CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

Richard J. Berry, Mayor

November 1, 2012

Genevieve Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, New Mexico 87108

RE: **Casitas de Colores** – Grading & Drainage Plan for Building Permit
215 Lead Ave. S.W. P.E. Stamp: 10/23/12 (**K14-D087A**)

Dear Ms. Donart,

Based upon the information provided in your submittal received 10-24-2012, the above referenced plan is approved for Building Permit.

As we discussed, the rock swales for roof drainage to the alley gutters, on the N. and S. ends of Block F, Building 3, are adequate for drainage purposes. However, they may be in conflict with sidewalk requirements. If this is true, please notify us as soon as possible for review of any revision.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Please attach a copy of this approved plan to the Building Permit plan sets prior to sign-off by Hydrology.

Prior to our release of a Certificate of Occupancy, an Engineer's Certification of substantial compliance with this plan will be required, per the DPM checklist.

This project will require a Storm Water Pollution Prevention Plan (SWPPP) and a NPDES permit for storm water discharge during construction.

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports must comply with the requirements of the new permit. Review at: ftp://ftp.nmenv.state.nm.us/www/swqb/NPDES/Permits/NMS000101-AlbuquerqueMS4.pdf

If you have any questions, you may contact me by email at grolson@cabq.gov, or telephone 505-924-3695.

Sincerely, 11/1/12

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file K14/D087A
c.pdf Addressee via Email gennyd@iacivil.com

[redacted]ITY OF ALBUQUERQUE

February 11, 2010

Genevieve L. Donart, P.E
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

Re: Silver Town Homes, Silver & Second Street SE,
Request for Temporary Certificate of Occupancy - Not Approved
Engineer's Stamp dated 03/31/08 (K-14/D087)
Certification dated 02-09-10

Dear Ms. Donart,

Based upon the information provided in the Certification received 2-10-10 the above referenced Certification is not approved for Temporary Certificate of Occupancy, (C.O.).

After a recent site visit, the request appears early.

1. Several trades are still on site; construction vehicles are parked on all of the building pads. The east side of the site also has numerous vehicles parked as well. The construction fence will need to be removed from the area that you are requesting a certificate of occupancy.
    a. The building will need to be independent from the rest of the site. Owners will need to be able to access and maneuver without conflicting with construction operations.
2. Keyed note #6 identifies a 6" PVC Drain; site conditions reflect a different size. These drain pipes are obstructed with soil and requires cleaning.
    a. Please indicate and amend the plan with the correct material installed; furthermore, all sidewalk culverts are installed and were approved by Duane Schmitz. If you are seeking approval for all sidewalk culverts, include the plan prepared on 10-23-09 by Mr. Arfman.
3. Work Order # 555482 will need to be closed out. The pavement is missing on Platinum north and south at the intersection of Nickel Road and Platinum.
4. Delineate on the plan which buildings requests a C.O.
    a. The only buildings that are constructed are on Block D; the addresses will need to be included with all C.O. requests.
5. Tract A, Block D will need additional grading, along the south and west sides to prevent soil from leaving the site over the sidewalk. On the north side of the building the hole will need to be filled in prior to C.O.

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CITY OF ALBUQUERQUE

6. With future submittals please include the finished floor elevation if a building is constructed on the pad site; if a building was not constructed amend the plan to read finished pad elevation.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Silver Townhomes ZONE MAP/DRG.FILE# K-14/D087
DRB#: 1003904 EPC#: WORK ORDER#: 555482

LEGAL DESCRIPTION: Silver Townhomes
CITY ADDRESS:

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Genny Donart
ADDRESS: 128 MONROE N.E. PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Romero-Rose, LLC CONTACT: Julie Ferguson
ADDRESS: 5201 Indian School Rd NE, Ste 300 PHONE: 764-3094
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

ARCHITECT: Workshop Architects CONTACT: Treveston Elliot
ADDRESS: 811 12th Street NW PHONE: 259-4617
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Rio Grande Surveying CONTACT: Rex Vogler
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ ___ DRAINAGE REPORT
- ☐ ___ DRAINAGE PLAN 1st SUBMITTAL
- ☐ ___ DRAINAGE PLAN RESUBMITTAL
- ☐ ___ CONCEPTUAL G & D PLAN
- ☐ ___ GRADING PLAN
- ☐ ___ EROSION CONTROL PLAN
- ☒ ___ ENGINEER'S CERT (HYDROLOGY)
- ☐ ___ CLOMR/LOMR
- ☐ ___ TRAFFIC CIRCULATION LAYOUT
- ☐ ___ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ___ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ___ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY)_____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ _____ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ _____ RELIMINARY PLAT APPROVAL
- ☐ _____ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ _____ SECTOR PLAN APPROVAL
- ☐ _____ FINAL PLAT APPROVAL
- ☐ _____ UNDATION PERMIT APPROVAL
- ☐ _____ BUILDING PERMIT APPROVAL
- ☐ _____ CRTIFICATE OF OCCUPANCY (PERM)
- ☒ _____ CRTIFICATE OF OCCUPANCY (TEMP)
- ☐ _____ GADING PERMIT APPROVAL
- ☐ _____ PAVING PERMIT APPROVAL
- ☐ _____ WORK ORDER APPROVAL
- ☐ _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

RECEIVED
FEB 10 2010
HYDROLOGY SECTION

SUBMITTED BY: Genevieve Donart DATE: 02/09/10
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

March 19, 2010

Genevieve L. Donart, P.E
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

RE: Silver Townhomes, (K-14/D087)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 03/31/2008
Engineers Certification dated 2-25-10

Dear Ms. Donart,

Based upon your Engineer's Certification submitted on 2/25/2010, the above referenced plan is adequate and satisfies the Grading and Drainage Certification for Release of Financial Guaranty.

All future buildings require an Engineer's Certification prior to Certificate of Occupancy.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, P.E.
City Hydrologist
Development and Building Services

C: Marilyn Maldonado, COA# 555482
File

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Silver Townhomes ZONE MAP/DRG.FILE# K-14 / D087
DRB#: 1003904 EPC#: WORK ORDER#: 555482

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CITY ADDRESS:

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Genny Donart
ADDRESS: 128 MONROE N.E. PHONE: 268-8828
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OWNER: Romero-Rose, LLC CONTACT: Julie Ferguson
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CITY, STATE: Albuquerque, NM ZIP CODE: 87108

ARCHITECT: Workshop Architects CONTACT: Treveston Elliot
ADDRESS: 811 12th Street NW PHONE: 259-4617
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Walker Surveying CONTACT: Steve Walker
ADDRESS: PHONE: 269-4888
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:
- ☐ ___ DRAINAGE REPORT
- ☐ ___ DRAINAGE PLAN 1st SUBMITTAL
- ☐ ___ DRAINAGE PLAN RESUBMITTAL
- ☐ ___ CONCEPTUAL G & D PLAN
- ☐ ___ GRADING PLAN
- ☒ ___ EROSION CONTROL PLAN
- ☒ ___ ENGINEER'S CERT (HYDROLOGY) TEMP
- ☐ ___ CLOMR/LOMR
- ☐ ___ TRAFFIC CIRCULATION LAYOUT
- ☐ ___ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ___ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ___ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY)____

CHECK TYPE OF APPROVAL SOUGHT:
- ☒ ____ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ ____ RELIMINARY PLAT APPROVAL
- ☐ ____ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ ____ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ ____ CRTIFICATE OF OCCUPANCY (PERM)
- ☐ ____ CRTIFICATE OF OCCUPANCY (TEMP)
- ☐ ____ GADING PERMIT APPROVAL
- ☐ ____ PAVING PERMIT APPROVAL
- ☐ ____ WORK ORDER APPROVAL
- ☐ ____ OTHER (SPECIFY)

RECEIVED
FEB 25 2010
HYDROLOGY SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED:
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Genevieve Donart DATE: 02/25/10
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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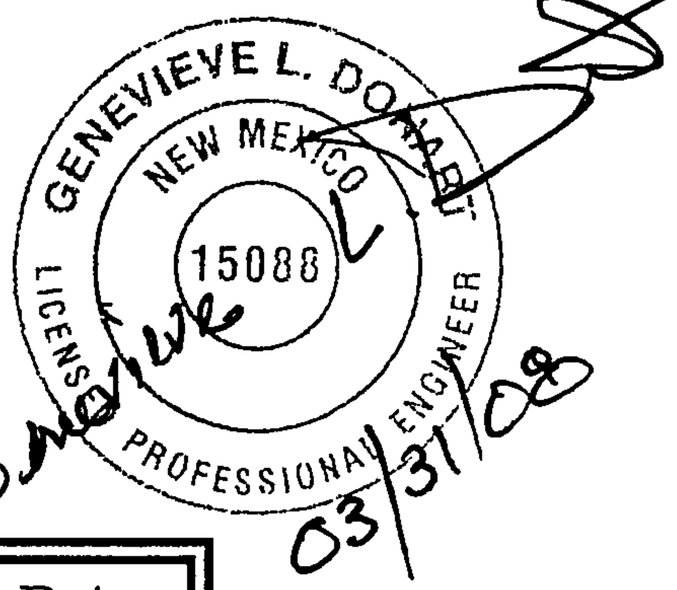
MARCH 31, 2008

SUPPLEMENTAL DRAINAGE INFORMATION

FOR

SILVER TOWNHOMES

BY



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632

General Information:

Legal Description:
Lots 1 through 24, Inclusive, Block 30, New Mexico Town Companys Original Townsite, City of Albuquerque, Bernalillo County, New Mexico

Site Description:
The site consists of 2.1 acres. It is bounded by Silver Avenue S.W. to the north, Lead Avenue S.W. to the south, 2nd St. S.W. to the east and 3rd St. S.W. to the west. The property slopes to the southwest at approximately 0.35%.

Offsite Drainage:
No off-site drainage affects this property.

Flood Hazard:
Per Bernalillo County FIRM Map #334, the site is located within Floodzone 'X' designated as areas determined to be outside the 500-year floodplain.

Existing Conditions:
The existing properties are currently fully developed as a commercial site (building demolished) and associated parking. All existing structures and site improvements will be demolished.

Existing Conditions:

Currently, the site consists of 10% land treatment 'C' and 90% land treatment 'D'. All site discharge (100-year, 6-hour = 9.4 cfs) drains to the southwest and is passed to the surrounding streets to enter the existing public storm drain system. Due to settlement of the portion of Silver Ave. adjacent to the property, a low point occurs near the north east corner which ponds flow. C.O.A. plans to reconstruct this portion of Silver Ave. are currently being developed and will occur concurrently with this project (design and construction of Silver Ave. improvements by others).

Proposed Conditions:

The proposed project consists of 72 multi-story townhome units and two commercial units with associated alley pavement, pedestrian walks and landscaping.

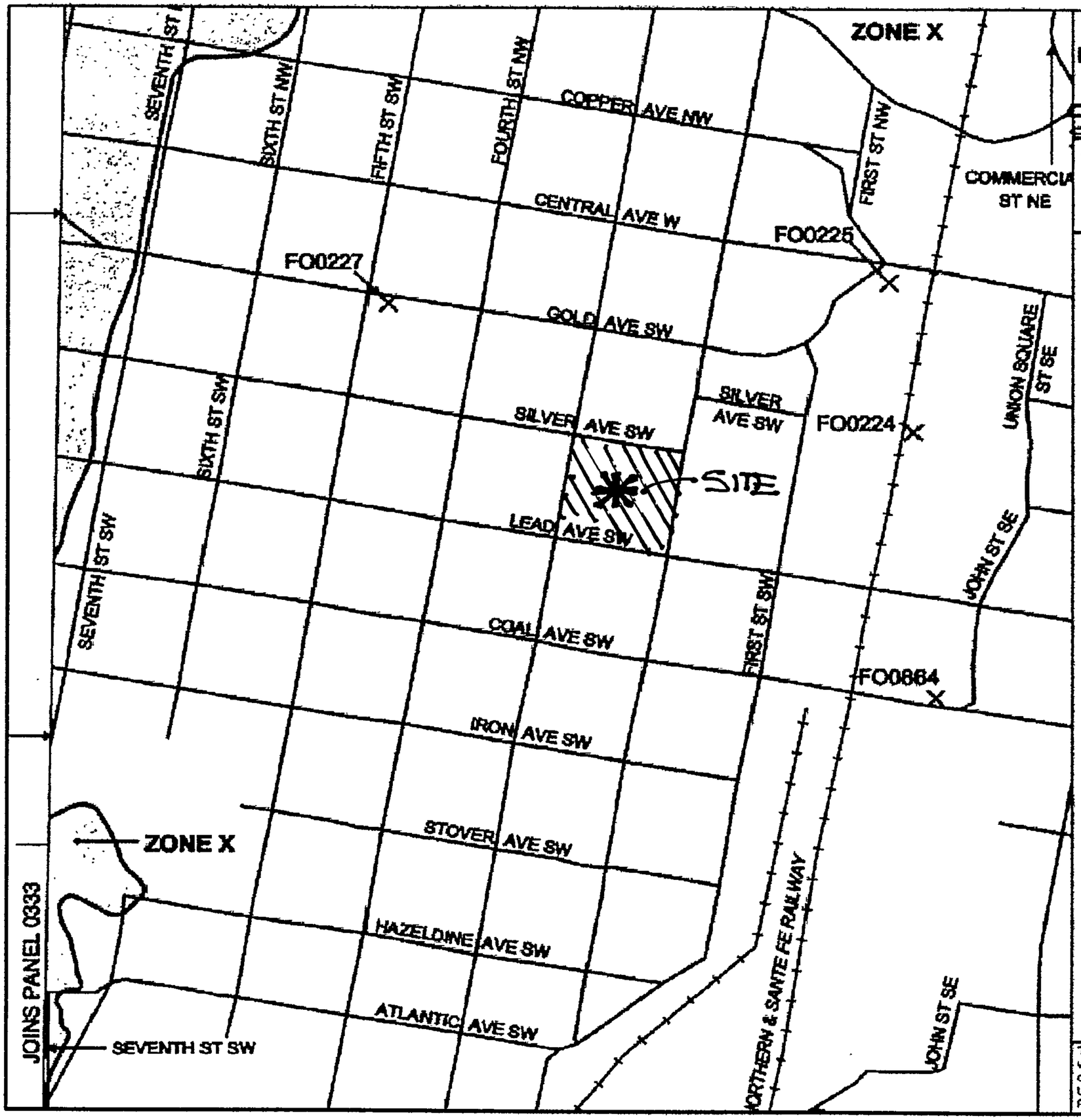
~~Roof discharge~~ from each townhome unit will be split with approximately ~~50% draining~~ to the adjacent alley. ~~(Basins 1, 2, 3, 5, 6, & 7)~~ The other 50% drains to either 2nd Street or 3rd Street through PVC drains penetrating the curb (Basins 11, 12, 13, & 14), or to the internal private landscaping tracts (Basins 9 & 10). The two commercial tracts drain to either the landscaping tracts or Silver Ave or Lead Street through PVC drains penetrating the curb (Basins 4 & 8). (See Sub-Basin Map and associated calculations).

The internal alleys free discharge a total of 4.8 cfs to the adjoining streets. The commercial tracts and half of the external townhomes free discharge a total of 1.8 cfs to the external streets. The internal landscaping tracts accept 2.4 cfs. A privately maintained, underground "pumice wick" system will be used to harvest rainwater for the private landscaping. Once this underground system achieves capacity, overflow will be surface discharged to either Silver Avenue or Lead Street. At a maximum, 9.1 cfs would discharge from the site, which is less than the 9.4 cfs historical.

The internal alleys are 20' wide, and designed to have a 3% inverted crown (0.3' max depth.) Nickel Road carries the largest flows with 1.7 cfs on a 0.7% slope. Under these conditions, the 100-year flow depth in Nickel Road is 0.18', leaving 0.12' of freeboard. (See the associated calculations.) The next largest alley flow is 0.9 cfs on Platinum Street. All internal alleys have capacity for the 100-year flows.

2 4.8
1.8
2.4
9.0 ≈ 9.1 ≤ 9.4 cfs

M:\ACTIVE\LD 2006\1582\dwg\1582GRD.dwg, SUB-BASINS, 5/9/2007 8:58:51 AM



MAP SCALE 1" = 500'

500 1000 FEET

METERS

PANEL 0334E

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO

AND INCORPORATED AREAS

PANEL 334 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

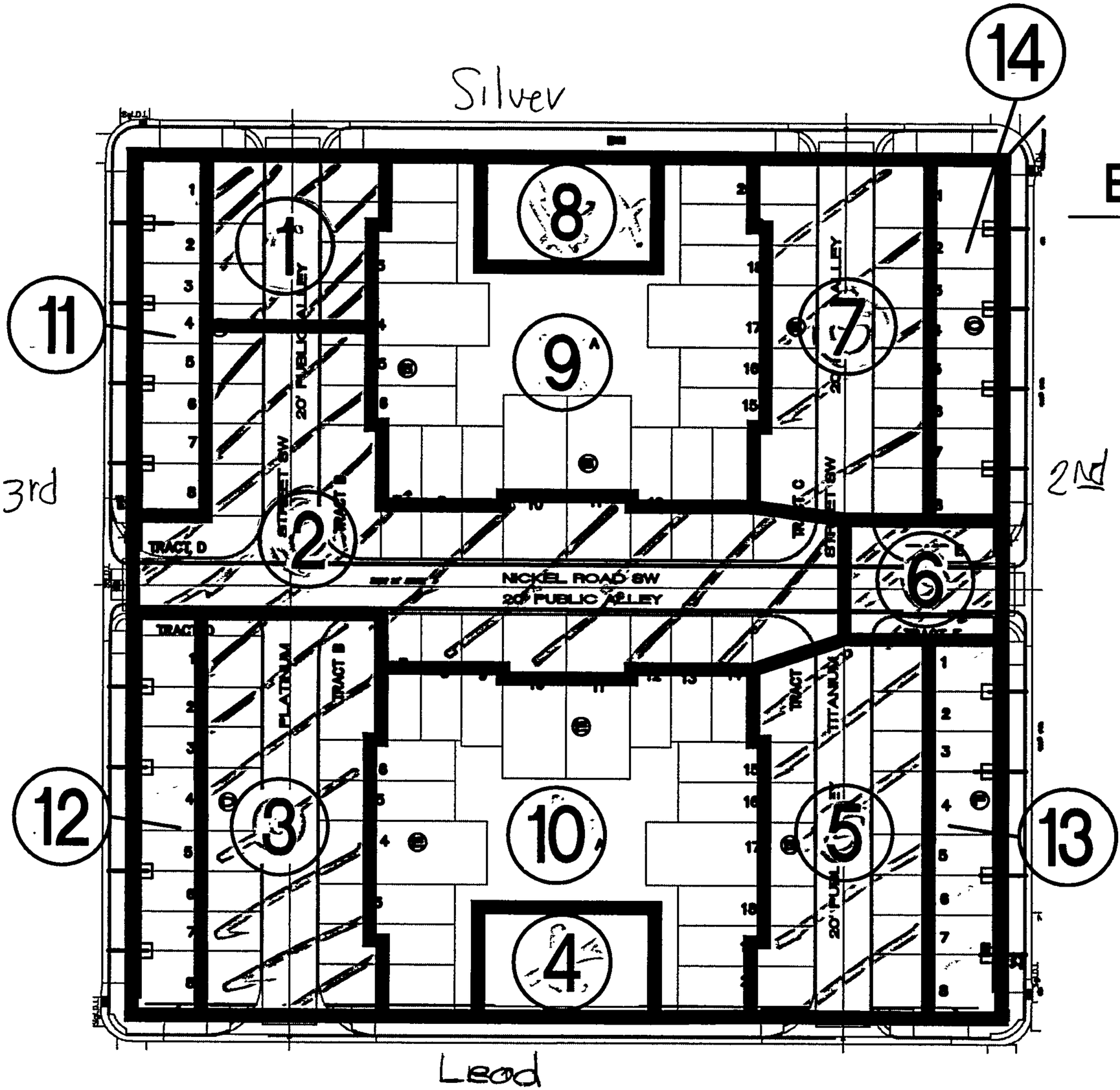
CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0334	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
35001C0334E
MAP REVISED
NOVEMBER 19, 2003

Federal Emergency Management Agency



BASIN	AREA
①	3500.40 SF
②	16024.00 SF
③	8440.15 SF
④	2306.98 SF
⑤	7558.87 SF
⑥	2287.43 SF
⑦	7283.74 SF
⑧	2305.35 SF
⑨	13610.00 SF
⑩	13559.40 SF
⑪	3162.97 SF
⑫	3334.51 SF
⑬	3327.32 SF
⑭	3172.43 SF

BAS/105 2007

Job Name:	**Silver Townhomes**
Client:	Workshop Architects
Date Prepared:	8-May-07
Date Modified:	May 8, 2007
Precipitation Zone:	2

CALCULATIONS: Silver Townhomes : May 8, 2007

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

AREA OF SITE: 89896 SF = 2.1 Ac.

HISTORIC FLOWS:

On-Site Historic Land Condition

Area a	=	0	SF
Area b	=	0	SF
Area c	=	8989.6	SF
Area d	=	80906.4	SF
Total Area	=	89896	SF

DEVELOPED FLOWS:

On-Site Developed Land Condition

Area a	=	0	SF
Area b	=	4495	SF
Area c	=	13484	SF
Area d	=	71917	SF
Total Area	=	89896	SF

EXCESS PRECIP:

Precip. Zone 2

Ea = 0.53

Eb = 0.78

Ec = 1.13

Ed = 2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$$

Historic E	=	2.02	in.	Developed E	=	1.90	in.

On-Site Volume of Runoff: V360 = E*A / 12

Historic V360	=	15140	CF	Developed V360	=	14267	CF

On-Site Peak Discharge Rate: Qp = QpaAa+QpbAb+QpcAc+QpdAd / 43,560

For Precipitation Zone 2

Qpa	=	1.56 ✓		Qpc	=	3.14 ✓	
Qbb	=	2.28 ✓	✓	Qpd	=	4.70 ✓	✓
Historic Qp	=	9.38	CFS	Developed Qp	=	9.0	CFS

The overall site consists of 2.06372819100092 acre(s) located in Zone 2 which is designated as properties between the Rio Grande River and San Mateo Blvd.. The 100-year, 6-hour historic discharge is 9.4 cfs. The proposed developed discharge is 9 cfs.

Job Name:	**Silver Townhomes**
Client:	Workshop Architects
Date Prepared:	8-May-07
Date Modified:	='DPM Calculations'!C6
Precipitation Zone:	2

BASIN NO. 1 **DESCRIPTION**

Area of basin flows = 3500 SF = 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 604 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.4 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 2 **DESCRIPTION**

Area of basin flows = 16024 SF = 0.4 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 2765 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.7 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 3 **DESCRIPTION**

Area of basin flows = 8440 SF = 0.2 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 1456 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.9 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 4 **DESCRIPTION**

Area of basin flows = 2307 SF = 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 398 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.2 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 5 **DESCRIPTION**

Area of basin flows = 7559 SF = 0.2 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 1304 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.8 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 6 **DESCRIPTION**

Area of basin flows = 2287 SF = 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 395 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.2 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 7 **DESCRIPTION**

Area of basin flows = 7284 SF = 0.2 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 1257 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.6 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 8 **DESCRIPTION**

Area of basin flows = 2305 SF = 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 398 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.2 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 9 **DESCRIPTION**

Area of basin flows = 13610 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.65 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 1876 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.2 cfs

TREATMENT	
A =	0%
B =	20%
C =	20%
D =	60%

BASIN NO. 10 **DESCRIPTION**

Area of basin flows = 13559 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.65 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 1869 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.2 cfs

TREATMENT	
A =	0%
B =	20%
C =	20%
D =	60%

BASIN NO. 11 **DESCRIPTION**

Area of basin flows = 3163 SF = 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 546 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.3 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO.	12	DESCRIPTION	
Area of basin flows =	3335	SF	= 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 575 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.4 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO.	13	DESCRIPTION	
Area of basin flows =	3327	SF	= 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 574 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.4 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO.	14	DESCRIPTION	
Area of basin flows =	3172	SF	= 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 547 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.3 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

SUMMARY

Basin No.	Description		DISCHARGE		Comments
1		=	0.4	cfs	Platinum St
2		=	1.7	cfs	Nickel Rd
3		=	0.9	cfs	Platinum St
4		=	0.2	cfs	commercial tract
5		=	0.8	cfs	Titanium St
6		=	0.2	cfs	Nickel Rd
7		=	0.8	cfs	Titanium St
8		=	0.2	cfs	commercial tract
9		=	1.2	cfs	Entering north courtyard
10		=	1.2	cfs	Entering south courtyard
11		=	0.3	cfs	3rd St
12		=	0.4	cfs	3rd St
13		=	0.4	cfs	2nd St
14		=	0.3	cfs	2nd St
TOTAL DISCHARGE		=	9.1	CFS	

SILVER TOWNHOMES
Worksheet for Triangular Channel

Project Description	
Project File	m:\active\project documents\1582\calcs\1582 fm.fm2
Worksheet	20' Alley 3% cross-slope 0.75& slope
Flow Element	Triangular Channel
Method	Manning's Formula
Solve For	Channel Depth

Input Data		
Mannings Coefficient	0.017	
Channel Slope	0.007500	ft/ft
Left Side Slope	33.330000	H : V
Right Side Slope	33.330000	H : V
Discharge	1.70	cfs

NICKEL AVE
BASIN (2)
WORST-CASE CONDITION

Results		
Depth	0.18	ft
Flow Area	1.11	ft²
Wetted Perimeter	12.16	ft
Top Width	12.16	ft
Critical Depth	0.17	ft
Critical Slope	0.009501	ft/ft
Velocity	1.53	ft/s
Velocity Head	0.04	ft
Specific Energy	0.22	ft
Froude Number	0.90	
Flow is subcritical.		

MAY 9, 2007

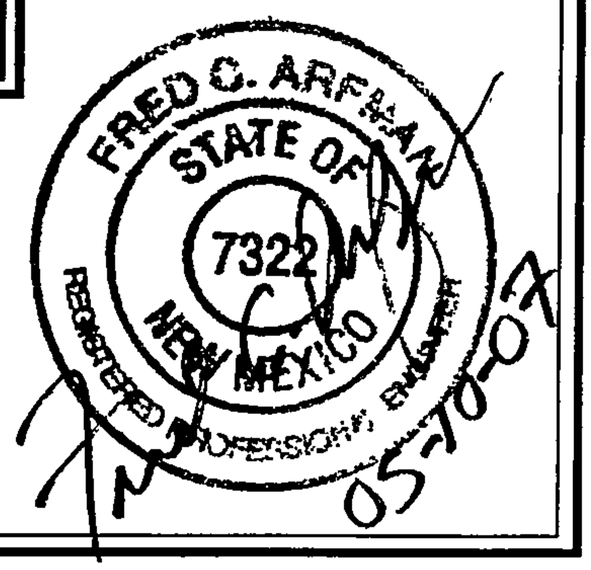
SUPPLEMENTAL DRAINAGE INFORMATION

FOR

SILVER TOWNHOMES

BY

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632



General Information:

Legal Description:
Lots 1 through 24, Inclusive, Block 30, New Mexico Town Companys Original Townsite, City of Albuquerque, Bernalillo County, New Mexico

Site Description:
The site consists of 2.1 acres. It is bounded by Silver Avenue S.W. to the north, Lead Avenue S.W. to the south, 2nd St. S.W. to the east and 3rd St. S.W. to the west. The property slopes to the southwest at approximately 0.35%.

Offsite Drainage:
No off-site drainage affects this property.

Flood Hazard:
Per Bernalillo County FIRM Map #334, the site is located within Floodzone 'X' designated as areas determined to be outside the 500-year floodplain.

Existing Conditions:
The existing properties are currently fully developed as a commercial site (building demolished) and associated parking. All existing structures and site improvements will be demolished.

Existing Conditions:

Currently, the site consists of 10% land treatment 'C' and 90% land treatment 'D'. All site discharge (100-year, 6-hour = 9.4 cfs) drains to the southwest and is passed to the surrounding streets to enter the existing public storm drain system. Due to settlement of the portion of Silver Ave. adjacent to the property, a low point occurs near the north east corner which ponds flow. C.O.A. plans to reconstruct this portion of Silver Ave. are currently being developed and will occur concurrently with this project (design and construction of Silver Ave. improvements by others).

Proposed Conditions:

The proposed project consists of 72 multi-story townhome units and two commercial units with associated alley pavement, pedestrian walks and landscaping.

Roof discharge from each townhome unit will be split with approximately 50% draining to the adjacent alley and 50% draining to a private cistern system to collect rainwater for personal use. Excess discharge to the cistern system (from the interior townhome unites) will overflow to the proposed landscaped rain gardens to be collected in a community underground retention system to be used for overall site landscaping. Once this underground system achieves capacity, overflow will be directed to an underground detention system to percolate.

The overall property is divided into three sub-basins (see Sub-Basin Map and associated calculations).

Sub-basin 1 (1.4 acres) consists of the back 50% of all townhome units, the commercial units and all alley paving. The discharge from this sub-basin of 6.5 cfs will discharge to the surrounding streets at the six alley entrances (approx. 0.23 cfs at each alley entrance).

Sub-basins 2 and 3 each (0.3 acres each) consist of a landscaped plaza and the surrounding townhome discharge (50% of each townhome roof). 100-year, 6-hour discharge of 1.3 cfs (each) will be collected in the individual private cisterns (approx. 0.67 cf each x 20 = 13.4 cf), and in the underground retention and detention system. Flow in excess of the proposed storm drain systems will discharge to the surrounding streets.

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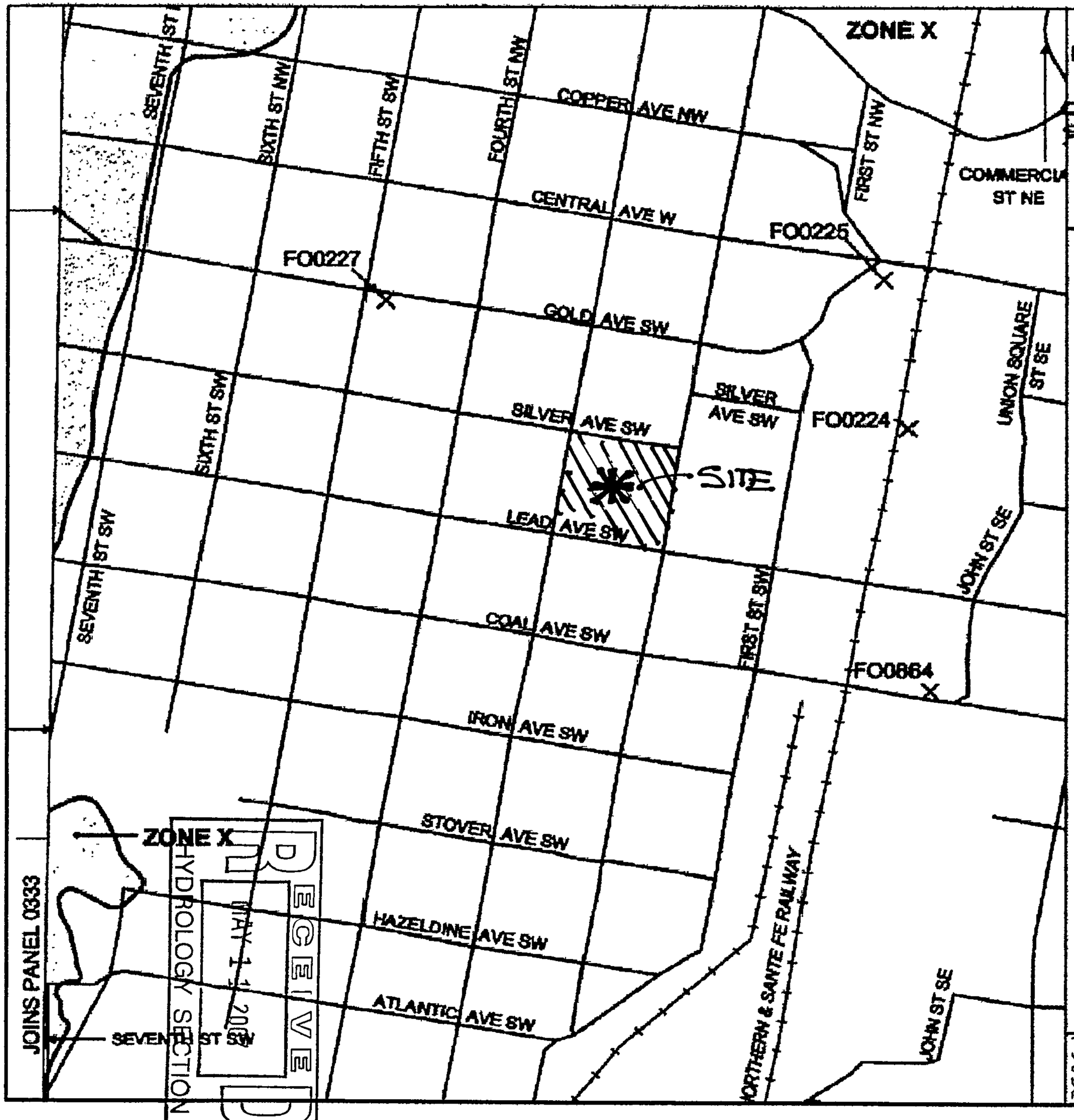


MAP SCALE 1" = 500'

500 1000

FEET

METERS

PANEL 0334E

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO

AND INCORPORATED AREAS

PANEL 334 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0334	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
35001C0334E

MAP REVISED
NOVEMBER 19, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

CALCULATIONS: Silver Townhomes : May 8, 2007

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

AREA OF SITE: 89896 SF = 2.1 Ac.

HISTORIC FLOWS:

On-Site Historic Land Condition

Area a	=	0	SF
Area b	=	0	SF
Area c	=	8989.6	SF
Area d	=	80906.4	SF
Total Area	=	89896	SF

DEVELOPED FLOWS:

On-Site Developed Land Condition

Area a	=	0	SF
Area b	=	4495	SF
Area c	=	13484	SF
Area d	=	71917	SF
Total Area	=	89896	SF

EXCESS PRECIP:

Precip. Zone 2

Ea = 0.53
Eb = 0.78
Ec = 1.13
Ed = 2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$$

Historic E	=	2.02 in.	Developed E	=	1.90 in.

On-Site Volume of Runoff: V360 = E*A / 12

Historic V360	=	15140 CF	Developed V360	=	14267 CF

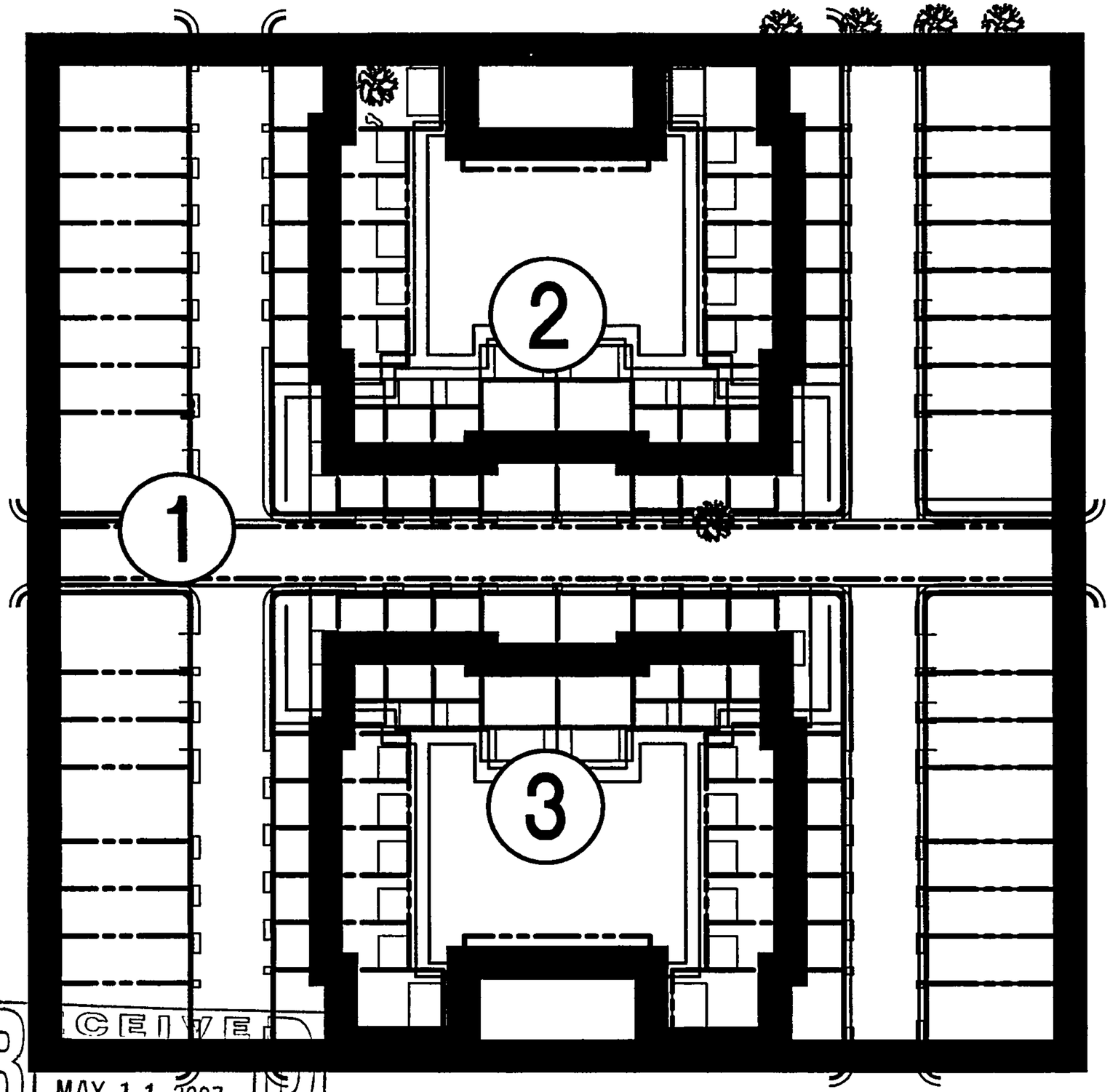
On-Site Peak Discharge Rate: Qp = QpaAa+QpbAb+QpcAc+QpdAd / 43,560

For Precipitation Zone 2

Qpa	=	1.56	Qpc	=	3.14
Qpb	=	2.28	Qpd	=	4.70

Historic Qp	=	9.38 CFS	Developed Qp	=	9.0 CFS

RECEIVED
MAY 11 2007
HYDROLOGY SECTION



BASIN	AREA
①	61467 SF
②	14369 SF
③	14060 SF

0 25 50 100 150

SCALE 1"=50'

SILVER TOWNHOMES - SUB-BASIN MAP

BASIN NO. 1	DESCRIPTION OVERALL BASIN DRAINING TO SURROUNDING STREET

Area of basin flows = 61467 SF = 1.4 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.07 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 10606 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 6.5 cfs

TREATMENT	
A =	0%
B =	0%
C =	5%
D =	95%

BASIN NO. 2	DESCRIPTION DRAINING TO NORTH RAIN GARDEN

Area of basin flows = 14369 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.65 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 1981 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.3 cfs

TREATMENT	
A =	0%
B =	20%
C =	20%
D =	60%

BASIN NO. 3	DESCRIPTION DRAINING TO SOUTH RAIN GARDEN

Area of basin flows = 14060 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.65 in.

Sub-basin Volume of Runoff (see formula above)

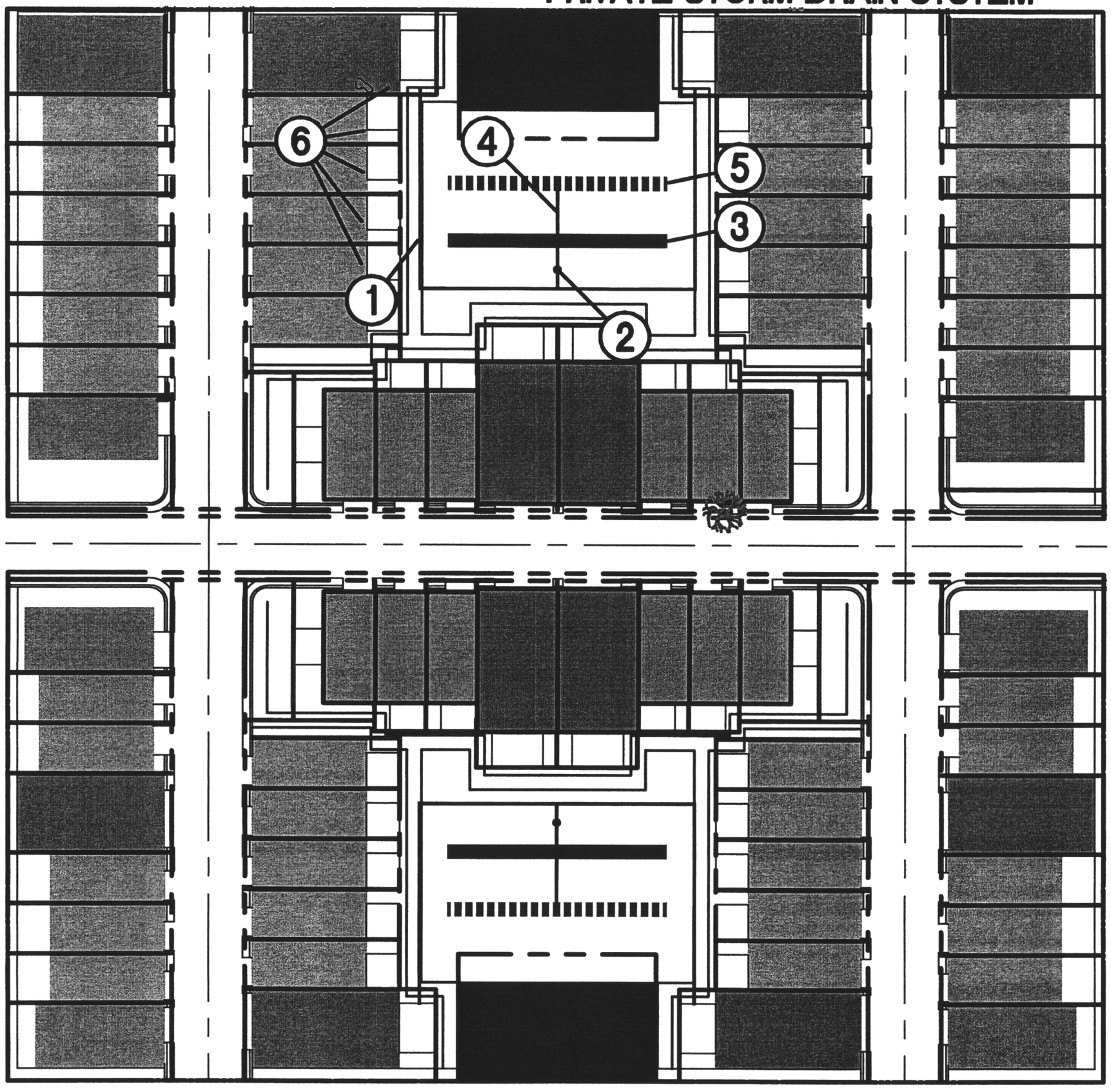
V360 = 1938 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.3 cfs

TREATMENT	
A =	0%
B =	20%
C =	20%
D =	60%

PRIVATE STORM DRAIN SYSTEM



1. 12" DIA. STORM DRAIN TO COLLECT TOWNHOME ROOF DISCHARGE IN EXCESS OF INDIVIDUAL CISTERN SYSTEM

2. WATER QUALITY CONTROL INLET WITH TRASH / GREASE SEPARATOR

3. COMMUNITY WATERTIGHT UNDERGROUND RETENTION SYSTEM FOR ON-SITE IRRIGATION

4. RETENTION SYSTEM OVERFLOW LINE

5. PERFORATED UNDERGROUND DETENTION SYSTEM

6. INDIVIDUAL 5 GALLON CISTERN AT EACH TOWNHOME UNIT OF PERSONAL USE

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ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME ALVARADO-SQ, LLC

AGENT ISAACSON & AREMAN P.A.

ADDRESS 128 MONROE ST NE

PROJECT & APP # 1003094/07DRB00616,00617

PROJECT NAME SILVER TOWNHOMES

$ 20.00 441032/3424000 Conflict Management Fee

$ 1675.00 441006/4983000 DRB Actions

$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

$ 75.00 441018/4971000 Public Notification

$ 790.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
(X)Major/Minor Subdivision ( )Site Development Plan ( )Bldg Permit
( ) Letter of Map Revision ( )Conditional Letter of Map Revision
( ) Traffic Impact Study

$ 2560.00 TOTAL AMOUNT DUE

***NOTE: *If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an* additional charge.

5/11/2007 12:03PM LOC: ANNX
RECEIPT# 00075429 WS# 008 TRANS# 0023
Account 441006 Fund 0110
Activity 4983000 TRSLJS
Trans Amt $2,560.00
J24 Misc $790.00
CK $50.00
CK $2,510.00
CHANGE $0.00

Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

5/11/2007 12:03PM LOC: ANNX
RECEIPT# 00075428 WS# 008 TRANS# 0022
Account 441006 Fund 0110
Activity 4971000 TRSLJS
Trans Amt $75.00
J24 Misc $75.00
CK $75.00
CHANGE $0.00

Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

5/11/2007 12:03PM LOC: ANNX
RECEIPT# 00075427 WS# 008 TRANS# 0022
Account 441006 Fund 0110
Activity 4983000 TRSLJS
Trans Amt $1,675.00
J24 Misc $1,675.00
CK $1,675.00
CHANGE $0.00

Thank You

CITY OF ALBUQUERQUE

May 18, 2007

Fred C. Arfman, PE
Isaacson & Arfman, PA
128 Monroe St. NE.
Albuquerque, NM 87108

Re: Silver Ave. Townhomes, Silver Ave.
Grading and Drainage Plan
Engineer's Stamp dated 5-10-07 (K14/D087)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 5-1-07, the above referenced plan is approved for Preliminary Plat. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

P.O.Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Kathy Verhage).

Albuquerque

If you have any questions, you can contact me at 924-3977.

New Mexico 87103

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

www.cabq.gov

C: Kathy Verhage
CC: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: SILVER AVE. TOWNHOMES ZONE MAP/DRG. FILE # K-14/D087
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1-24, BLOCK 30, NEW MEXICO TOWN COMPANY'S OLD TOWNSITE
CITY ADDRESS: N/A.

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Fred C. Arfman, PE
ADDRESS: 128 Monroe Street NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: ALVARADO-SG, LLC CONTACT: JULIE FERGUSON
ADDRESS: 601 TIJERAS NW, STE 200A PHONE: 764-3094
CITY, STATE: ABQ., NM ZIP CODE: 87102

ARCHITECT: N/A CONTACT: REX VOGLER
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: RIO GRANDE SURVEYING CO. CONTACT: REX VOGLER
ADDRESS: P.O. BOX 7155 PHONE: 764-8891
CITY, STATE: ABQ. NM ZIP CODE: 87191
RGSC@FLASH.NET

CONTRACTOR: N/A. CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
- X DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT
- _____ ENGINEER/ARCHITECT CERT (TCL)
- _____ ENGINEER/ARCHITECT CERT (DRB S.P.)
- _____ ENGINEER/ARCHITECT CERT (AA)
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- X PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY)

RECEIVED
MAY 11 2007
HYDROLOGY SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED:
- _____ YES
- X NO
- _____ COPY PROVIDED

SUBMITTED BY: FRED C. ARFMAN DATE: 05-11-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

October 23, 2009

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

Re: Silver Townhomes, Grading & Drainage—SO-19 Approval,
Engineer's Stamp dated 10-23-09 (K-14/D087)

Dear Mr. Arfman:

Based upon the information provided in your submittal received 10-23-09, the above referenced plan is approved for SO-19 permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required and the sidewalk culverts will need to be inspected and approved. Also, Duane Schmitz, 235-8016, will need to inspect and approve this work prior to any certificate of occupancy.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker - Hydrology, Planning Dept.
Development and Building Services

Cc: Curtis Cherne, P.E.
File

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: SILVER TOWNHOMES ZONE MAP/DRG. FILE # K-14 D 87
DRB#: 1003094 EPC#: WORK ORDER#: 555482

LEGAL DESCRIPTION: SILVER TOWNHOMES : REPLAT OF LTS 1-24, BLK 20, ORIG. TOWNSITE
CITY ADDRESS: SILVER AV. & 3RD ST

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Fred C. Arfman, PE
ADDRESS: 128 Monroe Street NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: ALVARADO-SG, LLC CONTACT: JULIE FERGUSON
ADDRESS: 601 TIJERAS NW, STE 200W PHONE: 764-3044
CITY, STATE: ABQ. NM ZIP CODE: 87102

ARCHITECT: WORKSHOP ARCH. CONTACT: TREV ELLIOTT
ADDRESS: 811 12th ST. PHONE: 246-9608
CITY, STATE: ABQ. NM ZIP CODE: 87102

SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX VOLLER
ADDRESS: PHONE: 769-8891
CITY, STATE: ABQ. NM ZIP CODE:

CONTRACTOR: GERALD MARTIN CONTACT: GREG HAWRYLSHYN
ADDRESS: 8501 JEFFERSON ST. NE PHONE: 828-6846
CITY, STATE: ABQ. NM ZIP CODE: 87113

TYPE OF SUBMITTAL:
- ____ DRAINAGE REPORT
- ____ DRAINAGE PLAN 1st SUBMITTAL
- X DRAINAGE PLAN RESUBMITTAL
- ____ CONCEPTUAL G & D PLAN
- X GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERT (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT
- ____ ENGINEER/ARCHITECT CERT (TCL)
- ____ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ____ ENGINEER/ARCHITECT CERT (AA)
- X OTHER (SPECIFY) (SO.19)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
- ____ YES
- ____ NO
- ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
- ____ SIA/FINANCIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D APPROVAL
- ____ S. DEV. FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM)
- ____ CERTIFICATE OF OCCUPANCY (TEMP)
- X GRADING PERMIT APPROVAL
- X PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

RECEIVED
OCT 23 2009
HYDROLOGY SECTION

SUBMITTED BY: FRED C. ARFMAN DATE: 10.23.09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: SILVER TOWNHOMES — ZONE MAP/DRG. FILE # K-14 | D 87
DRB#: 1003094 EPC#: — WORK ORDER#: 5554 82

LEGAL DESCRIPTION: SILVER TOWNHOMES : REPLAT OF LTS 1-24, BLK 20, ORIG. TOWNSITE
CITY ADDRESS: SILVER AV. & 3RD ST

ENGINEERING FIRM: Isaacson & Arfman, P.A. — CONTACT: Fred C. Arfman, PE
ADDRESS: 128 Monroe Street NE — PHONE: 268-8828
CITY, STATE: Albuquerque, NM — ZIP CODE: 87108

OWNER: ALVARADO-SG, LLC — CONTACT: JULIE FERGUSON
ADDRESS: 601 TIJERAS NW, STE 200W — PHONE: 764-3094
CITY, STATE: ABQ. NM — ZIP CODE: 87102

ARCHITECT: WORKSHOP ARCH. — CONTACT: TREV ELLIOTT
ADDRESS: 811 12th ST. — PHONE: 246-9608
CITY, STATE: ABQ. NM — ZIP CODE: 87102

SURVEYOR: RIO GRANDE SURVEYING — CONTACT: REX VOLLER
ADDRESS: — PHONE: 769-8891
CITY, STATE: ABQ. NM — ZIP CODE:

CONTRACTOR: GERALD MARTIN — CONTACT: GREG HAWRYLSHYN
ADDRESS: 8501 JEFFERSON ST. NE — PHONE: 828-6846
CITY, STATE: ABQ, NM — ZIP CODE: 87113

TYPE OF SUBMITTAL:
- ____ DRAINAGE REPORT
- ____ DRAINAGE PLAN 1st SUBMITTAL
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- ____ CONCEPTUAL G & D PLAN
- ____ GRADING PLAN
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- ____ ENGINEER'S CERT (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT
- ____ ENGINEER/ARCHITECT CERT (TCL)
- ____ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ____ ENGINEER/ARCHITECT CERT (AA)
- X OTHER (SPECIFY) (50.19)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
- ____ YES
- ____ NO
- ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
- ____ SIA/FINANCIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D APPROVAL
- ____ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM)
- ____ CERTIFICATE OF OCCUPANCY (TEMP)
- X GRADING PERMIT APPROVAL
- X PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- X OTHER (SPECIFY)

50-19

RECEIVED
OCT 28 2009
HYDROLOGY SECTION

SUBMITTED BY: FRED C. ARFMAN — DATE: 10.23.09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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