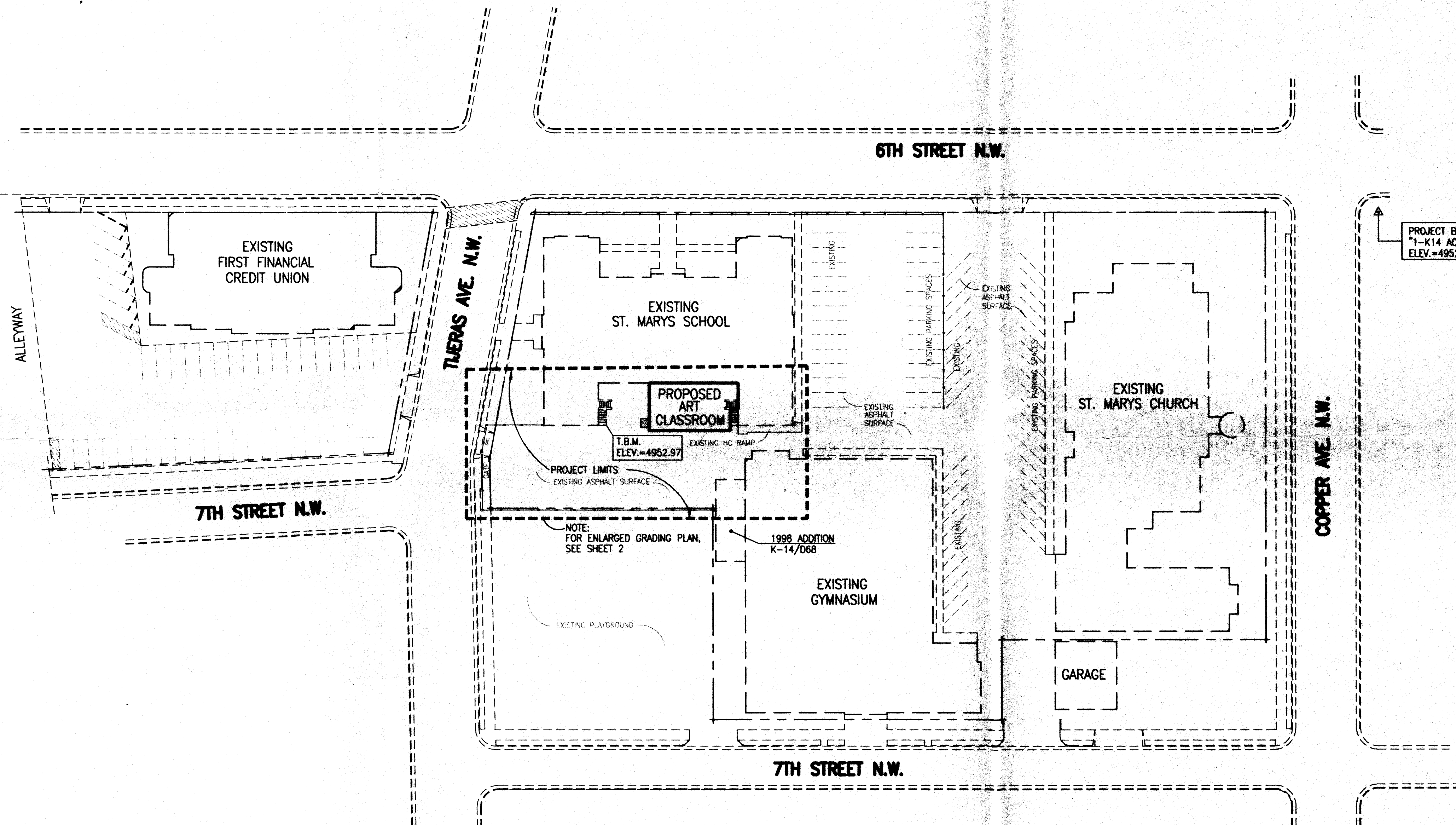
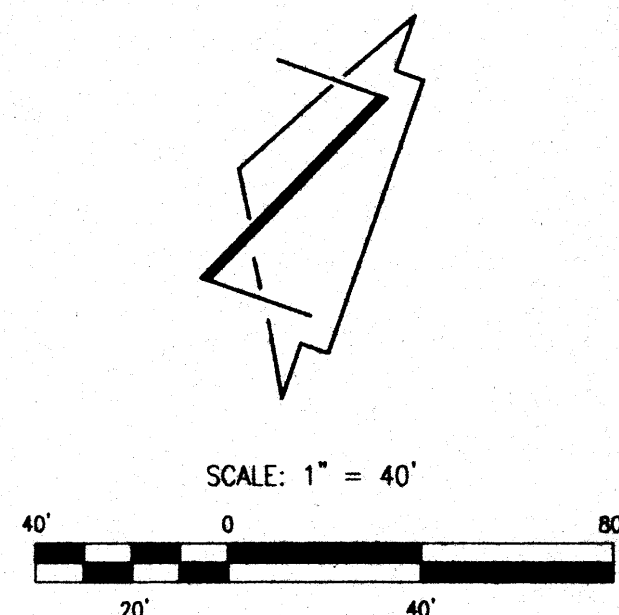
CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT COMPREHENSIVE, AND MAY NOT BE COMPLETE. THEREFORE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, SIZE, OR TYPE OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN HEREON WAS PROVIDED BY SHIVER CONSTRUCTION. TOPOGRAPHIC DATA IS FROM THE SURVEY BY JEFF MORTENSEN AND ASSOCIATES, INC. DATED 08/10/2001.





TIJERAS AVE.

30' F-F

EXISTING SIDEWALK

ST.

7TH

# NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

## AHYMO INPUT FILE

\*  
\* ZONE 2  
\* (100-YEAR, 6 HOUR, STORM)  
START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=2.01 IN RAIN SIX=2.35 IN  
RAIN DAY=2.75 IN DT=0.03333 HR  
ID=1 HYD NO=101.0 AREA=0.000048 SQ MI  
PER A=0.00 PER B=0.00 PER C=0.00 PER D=100.00  
TP=0.1333 HR MASS RAINFALL=-1  
FINISH

## AHYMO SUMMARY OUTPUT FILE

AHYMO SUMMARY TABLE (AHYMO194)-AMAFCA Hydrologic Model-January,1994 RUN DATE (MON/DAY/YR) =06/28/1998  
INPUT FILE = 9841  
PAGE = 1  
COMMAND HYDROGRAPH ID ID AREA PEAK RUNOFF TIME TO CFS  
IDENTIFICATION NO. NO. (SQ MI) DISCHARGE VOLUME RUNOFF PEAK PER  
(CFS) (AC-FT) (INCHES) (HOURS) ACRE NOTATION  
START TIME= .00  
RAINFALL TYPE= 1 RAIN6= 2.350  
COMPUTE NM HYD 101.00 - 1 0.00005 0.15 0.005 2.11537 1.500 5.004 PER IMP= 100.00  
FINISH

ROUGH GRADING APPROVAL

DATE

## BENCHMARK

ACS "1-K14"  
CENTRAL STATION DATA  
NM STATE PLANE COORDINATES  
CENTRAL ZONE  
X=379340.16  
Y=1486701.16  
G-G=0.99967984  
Δ=0°13'55"  
ELEV=4952.291  
LOCATED AT SW CORNER OF  
COPPER AVE. & 6TH ST.

## KEY NOTES

1. REMOVE EXISTING ASPHALT & REPAVE @ 0.6% SLOPE AWAY FROM THE BUILDING

## Location

The site is a middle School which is located at northeast corner of Seventh Street and Copper Avenue. See attached vicinity map for location.

## Purpose

The purpose of this plan is to present a grading and drainage plan for building permit approval.

## Existing Drainage Conditions

The proposed addition will be over an existing paved area. The runoff from this area at a flow rate of 0.15 cfs drains to the west to Seventh Street. The runoff to the east drain to the north to Tijeras Avenue. The off runoff to the north drains west and north to Seventh Street and Tijeras Avenue.

## Proposed Conditions and On-Site Drainage Management Plan

The drainage pattern will remain the same. The finished floor elevation of the new addition will be set as the building to the south. Since the building will be built over an existing impervious area there will not be any increase in the amount of the runoff (0.15 cfs). The runoff will drain away from the building to Seventh Street and Tijeras Avenue.

## Calculations

City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, revised January, 1993, was used for the runoff calculations. A treatment of D=100.00 % was used for on site existing/proposed conditions. A The site falls under A-1 of page A-1.

## EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



## LEGAL DESCRIPTION

TRACT A AND B ORIGINAL ALBUQUERQUE TOWNSHIP

## NOTES

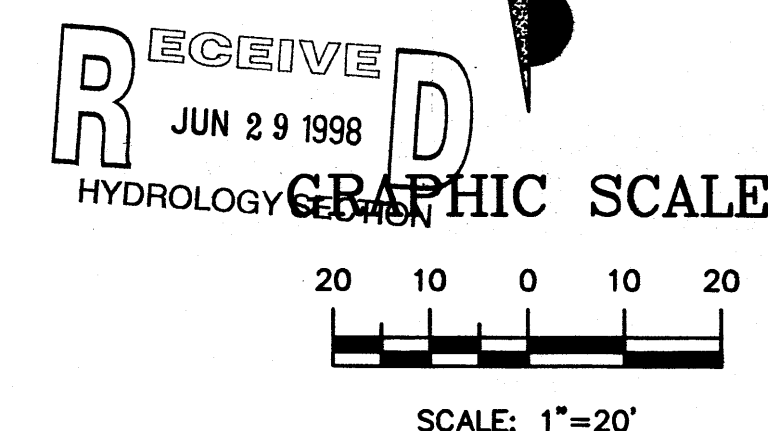
1. ALL SPOT ELEVATIONS PRESENT THE FLOWLINE ELEVATION UNLESS OTHERWISE NOTED

## PROJECT DATA

PROJECT DESCRIPTION:  
ADDITION TO ST. MARY'S MIDDLE SCHOOL  
PROJECT ADDRESS:  
224 7TH STREET, NW  
TOTAL ADDITION:  
1,340 S.F.

## LEGEND

- EXISTING FENCE
- EXISTING POWER LINES
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED GRADE
- EXISTING GRADE
- EXISTING MANHOLE



## SAINT MARY MIDDLE SCHOOL GRADING AND DRAINAGE PLAN

ENGINEER'S SEAL 		DRAWN BY SH.B DATE 6-27-98 9829GR.DWG
ADVANCED ENGINEERING and CONSULTING 10209 SNOWFLAKE CT., NW ALBUQUERQUE, NEW MEXICO 87114 (505)899-5570		SHEET # 1 JOB # 9841