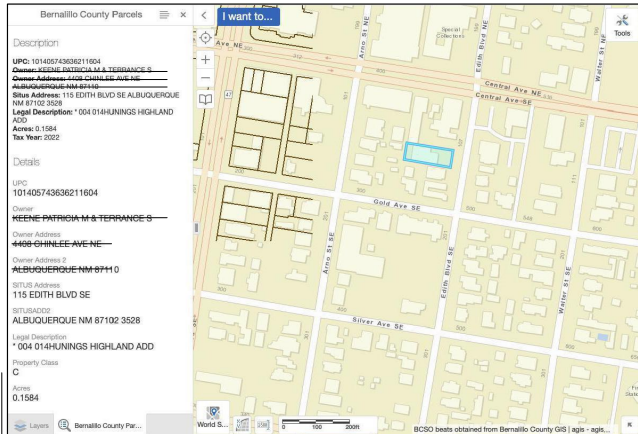


BOUNDARY/STAKED SURVEY
LOT 4, BLOCK 14, HUNING'S HIGHLAND ADDITION
115 EDITH BOULEVARD S.E., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Arroyo 8/8/2023
Signed Date

LEGEND OF SYMBOLS	
—	FENCE LINE
○ UP	UTILITY POLE
△ GM	GAS METER
□ EM	ELECTRIC METER
—	OVERHEAD UTILITY LINE(S)
○ WM	WATER METER

VICINITY MAP



PROJECT LOCATION

CRAFT HAIR STUDIO HQ.
115 EDITH BLVD SE
ALBUQUERQUE, NEW MEXICO
87102

- 004 014 HUNING HIGHLANDS ADD.
- 0.1584 ACRES = 6900 SF
- UPC: 101405743636211604
- ZONED MXL
- LOT: D
- BLOCK: 14

INFORMATION AND INSTRUCTIONS

SCOPE OF WORK &
PROJECT DESCRIPTION

RENOVATION OF 3120 SQUARE
FOOT EXISTING STRUCTURE TO
PROVIDE FUNCTIONAL SPACE
FOR A HAIR SALON

EXECUTIVE SUMMARY

PROJECT IS LOCATED IN THE
EAST DOWNTOWN AREA OF
ALBUQUERQUE W/ NEAREST
MAJOR CROSS STREETS OF
EDITH BLVD. & CENTRAL AVE.
THE PROJECT INTENDS TO
RENOVATE A FORMER
WAREHOUSE INTO A HAIR
SALON. THE TRAFFIC
CIRCULATION CONCEPT IS ONE
WHERE VEHICLES TURN 90°
FROM THE ROAD INTO THE
PARKING LOT VIA 1 OF 2
EXISTING CURB CUTS AND THEN
DIRECTLY UP TO THE FACE OF
THE BUILDING. VEHICLES BACK
OUT OF SPACES IN A
STANDARD 90° TURN AND THEN
EXIT TO THE ROAD VIA 1 OF 2
CURB CUTS THAT ACCESS THE
PARKING LOT FROM THE ROAD.
ADDITIONAL PARKING IS
LOCATED IN THE SPACES
PROVIDED AT THE BACK OF THE
BUILDING WHICH IS ACCESSED
VIA THE EXISTING ALLEY. THE
PROPOSED ORDERED PARKING
LAYOUT COVERS THE EXISTING
PARKING AREA WHICH IS
CURRENTLY BEING USED AS AN
UNORDERED PARKING LOT. NO
ADDITIONAL IMPACT TO
ADJACENT SITES IS
ANTICIPATED. RATHER THE THE
NEW ORDERED LAYOUT
SHOULD LESSEN THE IMPACT TO
ADJACENT SITES. NO
VARIANCES OR UNUSUAL
CIRCUMSTANCES ARE
ASSOCIATED WITH THIS
PROJECT.

NOTES

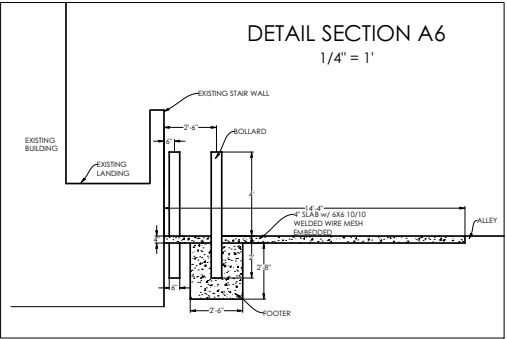
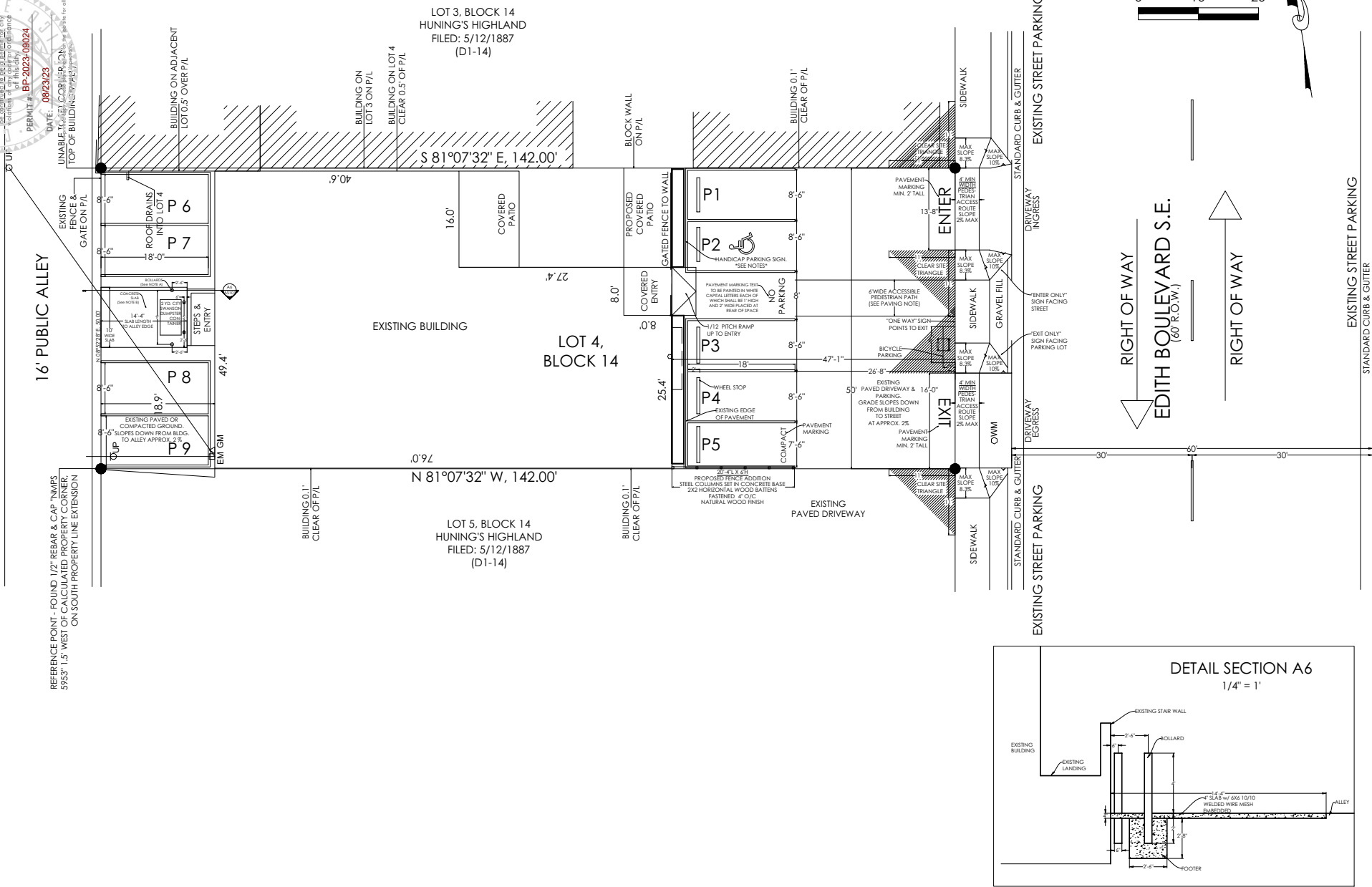
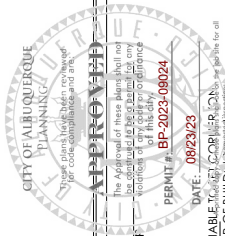
- A) ALL BOLLARDS TO BE 6" OUTSIDE
DIAMETER CONCRETE FILLED STEEL
PIPE ENCASED IN 12" CONCRETE
ALL AROUND, EMBEDDED 2" AND
EXTENDING ABOVE GROUND 4"
- B) CONCRETE SLAB FROM WALL TO
ALLEY EDGE 4" THICK 3000 PSI W/ J
3/4" AGGREGATE AND 6x6 10/10
WELDED WIRE MESH.
SLOPE IS TO BE NO GREATER THAN
1/8" PER FOOT W/ EVEN TRANSITION
TO ALLEY EDGE.

SHEET TITLE

SITE PLAN SHEET 1
SITE PLAN

LEGAL DESCRIPTION

Lot numbered Four (4), in Block numbered Fourteen (14), Plat for Huning's Highland Addition, Albuquerque, New Mexico, as the same is shown and designated on the plat of said Addition, filed in the office of the County Clerk of Bernalillo County, New Mexico, on May 12, 1887, in Plat Book D1, folio 14.



NOTES

- No Proposed Structural Additions. All proposed work to be done to Existing Structure.
- All proposed work to include repair of Existing Structure and renovation of interior space.
- The Proposed Use of the structure will be as a Hair Salon with Accessory Use space.
- Occupancy Group: B Business
- Use: Office (includes Barber & Beauty Shops)
- GFA= 3120
- Bearings are geodetic (true north) based on GPS observations. There are no record bearings shown on the recorded plat of the subdivision. Distances are ground, field and record measurements.
- All property corners were found, set or otherwise determined as shown.
- Document used in this survey is recorded plat referenced hereon.
- Legal description is from the commitment for title insurance No. 2205953 dated 8/23/2022 by Old Republic National Title Insurance Company.
- The subject property lies within Zone "X" (Other Areas, Areas determined to be outside the 0.2% annual chance floodplain) as shown on FEMA Flood Insurance Rate Map No. 35001C0334G dated 9/26/2008.
- ARCHITECT MAY RELY ON EXISTING SURVEYS, DRAWING INFORMATION AND SPECIFICATIONS AS OBTAINED AND PROVIDED. ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF SUCH EXISTING SURVEYS, DRAWING INFORMATION, AND SPECIFICATIONS.

PARKING, DRIVEWAY & PAVEMENT NOTES

- GFA= 3120
- PARKING: Building is believed to have been constructed prior to Oct. 22, 1965 and therefore need supply parking only to the extent that on-premises ground space is available as per Albuquerque Zoning Code, Part 3, Section 14-16-3-1
- Parking Space Requirements as per Albuquerque Integrated Development Ordinance 2022, Office & Services, Personal & Business Services (Small): This location is in the PT (Premium Transit Corridor) and the MS (Main St Corridor) which only requires 2.5 spaces per Gross Floor Area rounded down. See Table 5-5-1 Spaces Provided: 11 Total (2 on Street, 9 on site), includes 1 Accessible, 1 Compact. 2 Bicycle Parking Spaces are provided with a bicycle U-Rack centered in the space provided. ADA Accessible Parking Signs must have the international symbol of accessibility on it, mounted at least 60 inches above the ground and must state "Violators Are Subject To Fine and/or Towing"
- The ADA access aisles shall have the words "NO PARKING" in white capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- Bicycle Parking: Standard 2-Bike U-Rack set in Concrete footing with min 4" Concrete Pad over entire Bike Parking Space. See Fig 1
- All paving to adhere to City of Albuquerque Standard Drawing #2405A Paving
- Pedestrian Access Routes to comply with City of Albuquerque Specifications Design Review & Construction Section #2425A & 2425B
- All ADA Parking Spaces to be marked with Blue Paint
- BUILD NOTE: All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. Construction must adhere to City of Albuquerque City Standard Construction Drawing #2430 Sidewalk Details
- Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.

(A1) SITE PLAN

CRAFT HAIR STUDIO HQ.
ALBUQUERQUE, NEW MEXICO

Drawn by: MAX VASHER
Date: 7 Jan 2023
Revisions:



AS101