

Project Data

A. LEGAL DESCRIPTION: The West One Hundred Feet (N. 100') of Lot numbered Seven (7) in Block numbered Fourteen (14) and the North Forty-three feet (N. 43') of the West One Hundred Feet (N. 100') of Lot numbered Eight (8) in Block numbered Fourteen (14) of HUNING'S HIGHLAND ADDITION to the City of Albuquerque, New Mexico, as the same are shown and designated on the Map of said Addition, filed in the Office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico, on May 12, 1987, in Plat Book D1, folio 14.

AND

The East Forty-two feet (E. 42') of Lot numbered Seven (7) in Block numbered Fourteen (14) and the East Forty-two feet (E. 42') of the North Forty-four feet (N. 44') of Lot numbered Eight (8) in Block numbered Fourteen (14) of HUNING'S HIGHLAND ADDITION, to the City of Albuquerque, New Mexico, as the same are shown and designated on the Map of said Addition filed in the Office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico on May 12, 1987, in Plat Book D1, folio 14.

AREAS:

TOTAL TRACT AREA:	(0.3041 Acres) 13,248 SF
BUILDING FOOTPRINT:	7,082 SF
HARD SURFACE AREA (patios, walkways, stairs, dumpster pad):	2,555 SF
LANDSCAPE AREA:	3,611 SF

B. LANDSCAPE AREA REQUIREMENTS:

NET LOT AREA (TOTAL TRACT-BLDG FOOTPRINT SF):	6,166 SF
LANDSCAPE REQUIRED (15%):	925 SF
LANDSCAPE PROVIDED:	3,611 SF

C. PROPOSED USE:

SU-2 for NCR Current Zoning	
SU-2 for SU-1 Proposed Zoning	
RESIDENTIAL GROSS SF:	19,346 SF
LIVE/WORK AREA GROSS SF:	1,850 SF
TOTAL GROSS SQUARE FOOTAGE:	21,246 SF

D. PARKING:

6 units @ 2 spaces each:	12 spaces
12 units @ 1.5 spaces each:	18 spaces
Total number of spaces required:	30 spaces

NOTE: Development Agreement between the City of Albuquerque, New Mexico and Paradigm 4 Company, L.L.C., a New Mexico Limited Liability Company. See Section 412. City Investments. Parking Garages shall accommodate not more than 525 parking spaces, the exact number to be determined by the Project Plan. There shall be thirty (30) parking spaces, including one h.c. space in the OAHS parking structure reserved for the Arno Lofts.

TOTAL PARKING PROVIDED 30 spaces in parking garage

F. HANDICAPPED PARKING:

H.C. parking required:	1 space
H.C. parking provided:	1 space in parking garage

G. BUILDING SETBACKS AND HEIGHT LIMITATIONS:

3 STORY, BRICK BUILDING	
Maximum Building Height:	41'-0"
Minimum Building Setback:	0'-0"
Arno Total Number of Dwelling Units:	18 units

Note: Pavement of the alley in accordance with city standards along the east side of this project is required. This work shall be completed prior to requesting certificate of occupancy approval.

Project # 1002115
Case Number: DEB # 02DEB-01833 (SAP)

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

Phil Davis
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
DATE: 12-18-02

Christina Sandoval
DESIGN & DEVELOPMENT - CIVIL
Parks & Recreation
DATE: 12/18/02

Roger A. Jara
PUBLIC WORKS, WATER UTILITIES DIVISION
DATE: 12/18/02

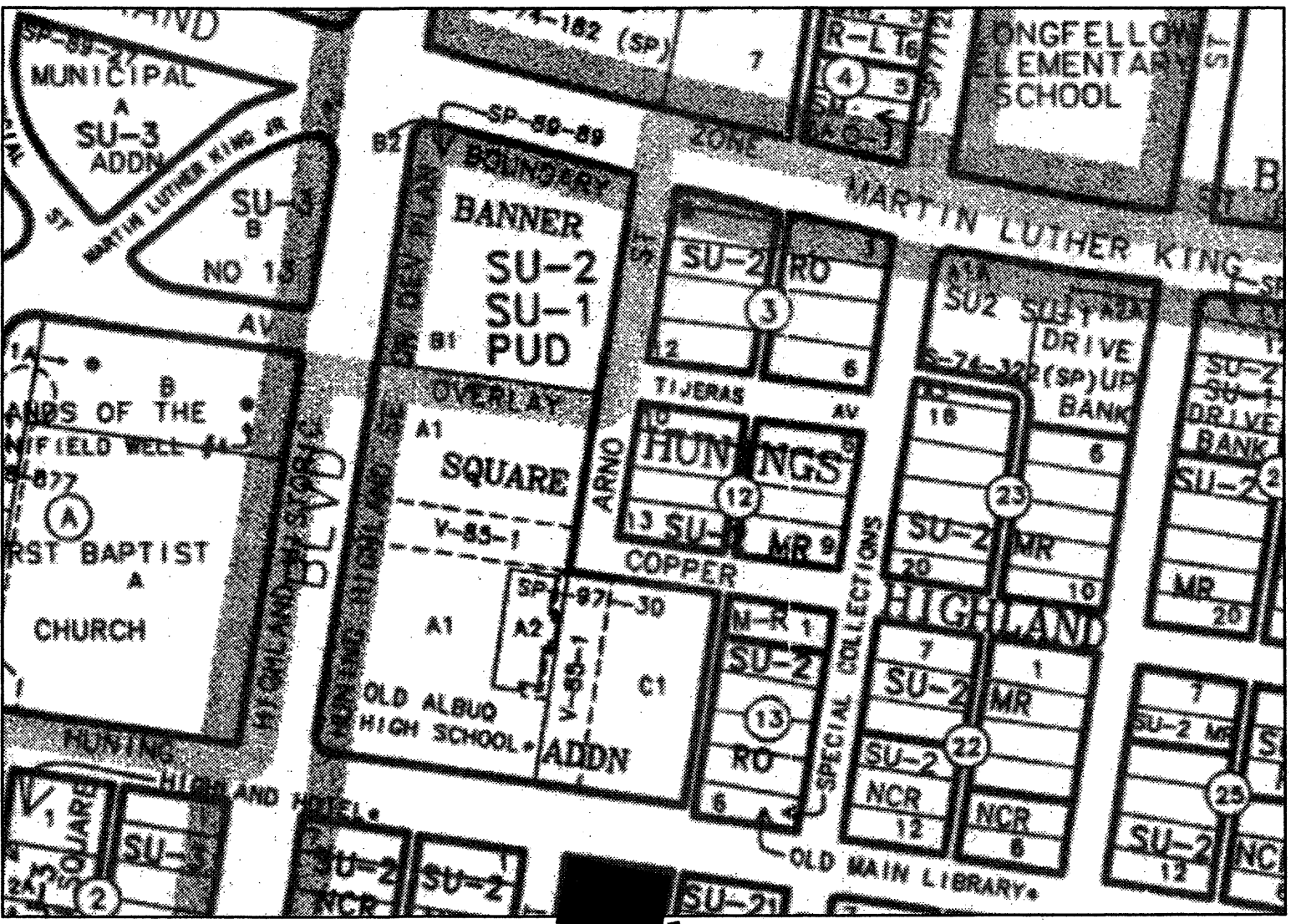
Phil Davis
CITY ENGINEER, ENGINEERING DIVISION/AMFCA
DATE: 2-26-03

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

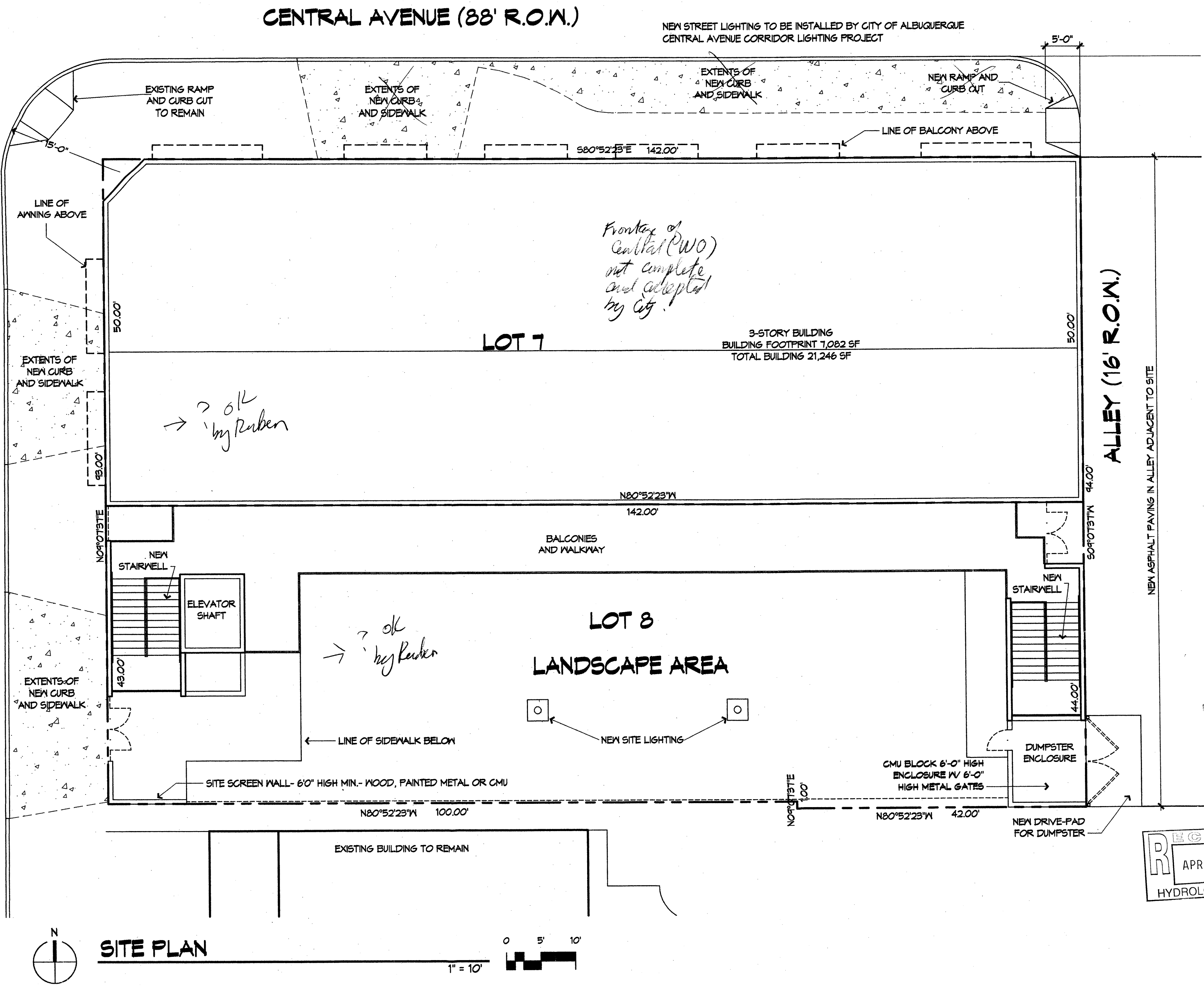
2/5/03
OK to foundation permit only
in process of
no further
approval
with
approval
from
DEB
City Engineer
Case Planner

Sheran Matson
CITY PLANNER, ALBUQUERQUE/BERNALILLO
COUNTY PLANNING DIVISION
DATE: 7/11/03

5-02
PLN2 (10706) 4/96 -> 5-02



SITE VICINITY MAP
ZONE ATLAS PAGE K-14-Z
NO SCALE



2 Site Development Plan
for Building Permit
Arno Lofts

Deker/Perich/Sabatini
architecture - interiors - planning - engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
10 October 2002
02083

ALBUQUERQUE
BUILDING & SAFETY
JUL 11 2003
U.B.C.
PLAN CHECK
SECTION

RECEIVED
APR 19 2004
HYDROLOGY SECTION

Project Data

A. LEGAL DESCRIPTION: The West One Hundred Feet (N. 100') of Lot numbered Seven (7) in Block numbered Fourteen (14) and the North Forty-three feet (N. 43') of the West One Hundred feet (N. 100') of Lot numbered Eight (8) in Block numbered Fourteen (14) of HUNING'S HIGHLAND ADDITION to the City of Albuquerque, New Mexico, as the same are shown and designated on the Map of said Addition, filed in the Office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico, on May 12, 1887, in Plat Book D1, folio 14.

AND

The East Forty-two feet (E. 42') of Lot numbered Seven (7) in Block numbered Fourteen (14) and the East Forty-two feet (E. 42') of the North Forty-four feet (N. 44') of Lot numbered Eight (8) in Block numbered Fourteen (14) of HUNING'S HIGHLAND ADDITION, to the City of Albuquerque, New Mexico, as the same are shown and designated on the Map of said Addition filed in the Office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico on May 12 1887, in Plat Book D1, folio 14.

AREAS:

TOTAL TRACT AREA:	(0.3041 Acres)	13,248 SF
BUILDING FOOTPRINT:		7,082 SF
HARD SURFACE AREA (patios, walkways, stairs, dumpster pad):		2,555 SF
LANDSCAPE AREA:		3,611 SF

B. LANDSCAPE AREA REQUIREMENTS:

NET LOT AREA (TOTAL TRACT-BLDG FOOTPRINT SF):	6,166 SF
LANDSCAPE REQUIRED (15%):	925 SF
LANDSCAPE PROVIDED:	3,611 SF

C. PROPOSED USE:

SU-2 for NCR Current Zoning	
SU-2 for SU-1 Proposed Zoning	
RESIDENTIAL GROSS SF:	19,396 SF
LIVE/WORK AREA GROSS SF:	1,850 SF
TOTAL GROSS SQUARE FOOTAGE:	21,246 SF

D. PARKING:

6 units @ 2 spaces each:	12 spaces
12 units @ 1.5 spaces each:	18 spaces
Total number of spaces required:	30 spaces

NOTE: Development Agreement between the City of Albuquerque, New Mexico and Paradigm & Company, L.L.C., a New Mexico Limited Liability Company. See Section 412. City Investments. Parking Garages shall accommodate not more than 525 parking spaces, the exact number to be determined by the Project Plan. There shall be thirty (30) parking spaces, including one h.c. space in the OAH5 parking structure reserved for the Arno Lofts.

TOTAL PARKING PROVIDED 30 spaces in parking garage

F. HANDICAPPED PARKING:

H.C. parking required:	1 space
H.C. parking provided:	1 space in parking garage

G. BUILDING SETBACKS AND HEIGHT LIMITATIONS:

3 STORY, BRICK BUILDING	
Maximum Building Height:	41'-0"
Minimum Building Setback:	0'-0"
Arno Total Number of Dwelling Units:	18 units

Note: Pavement of the alley in accordance with city standards along the east side of this project is required. This work shall be completed prior to requesting certificate of occupancy approval.

ARNO STREET (60' R.O.W.)

Project # 1002115
Case Number: DRB # 02DRB-01833 (SRP)

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

Phil Davis
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
DATE: 12-18-02

Christina Sandora
DESIGN & DEVELOPMENT, CITY OF ALBUQUERQUE
DATE: 12/18/02

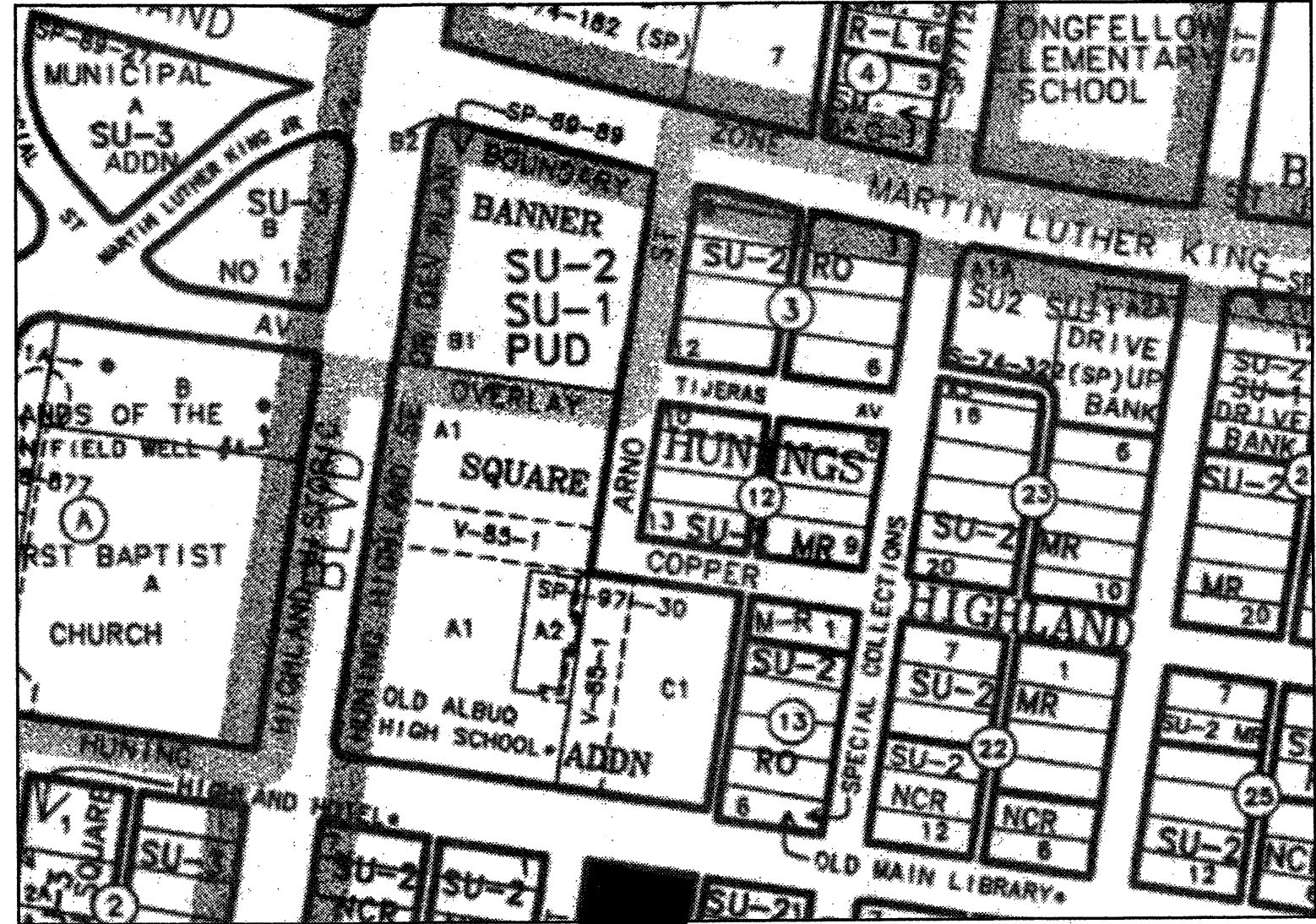
Roger A. Hines
PUBLIC WORKS, WATER UTILITIES DIVISION
DATE: 12/18/02

Phil Davis
CITY ENGINEER, ENGINEERING DIVISION/AMAFCA
DATE: 2-06-03

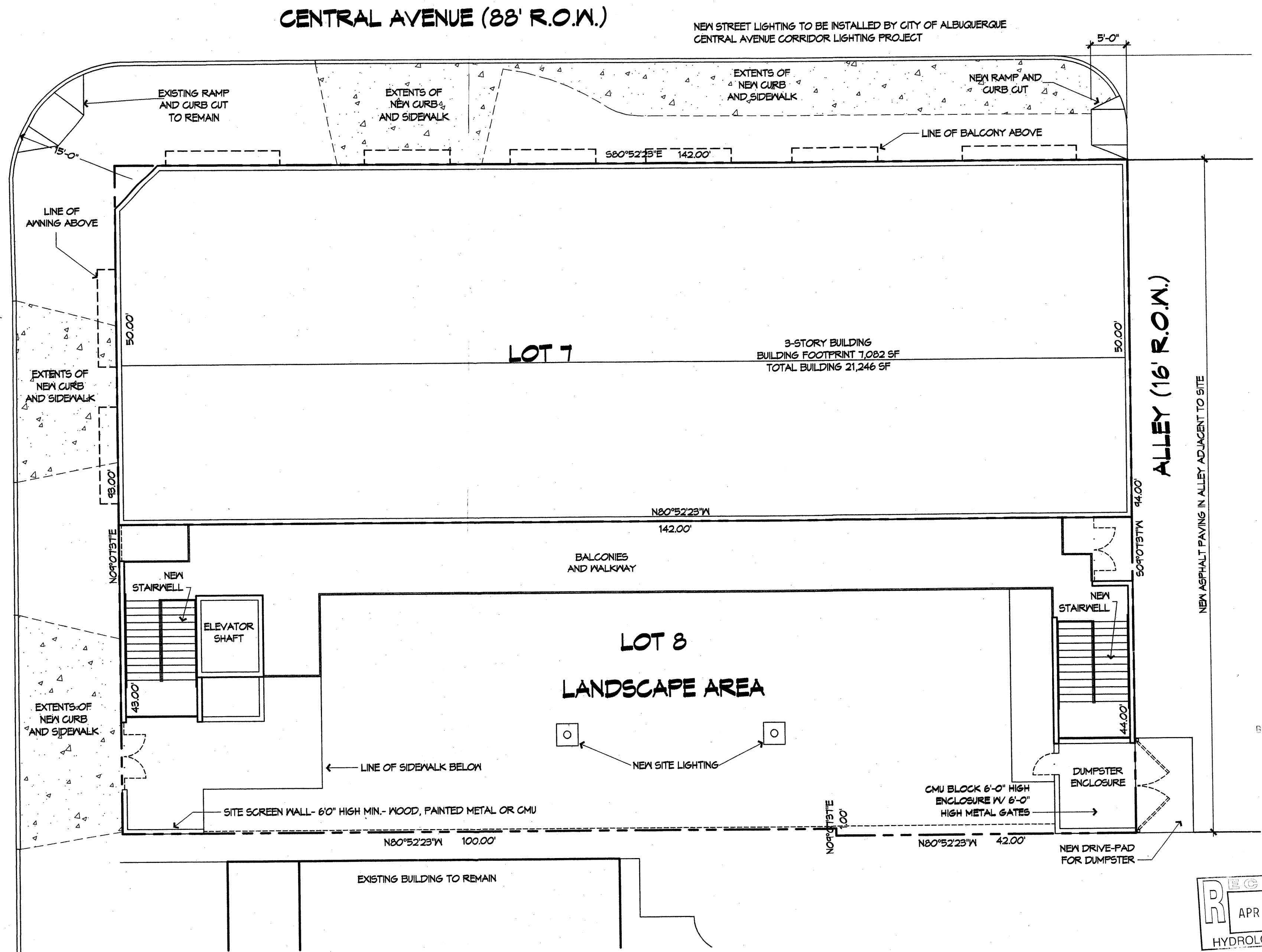
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

Sherran Matson
CITY PLANNER, ALBUQUERQUE/BERNALILLO
COUNTY PLANNING DIVISION
DATE: 7/14/03

Sherran Matson
CITY PLANNER, ALBUQUERQUE/BERNALILLO
COUNTY PLANNING DIVISION
DATE: 7/14/03



SITE VICINITY MAP
ZONE ATLAS PAGE K-14-Z
NO SCALE



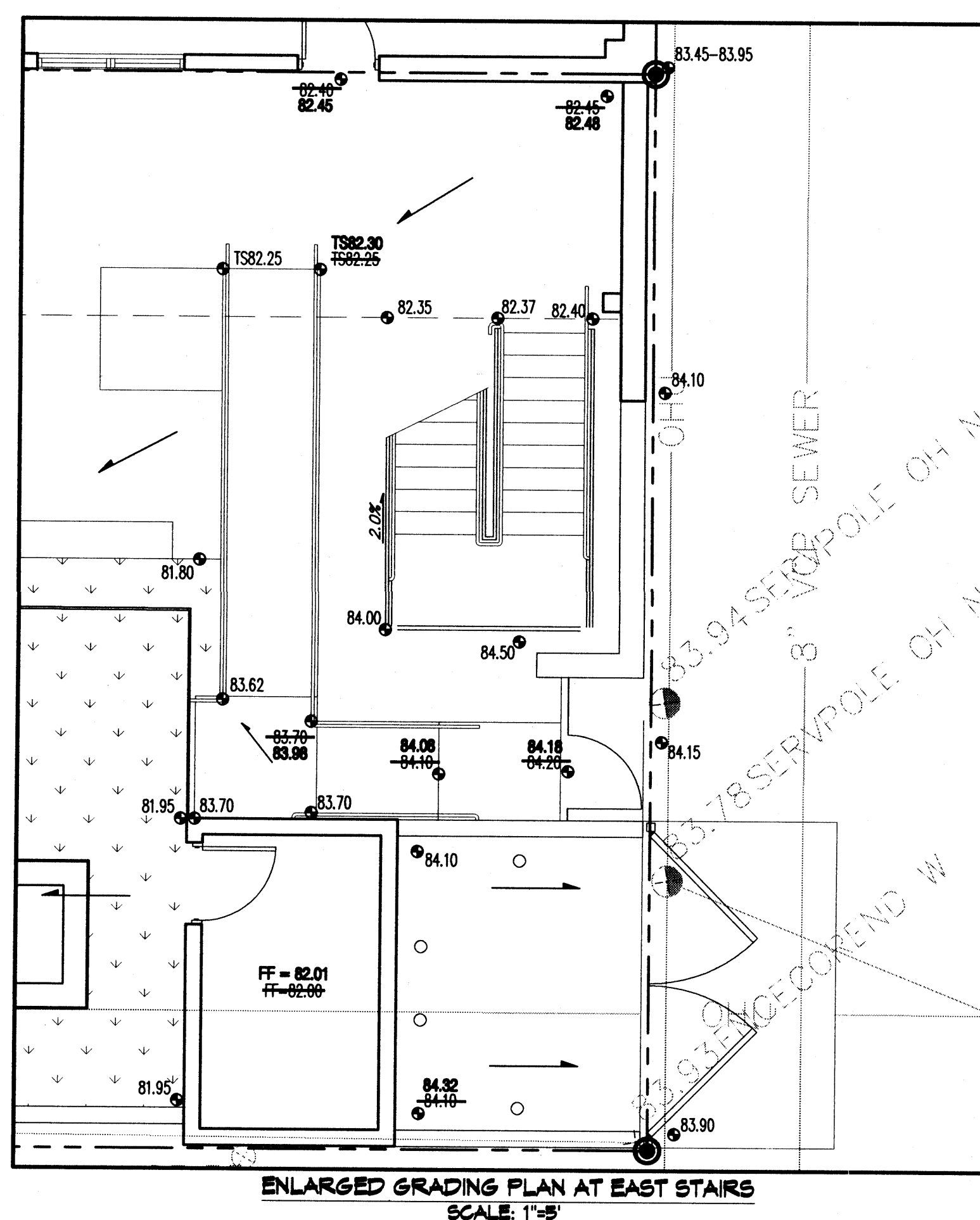
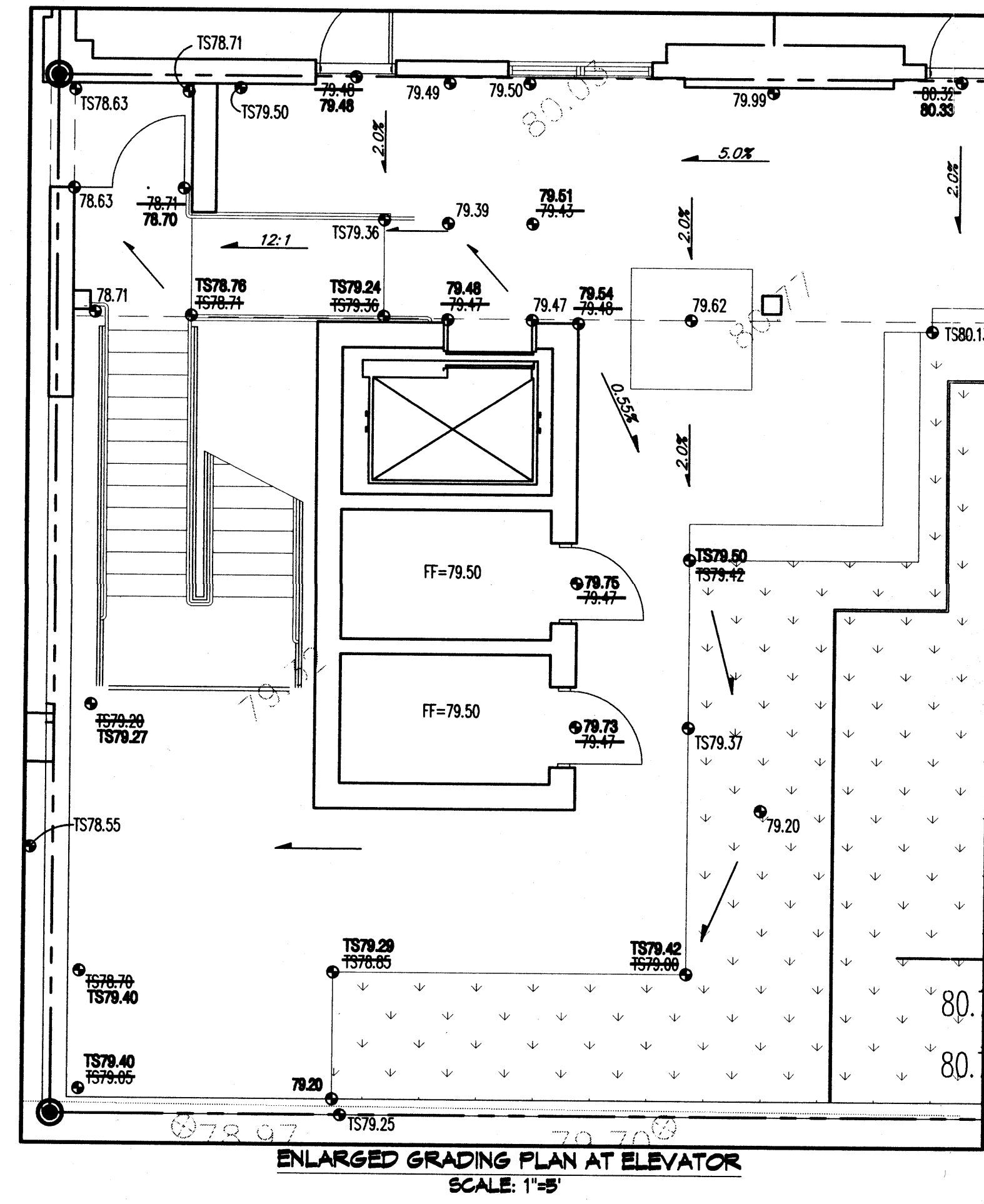
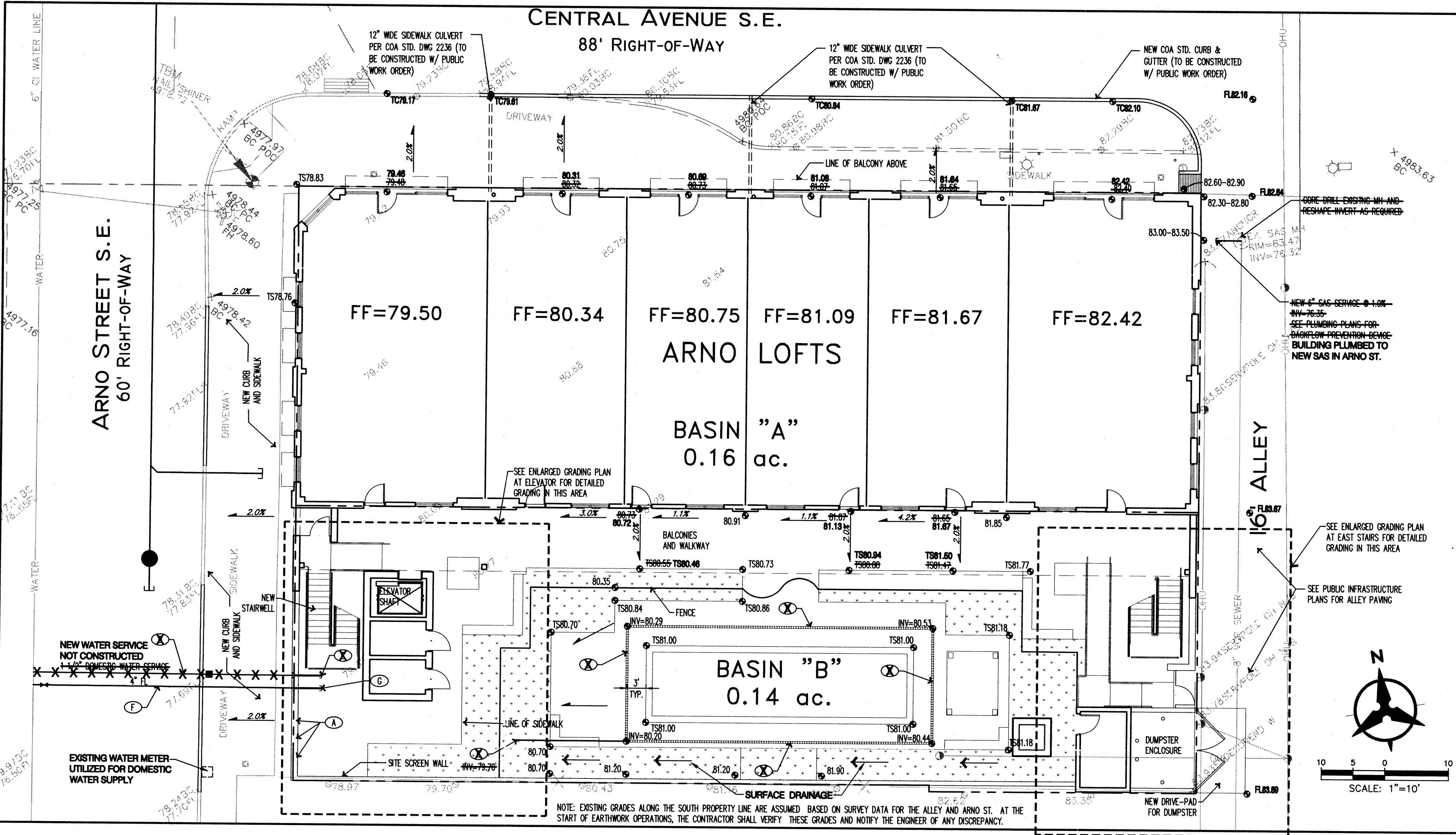
SITE PLAN
1" = 10'

Site Development Plan
for Building Permit
Arno Lofts

ALBUQUERQUE
BUILDING & SAFETY
JUL 11 2003
U.B.C.
PLAN CHECK
SECTION

RECEIVED
APR 19 2004
HYDROLOGY SECTION

Deker/Perich/Sabatini
architecture - interiors - planning - engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
10 October 2002
02083



GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SLOWING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SLOWING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SLOWING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING SWPPP PREPARATION, IMPLEMENTATION AND MAINTENANCE IF REQUIRED FOR COMPLIANCE WITH NPDES REQUIREMENTS.

LEGAL DESCRIPTION

Lot 7 & Por. of Lot 8, Block 14
Huning's Highland Addition

DRAINAGE CALCULATIONS

EXISTING CONDITIONS:

ASSUME 80% D, 5% C, 5% B
0.3 AC * 4.5cfs/AC = 1.35cfs

PROPOSED CONDITIONS:

Basin "A" (100% D)
0.163 AC * 4.7cfs/AC = 0.77cfs

Basin "B" (50% D, 25% C, 25% B)
0.141 AC * 3.71cfs/AC = 0.52cfs

TOTAL PROPOSED = 1.29cfs

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a final grading and drainage plan for the "Arno Lofts" project. This submittal is made in order to support building permit approval.

II. SITE LOCATION AND EXISTING CONDITIONS

The project site is located on the southeast corner of Central and Arno. Prior to demolitions work, the majority of the site contained the Zo Molar Lodge and associated facilities including parking. The site currently drains to the west into Arno and Central. The total peak discharge from the site in the 100 year storm is approximately 1.35cfs. Site slopes are 2% to 3%. The site is located within zone atlas map # K-14, and hydrologic zone 2.

III. PROPOSED HYDROLOGIC CONDITIONS

The proposed project is to consist of 18 Loft Apartments and a small courtyard area. The site has been divided into two basins for proposed conditions. Basin A consists solely of the main portion of the building (everything from the south edge of the building to the north property line). Basin A is 100% impervious area and generates a peak discharge of 0.77cfs in the 100 year storm. This flow will be discharged to Central Ave via roof drain lines to be daylighted through the face of the curb.

Proposed Basin B consists of the balconies, stair towers, sidewalks and courtyard area behind the building (everything from the south edge of the building to the south property line). Basin B will discharge 0.52cfs to Arno via surface flow during the 100 year storm event. Basin B is 50% impervious, and 25% each of land treatments B & C.

The total discharge to adjacent public streets under proposed conditions is slightly less than existing peak flows.

IV. OFFSITE CONSIDERATIONS

There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly less than existing.

V. CONCLUSION

The improvements proposed with this final grading and drainage plan are capable of safely passing the 100 year storm and meet city requirements. With this submittal, we are seeking city hydrology approval for building permit.

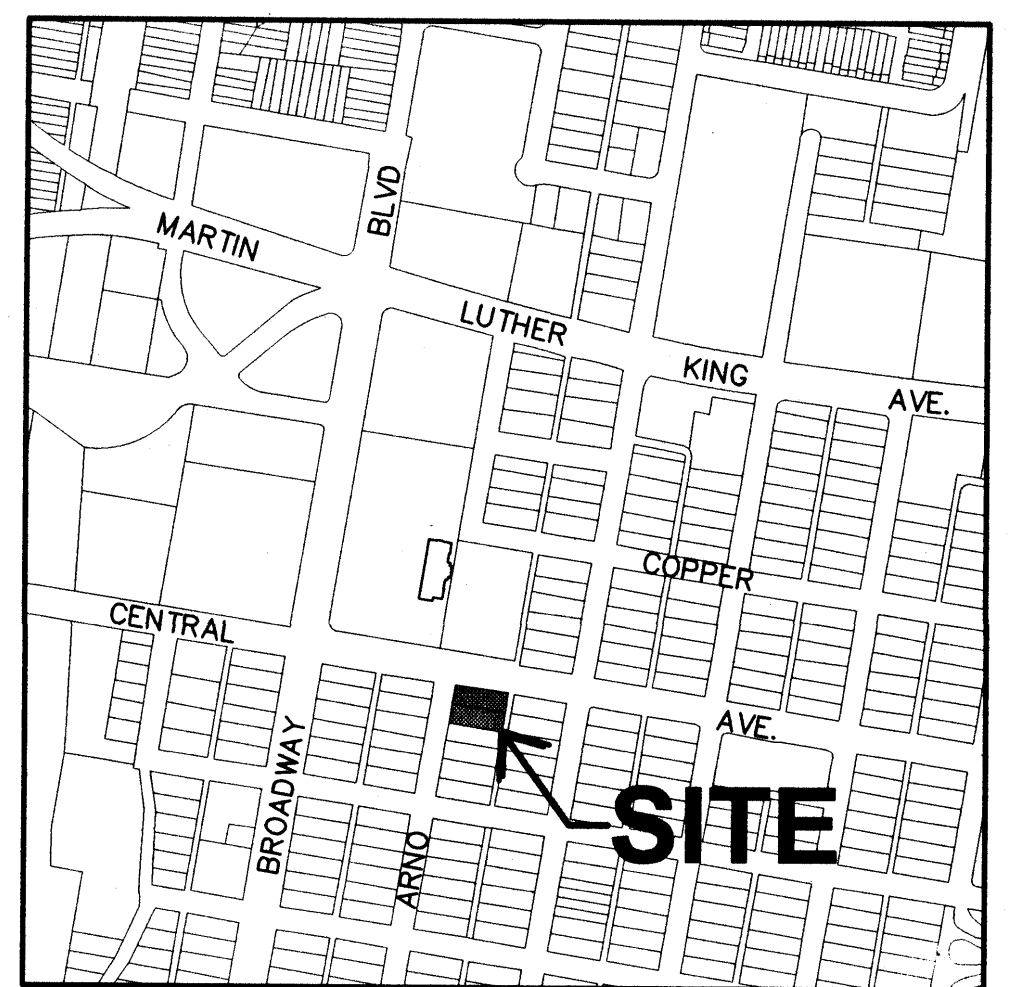
GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCORPORATED TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAYMENT INSTALLATION, AS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul, TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAID ELEVATION SHALL BE +/- 0.05' FROM BUILDING ELEVATION.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

- A. PROVIDE TURNED BLOCKS IN BASE OF WALL.
- B. TRENCH DRAIN TO 600-34 SYSTEM SHALL BE CAPABLE OF PASSING 0.5000 FROM THE EAST END TO THE POINT WHERE THE PIPE DRAINS INTO (SEE KEYED NOTE C). CONSTRUCTION SHALL SUBMIT SHOP DRAWINGS & CUT SHEETS FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION. SEE PLAN FOR TRENCH INVERT ELEVATIONS.
- C. DAYLIGHT 4" STORM DRAIN LINE. NOT CONSTRUCTED.
- D. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF NEW 1 1/2" DOMESTIC WATER SERVICE.
- E. EXTEND 1 1/2" WATER SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- F. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF NEW 4" FIRE SERVICE.
- G. EXTEND 4" FIRE SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.

BASIS OF ELEVATION for this plan is ACS Control Station 6-K14(R) which is located in the sidewalk in the northeast quadrant of the intersection of Central Avenue and Broadway Boulevard. The mean sea level elevation of said control station = 4968.765.



VICINITY MAP
ZONE ATLAS PAGE K-14-Z

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PIPS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE UPVMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, UTILITY EXPANSION CHARGES, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR PROKRATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING UTILITIES AND OTHER POSSIBLE OBSTRUCTIONS PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

DRAINAGE CERTIFICATION

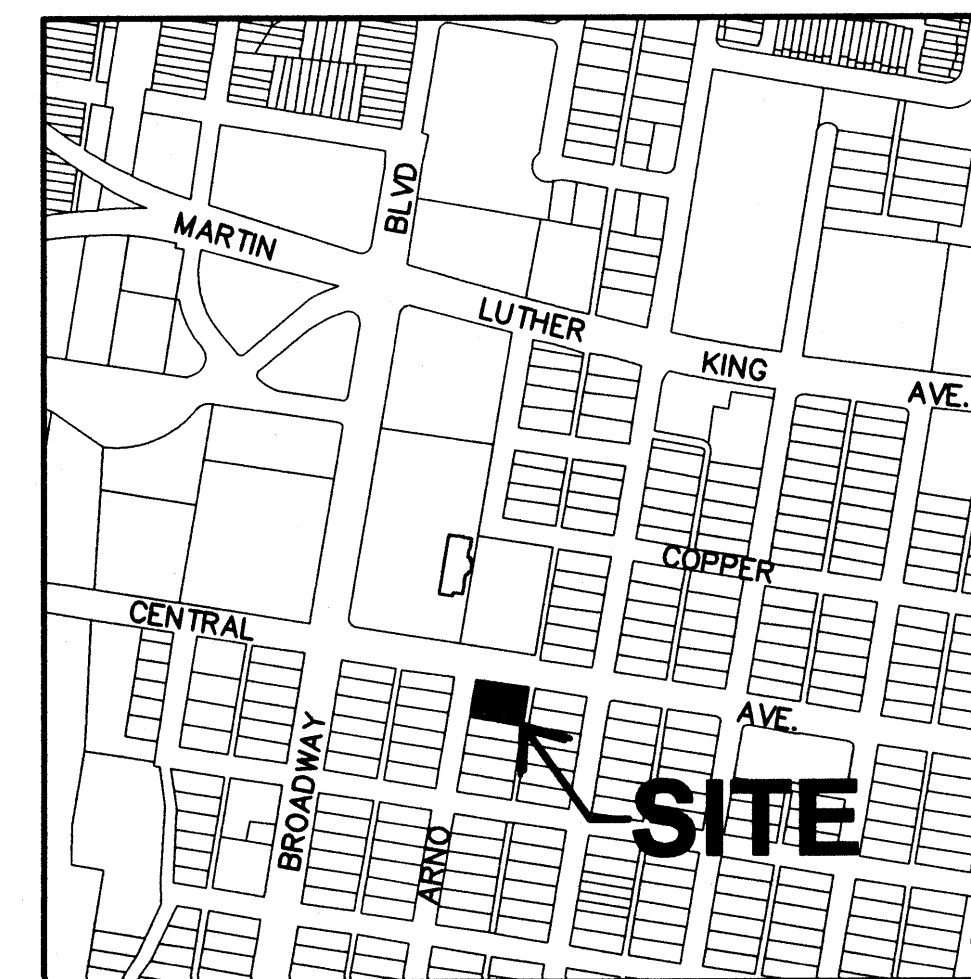
I, BRUCE STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/28/03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALAN BENHAM, NMPS 15700, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 04/06/04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce Stidworthy 4/15/04
BRUCE STIDWORTHY, NMPE 14523
DATE 04/15/04
AS BUILT SPOT ELEVATION

Bohannon & Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



VICINITY MAP
ZONE ATLAS PAGE K-14-Z

LEGAL DESCRIPTION

Lot 7 & Por. of Lot 8, Block 14
Hunting's Highland Addition

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a final grading and drainage plan for the "Arno Lofts" project. This submittal is made in order to support building permit approval.

II. SITE LOCATION AND EXISTING CONDITIONS

The project site is located on the southeast corner of Central and Arno. Prior to demolitions work, the majority of the site contained the Zia Motor Lodge and associated facilities including parking. The site currently drains to the west and to the north into Arno and Central. The total peak discharge from the site in the 100 year storm is approximately 1.35cfs. Site slopes are 2% to 3%. The site is located within zone atlas map # K-14, and hydrologic zone 2.

III. PROPOSED HYDROLOGIC CONDITIONS

The proposed project is to consist of 18 Loft Apartments and a small courtyard area. The site has been divided into two basins for proposed conditions. Basin A consists solely of the main portion of the building (everything from the south edge of the building to the north property line). Basin A is 100% impervious area and generates a peak discharge of 0.77cfs in the 100 year storm. This flow will be discharged to Central Ave via roof drain lines to be daylighted through the face of the curb.

Proposed Basin B consists of the balconies, stair towers, sidewalks and courtyard area behind the building (everything from the south edge of the building to the south property line). Basin B will discharge 0.52cfs to Arno via surface flow during the 100 year storm event. Basin B is 50% impervious, and 25% each of land treatments B & C.

The total discharge to adjacent public streets under proposed conditions is slightly less than existing peak flows.

IV. OFFSITE CONSIDERATIONS

There are no upstream off-site flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly less than existing.

V. CONCLUSION

The improvements proposed with this final grading and drainage plan are capable of safely passing the 100 year storm and meet city requirements. With this submittal, we are seeking city hydrology approval for building permit.

DRAINAGE CALCULATIONS

EXISTING CONDITIONS:

ASSUME 90% D, 5% C, 5% B
0.3 AC * 4.5cfs/ac = 1.35cfs

PROPOSED CONDITIONS:

BASIN "A" (100% D)
0.163 AC * 4.7cfs/ac = 0.77cfs
BASIN "B" (50% D, 25% C, 25% B)
0.141 AC * 3.71cfs/ac = 0.52cfs

TOTAL PROPOSED = 1.29cfs

NOTE:
EXISTING GRADES ALONG THE SOUTH PROPERTY LINE ARE ASSUMED
BASED ON SURVEY DATA FOR THE ALLEY AND ARNO ST. AT THE
START OF EARTHWORK OPERATIONS. THE CONTRACTOR SHALL VERIFY
THESE GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCY.

BASIS OF ELEVATION for this plan is ACS Control Station 6-K14(R)
which is located in the sidewalk in the northeast quadrant of the
intersection of Central Avenue and Broadway Boulevard.
The mean sea level elevation of said control station = 4968.765.

Bohannon & Huston

Courtyard 1 7500 Jefferson St NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

REVISIONS

△
△
△
△

DRAWN BY

RVS

REVIEWED BY

BJS

DATE

01-21-08

PROJECT NO.

DRAWING NAME

ARNO LOFTS

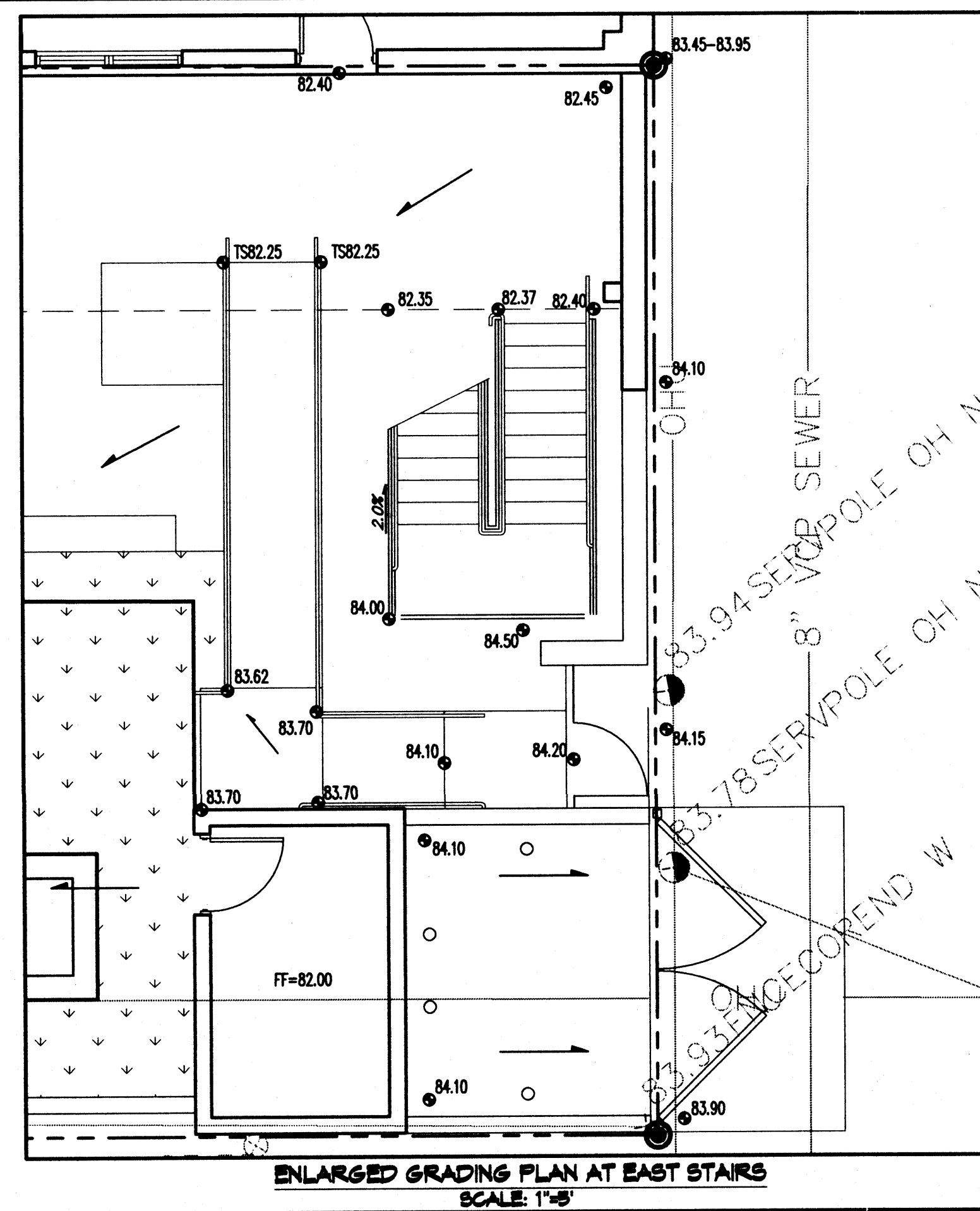
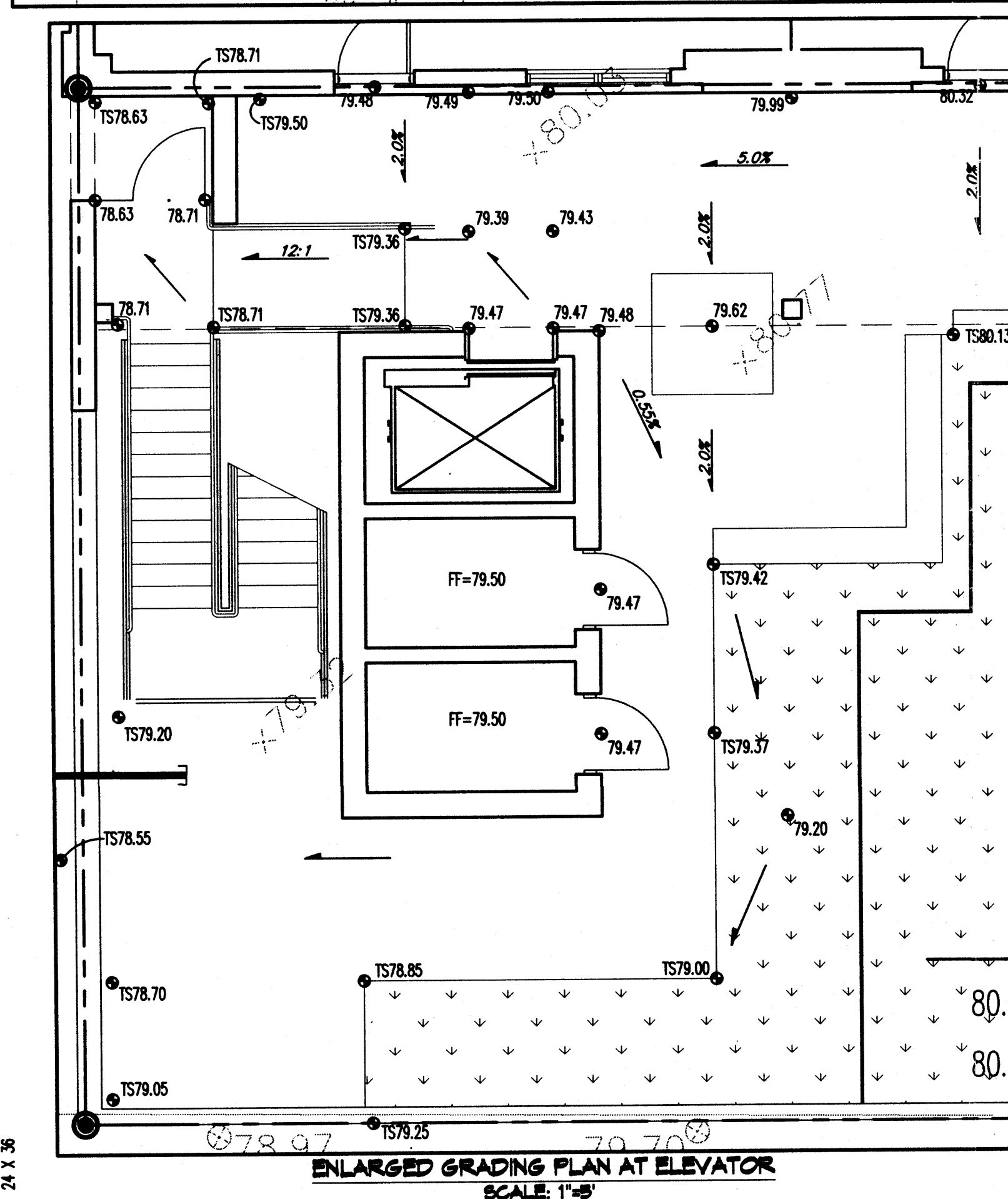
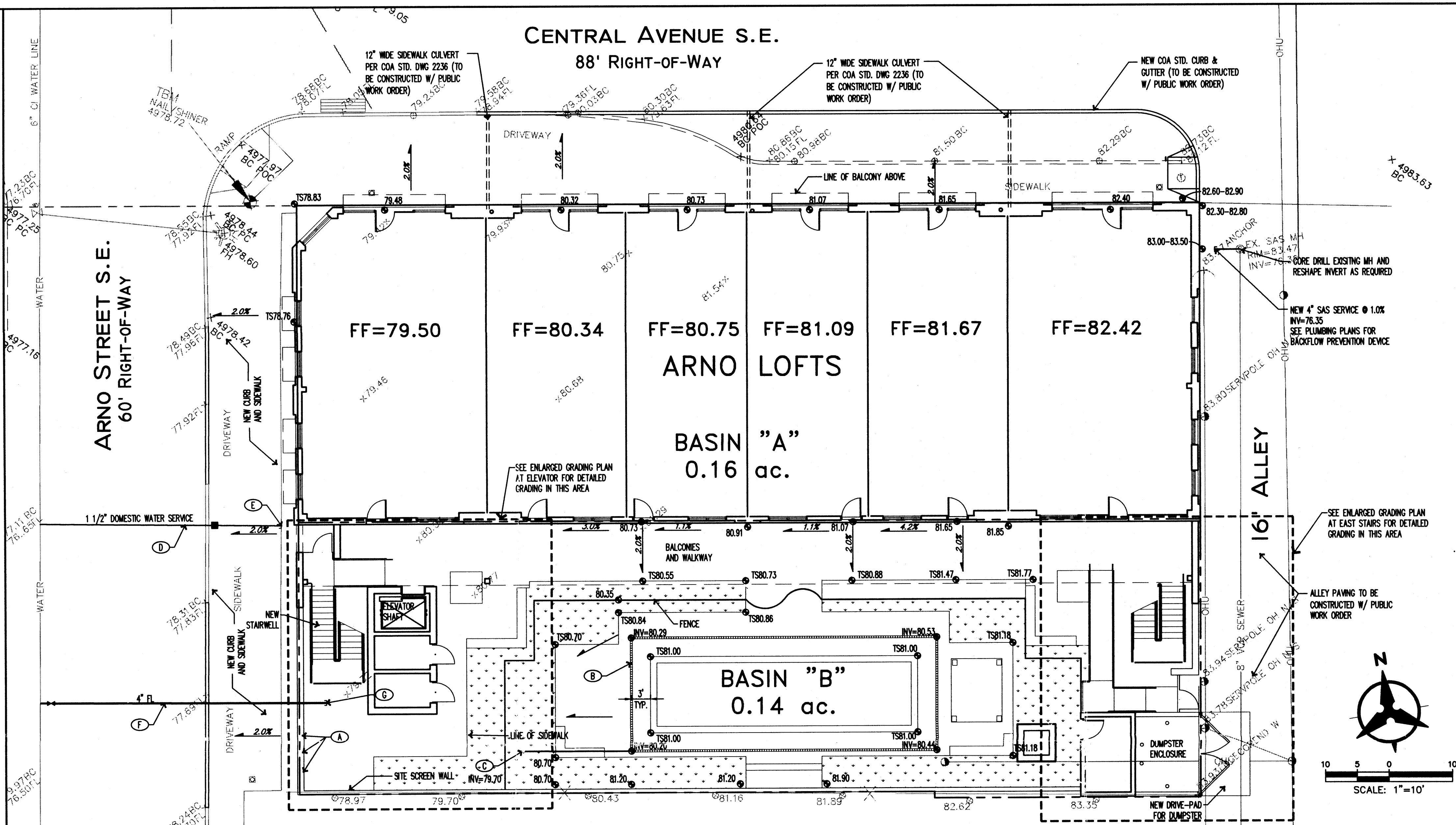
GRADING,

DRAINAGE, &

UTILITY PLAN

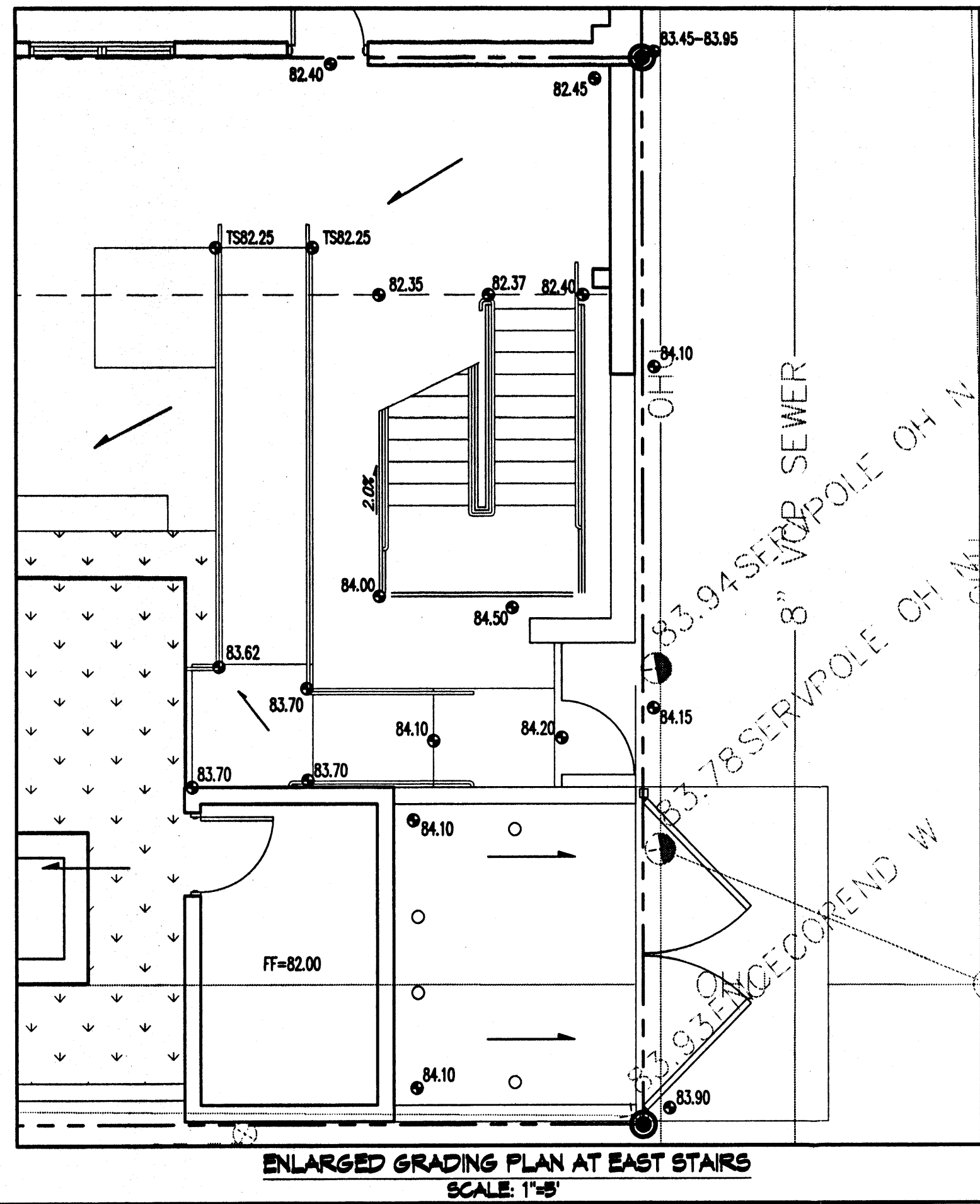
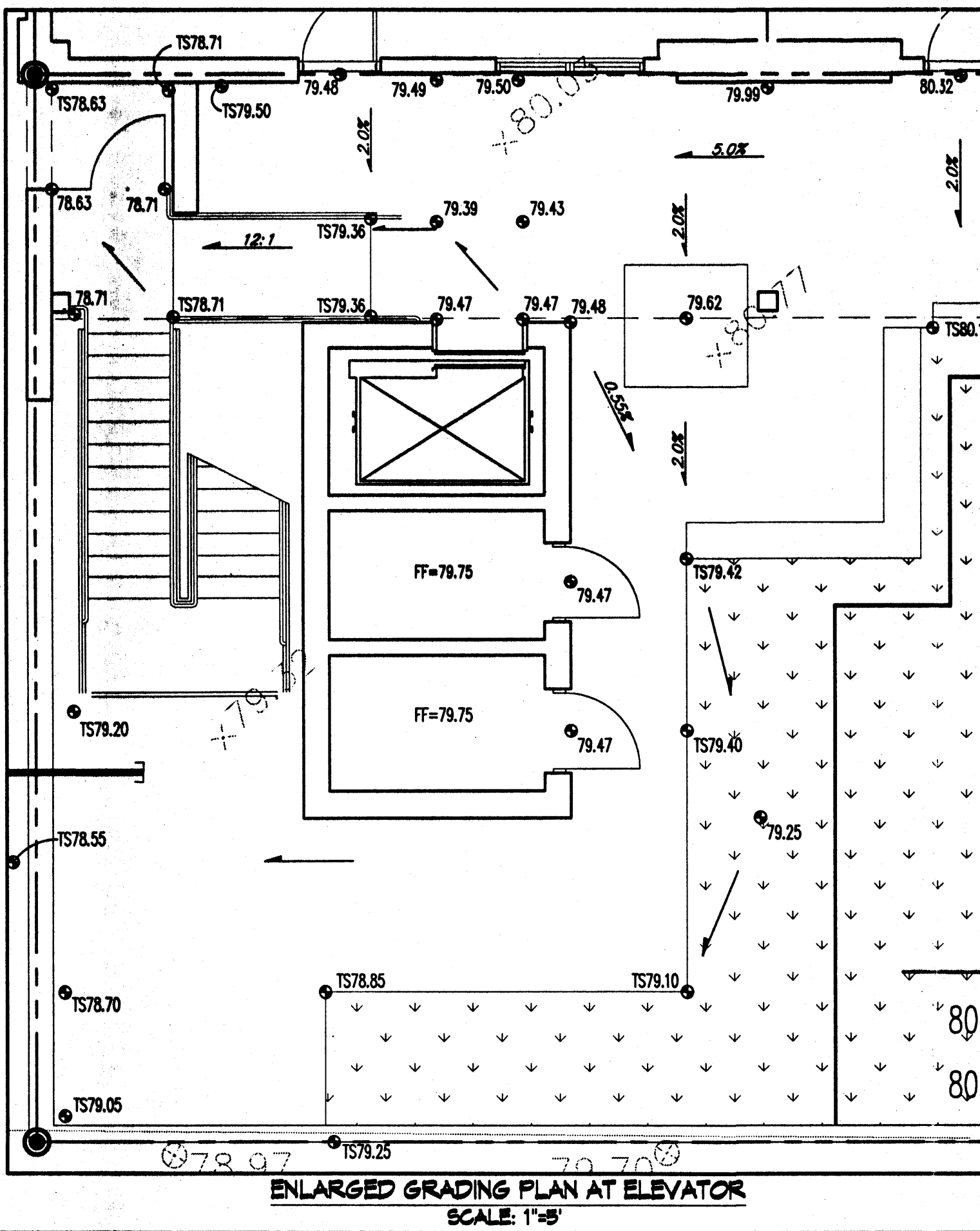
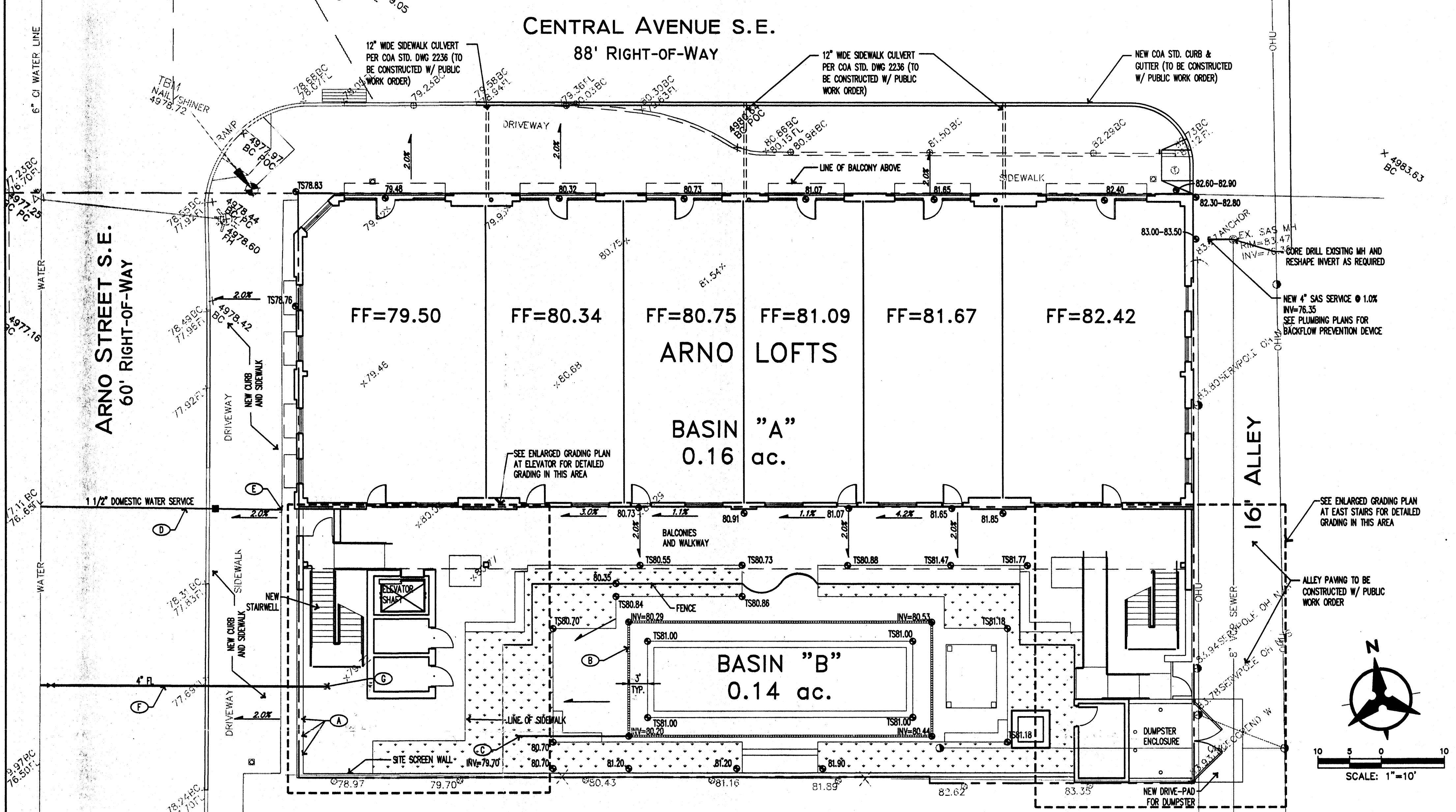
SHEET NO.

C100
OF



KEYED NOTES

- PROVIDE TURNED BLOCKS IN BASE OF WALL
- TRENCH DRAIN, TO=80.94, SYSTEM SHALL BE CAPABLE OF PASSING 0.39CFS FROM THE EAST END TO THE POINT WHERE THE PIPE DAYLIGHTS (SEE KEYED NOTE "C"). CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & CUT SHEETS FOR REVIEW & APPROVAL PRIOR TO ORDERING. SEE PLAN FOR TRENCH INVERT ELEV.
- DAYLIGHT 4" STORM DRAIN LINE
- CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF NEW 1 1/2" DOMESTIC WATER SERVICE
- EXTEND 1 1/2" WATER SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
- EXTEND 4" FIRE SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
- EXTEND 1 1/2" WATER SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION



- KEYED NOTES**
- PROVIDE TURNED BLOCKS IN BASE OF WALL
 - TRENCH DRAIN, TO=80.94, SYSTEM SHALL BE CAPABLE OF PASSING 0.39CFS FROM THE EAST END TO THE POINT WHERE THE PIPE DAYLIGHTS (SEE KEYED NOTE "C"). CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & CUT SHEETS FOR REVIEW & APPROVAL PRIOR TO ORDERING. SEE PLAN FOR TRENCH INVERT ELEV.
 - DAYLIGHT 4" STORM DRAIN LINE
 - CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF NEW 1 1/2" DOMESTIC WATER SERVICE
 - EXTEND 1 1/2" WATER SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
 - EXTEND 4" FIRE SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
 - EXTEND 1 1/2" WATER SERVICE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION

NOTE:
EXISTING GRADES ALONG THE SOUTH PROPERTY LINE ARE ASSUMED
BASED ON SURVEY DATA FOR THE ALLEY AND ARNO ST. AT THE
START OF EARTHWORK OPERATIONS, THE CONTRACTOR SHALL VERIFY
THESE GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCY.

BASIS OF ELEVATION for this plan is ACS Control Station 6-K14(R)
which is located in the sidewalk in the northeast quadrant of the
intersection of Central Avenue and Broadway Boulevard.
The mean sea level elevation of said control station = 4968.765.

Bohannon & Huston
Courtney | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



LEGAL DESCRIPTION
Lot 7 & Por. of Lot 8, Block 14
Huning's Highland Addition

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submittal is to present a final grading and drainage plan for the "Arno Lofts" project. This submittal is made in order to support building permit approval.

II. SITE LOCATION AND EXISTING CONDITIONS
The project site is located on the southeast corner of Central and Arno. Prior to demolitions work, the majority of the site contained the Zia Motor Lodge and associated facilities including parking. The site currently drains to the west and to the north into Arno and Central. The total peak discharge from the site in the 100 year storm is approximately 1.35cfs. Site slopes are 2% to 3%. The site is located within zone atlas map # K-14, and hydrologic zone 2.

III. PROPOSED HYDROLOGIC CONDITIONS
The proposed project is to consist of 18 Loft Apartments and a small courtyard area. The site has been divided into two basins for proposed conditions. Basin A consists solely of the main portion of the building (everything from the south edge of the building to the north property line). Basin B is 100% impervious area and generates a peak discharge of 0.77cfs in the 100 year storm. This flow will be discharged to Central Ave via roof drain lines to be daylighted through the face of the curb.

Proposed Basin B consists of the balconies, stair towers, sidewalks and courtyard area behind the building (everything from the south edge of the building to the south property line). Basin B will discharge 0.52cfs to Arno via surface flow during the 100 year storm event. Basin B is 50% impervious, and 25% each of land treatments B & C.

The total discharge to adjacent public streets under proposed conditions is slightly less than existing peak flows.

IV. OFFSITE CONSIDERATIONS
There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly less than existing.

V. CONCLUSION
The improvements proposed with this final grading and drainage plan are capable of safely passing the 100 year storm and meet city requirements. With this submittal, we are seeking city hydrology approval for building permit.

DRAINAGE CALCULATIONS

EXISTING CONDITIONS:
ASSUME 90% D, 5% C, 5% B
0.3 AC * 4.5cfs/ac = 1.35cfs

PROPOSED CONDITIONS:
BASIN "A" (100% D)
0.163 AC * 4.7cfs/ac = 0.77cfs

BASIN "B" (50% D, 25% C, 25% B)
0.141 AC * 3.71cfs/ac = 0.52cfs

TOTAL PROPOSED = 1.29cfs

*Verbal
No on Building Permit.*

Dekker Perich Sabatini
interiors planning engineering
6801 Jefferson NE Suite 100 Albuquerque, NM 87109
505 761-9700 fax 761-4222 dps@dpsabq.com
ARCHITECT

ENGINEER
Professional Engineer Seal: Bruce J. Stidworthy, State of New Mexico, No. 14883, Exp. 12/31/2012

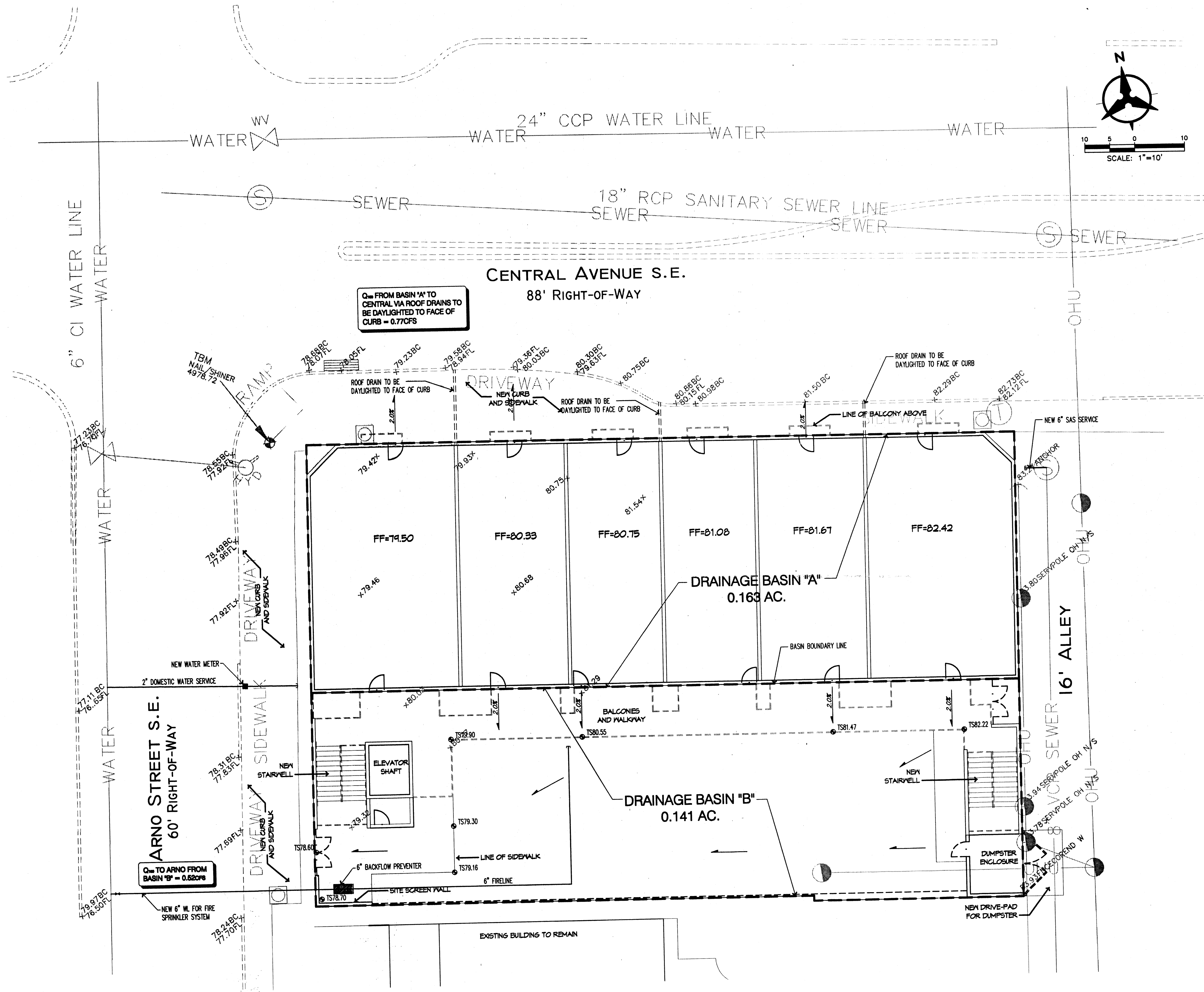
DESIGN DEVELOPMENT

New Lofts At Albuquerque High
Albuquerque, New Mexico

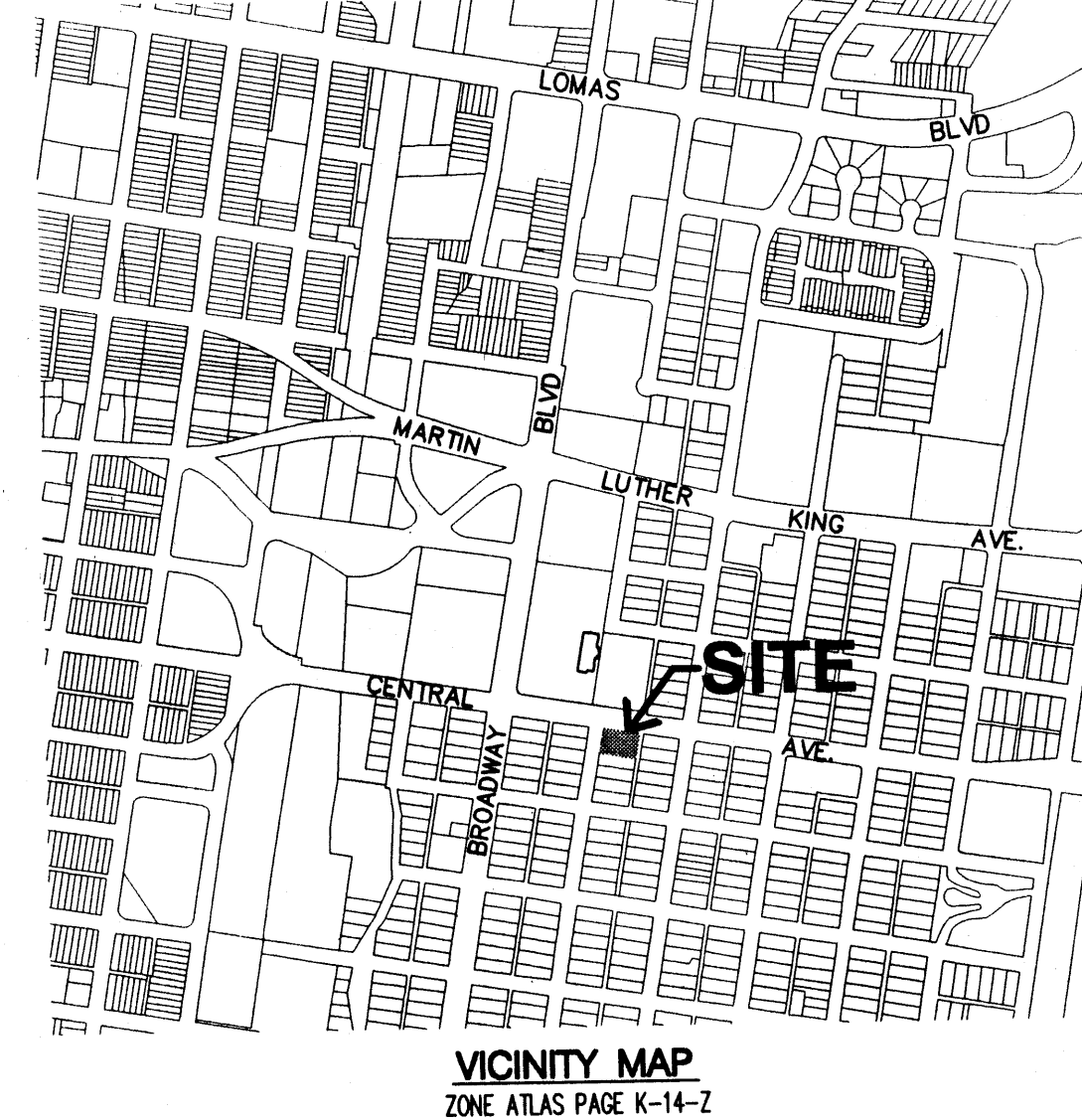
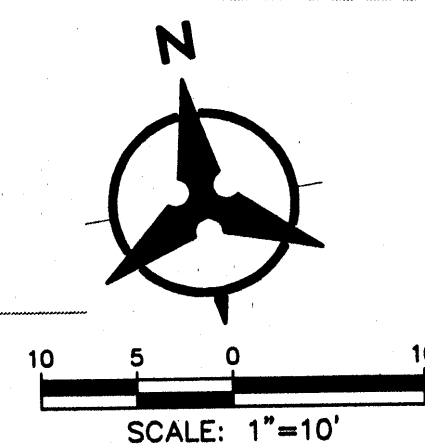
REVISIONS	
△	
△	
△	
△	
DRAWN BY: RMB	
REVIEWED BY: EJS	
DATE: 01-21-08	
PROJECT NO.	
DRAWING NAME	
ARNO LOFTS GRADING, DRAINAGE, & UTILITY PLAN	

SHEET NO. **C100**
OF

PLANNED BY: BOHANNAN & HUSTON, INC.
January 21, 2008 - 11:58am
24 X 36



CONCEPTUAL GRADING, DRAINAGE & UTILITIES PLAN
1" = 10'



VICINITY MAP
ZONE ATLAS PAGE K-14-Z

LEGAL DESCRIPTION

Lot 7 & Por. of Lot 8, Block 14
Huning's Highland Addition

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a conceptual grading and drainage plan for the "Arno Lofts" project. This submittal is made in order to support EPC & DRB approvals for the site plan and plot.

II. SITE LOCATION AND EXISTING CONDITIONS

The project site is located on the southeast corner of Central and Arno. In its current condition, the majority of the site contains the Zia Motor Lodge and associated facilities including parking. The site currently drains to the west and to the north into Arno and Central. The total peak discharge from the site in the 100 year storm is approximately 1.35cfs. Site slopes are 2% to 3%. The site is located within zone atlas map # K-14, and hydrologic zone 2.

III. PROPOSED HYDROLOGIC CONDITIONS

The proposed project is to consist of 18 Loft Apartments and a small courtyard area. The site has been divided into two basins for proposed conditions. Basin A consists solely of the main portion of the building. Basin A is 100% impervious area and generates a peak discharge of 0.77cfs in the 100 year storm. This flow will be discharged to Central Ave via roof drain lines to be daylighted through the face of the curb.

Proposed Basin B consists of the balconies, stair towers, sidewalks and courtyard area behind the building. Basin B will discharge 0.52cfs to Arno via surface flow during the 100 year storm event. Basin B is 50% impervious, and 25% each of land treatments B & C.

The total discharge to adjacent public streets under proposed conditions is slightly less than existing peak flows.

IV. OFFSITE CONSIDERATIONS

There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly less than existing.

V. CONCLUSION

This conceptual grading and drainage plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal, we are seeking city hydrology approval for site plan and plot.

DRAINAGE CALCULATIONS

EXISTING CONDITIONS:

ASSUME 90% D, 5% C, 5% B
0.3 AC * 4.5cfs/AC = 1.35cfs

PROPOSED CONDITIONS:

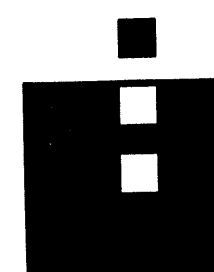
BASIN "A" (100% D)
0.163 AC * 4.7cfs/AC = 0.77cfs

BASIN "B" (50% D, 25% C, 25% B)
0.141 AC * 3.7cfs/AC = 0.52cfs

TOTAL PROPOSED = 1.29cfs

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES



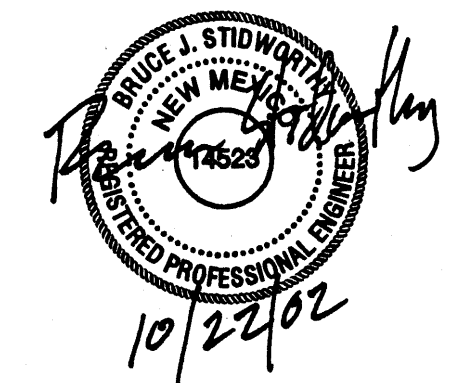
Dekker/Perich/Sabatini

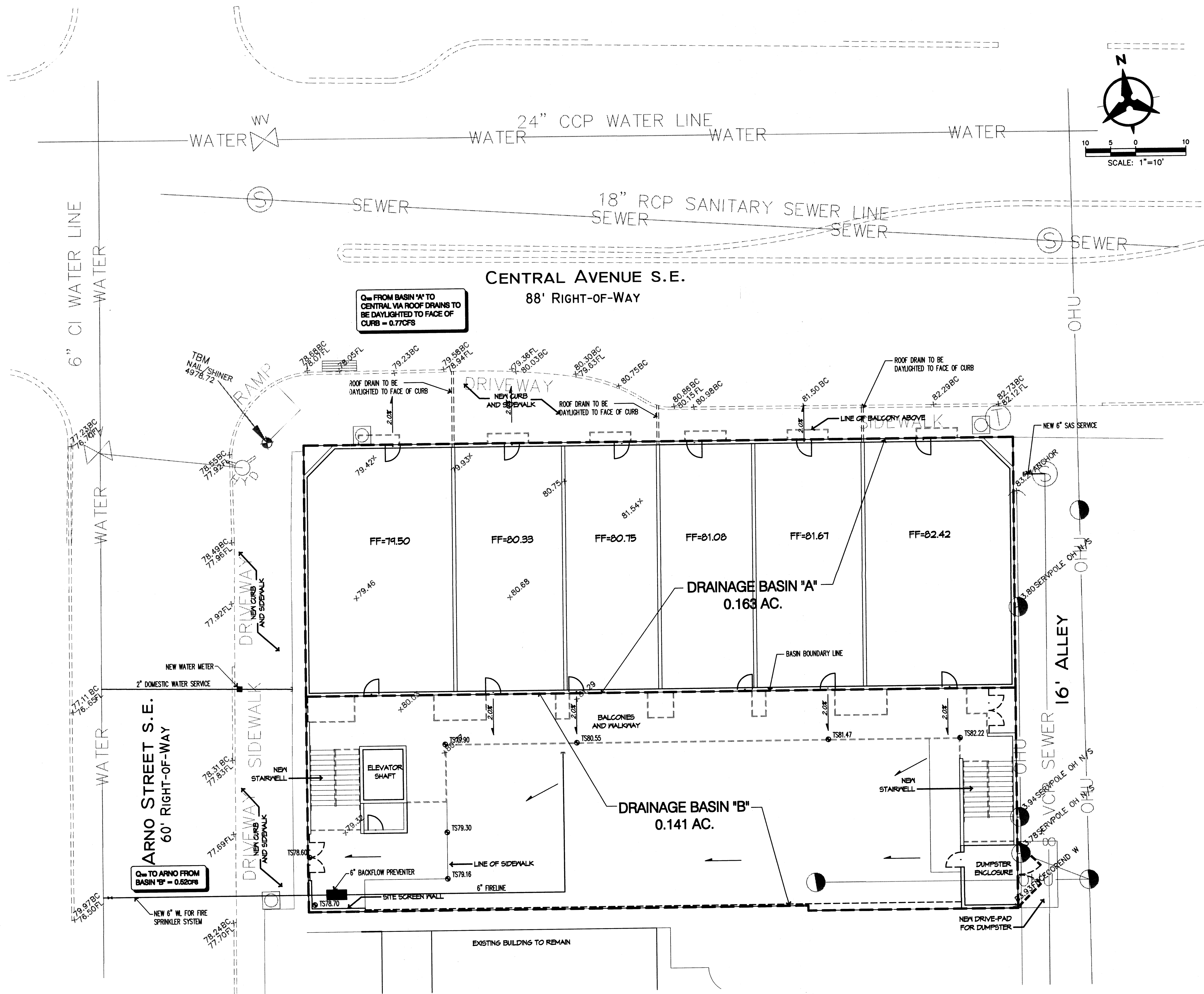
architecture - interiors - planning - engineering
6801 Jefferson NE, Suite 100 Albuquerque, NM 87109
505.761-9700 fax 761-4222

P06029

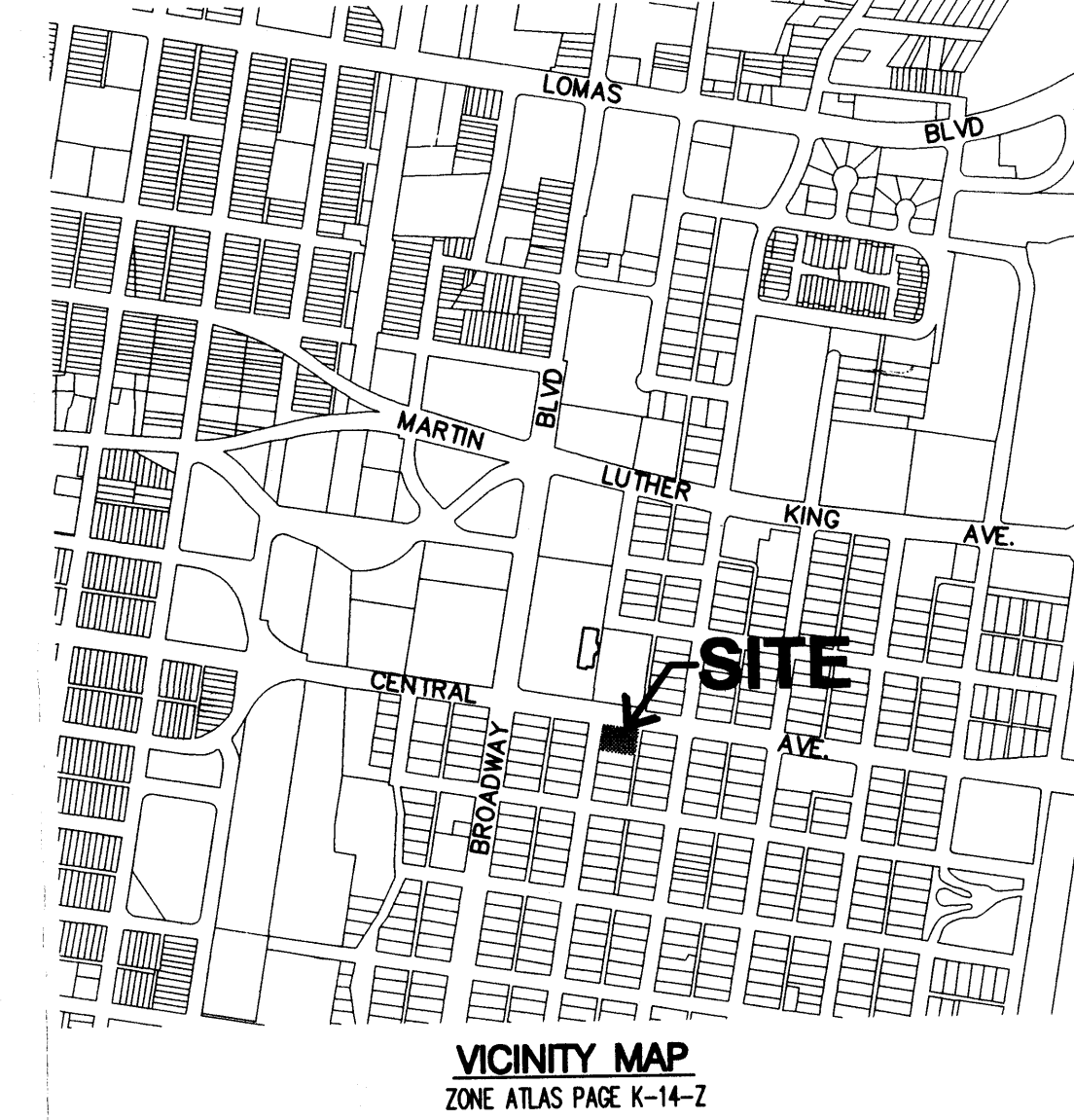
24 July 2002

4 Conceptual Grading, Drainage & Utilities Plan Arno Lofts





CONCEPTUAL GRADING, DRAINAGE & UTILITIES PLAN
1" = 10'



LEGAL DESCRIPTION

Lot 7 & Por. of Lot 8, Block 14
Huning's Highland Addition

DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a conceptual grading and drainage plan for the "Arno Lofts" project. This submittal is made in order to support EPC & DRB approvals for the site plan and plot.

II. SITE LOCATION AND EXISTING CONDITIONS

The project site is located on the southeast corner of Central and Arno. In its current condition, the majority of the site contains the Zia Motor Lodge and associated facilities including parking. The site currently drains to the west and to the north into Arno and Central. The total peak discharge from the site in the 100 year storm is approximately 1.35cfs. Site slopes are 2% to 3%. The site is located within zone atlas map # K-14, and hydrologic zone 2.

III. PROPOSED HYDROLOGIC CONDITIONS

The proposed project is to consist of 18 Loft Apartments and a small courtyard area. The site has been divided into two basins for proposed conditions. Basin A consists solely of the main portion of the building. Basin A is 100% impervious area and generates a peak discharge of 0.77cfs in the 100 year storm. This flow will be discharged to Central Ave via roof drain lines to be daylighted through the face of the curb.

Proposed Basin B consists of the balconies, stair towers, sidewalks and courtyard area behind the building. Basin B will discharge 0.52cfs to Arno via surface flow during the 100 year storm event. Basin B is 50% impervious, and 25% each of land treatments B & C.

The total discharge to adjacent public streets under proposed conditions is slightly less than existing peak flows.

IV. OFFSITE CONSIDERATIONS

There are no upstream offsite flows which will impact this site. In addition, the site will not have any detrimental impact on downstream drainage infrastructure since proposed conditions discharge is slightly less than existing.

V. CONCLUSION

This conceptual grading and drainage plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal, we are seeking city hydrology approval for site plan and plot.

DRAINAGE CALCULATIONS

EXISTING CONDITIONS:

ASSUME 90% D, 5% C, 5% B
0.3 AC * 4.5cfs/AC = 1.35cfs

PROPOSED CONDITIONS:

BASIN "A" (100% D)
0.163 AC * 4.7cfs/AC = 0.77cfs

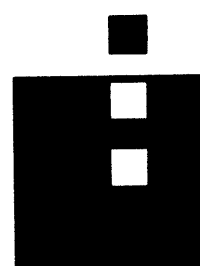
BASIN "B" (50% D, 25% C, 25% B)
0.141 AC * 3.71cfs/AC = 0.52cfs

TOTAL PROPOSED = 1.29cfs



Bohannon & Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



Dekker/Perich/Sabatini

architecture - interiors - planning - engineering
6801 Jefferson NE, Suite 100
Albuquerque, NM 87109

4 Conceptual Grading, Drainage & Utilities Plan Arno Lofts

P06029

24 July 2002

