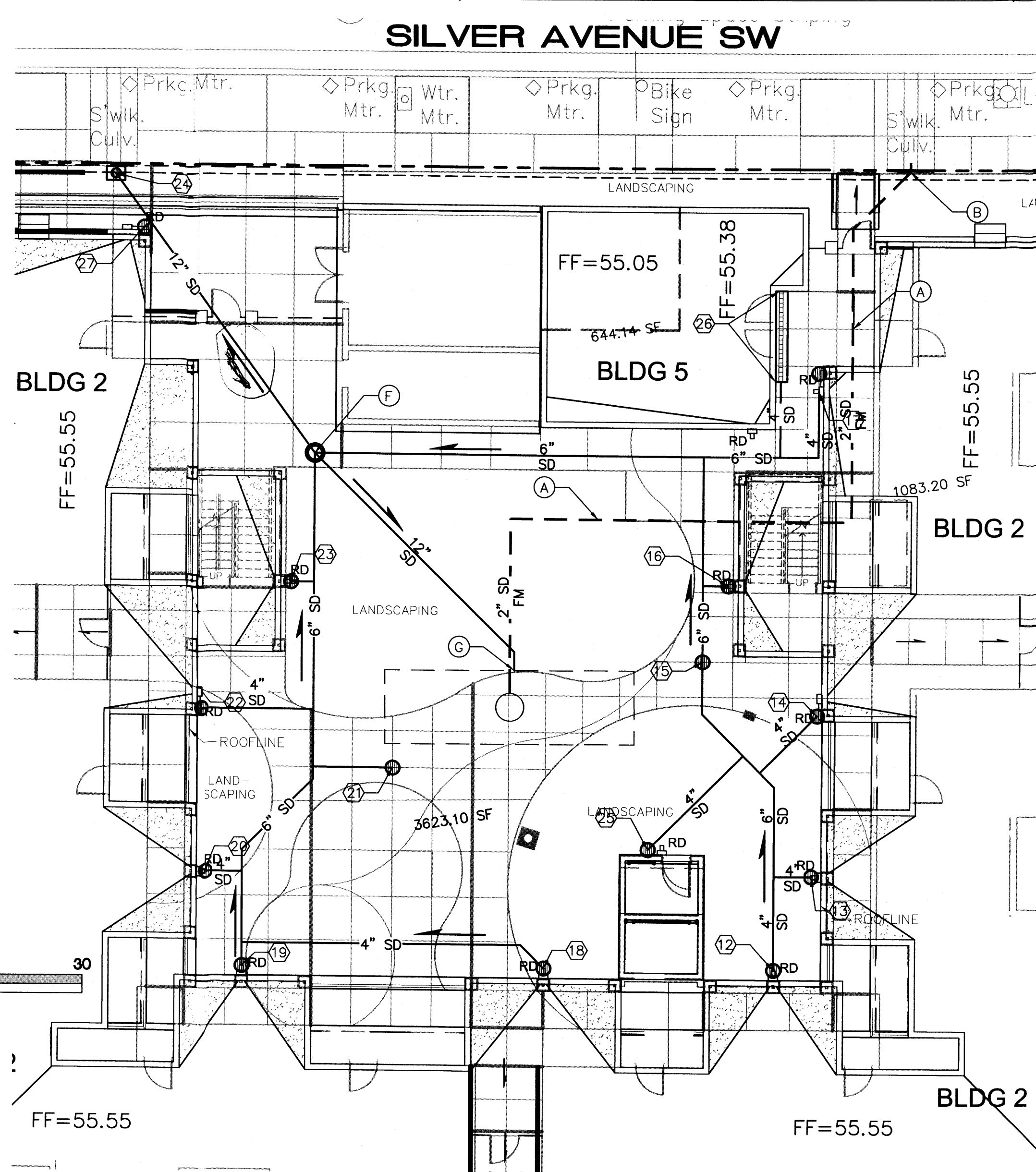


LEAD AVENUE SW  
SOUTH COURTYARD (BLDG 1) STORM DRAIN



NORTH COURTYARD (BLDG 2) STORM DRAIN

STORM DRAIN GENERAL NOTES

- STORM DRAIN PIPES 6" OR LARGER SHALL BE ADS N-12WT (WATERTIGHT) OR AN ENGINEER APPROVED EQUAL. INSTALL ADS TEES AND BENDS AS NEEDED.
- STORM DRAIN PIPES 4" OR SMALLER SHALL BE PVC SCHEDULE 40, OR AN ENGINEER APPROVED EQUAL. INSTALL PVC TEES AND BENDS AS NEEDED.
- SEALS AND GASKETS SHALL BE USED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- GRAVITY STORM DRAINS SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE.
- BACKFILL ALL TRENCHING IN 6" LOOSE LIFTS. COMPACT LIFTS TO 95% MIN.
- UNDERGROUND CISTERNS TO REMAIN WATERTIGHT. CONTRACTOR SHALL NOT PUNCTURE, CUT, OR PERFORATE THE CISTERN.
- STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT. THE WATER TREATMENT MANHOLES (NYLOPLAST BASINS) WILL NEED TO BE CLEANED MONTHLY. THE CISTERNS SHOULD BE INSPECTED AT LEAST EVERY 3 MONTHS FOR THE FIRST YEAR TO DETERMINE THE AMOUNT OF ACCUMULATION THAT WILL BE TYPICAL AND CLEANED AS NEEDED. THIS INSPECTION WILL HELP THE OWNER TO DETERMINE A SCHEDULE FOR REGULAR MAINTENANCE OF THE CISTERNS.

STORM INLET TABLE

ID	TYPE	RIM ELEV.	INVERT AT MAIN
1	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.3	51.8
2	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.4	51.6
3	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.8	51.3
4	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.8	51.1
5	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.5	50.9
6	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.5	50.8
7	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.8	50.5
8	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.3	50.0
9	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.3	49.8
10	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.1	49.5
11	NDS 18" INLINE DRAIN WITH DOME GRATE	53.4	51.4
12	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.3	52.8
13	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.3	52.6
14	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.9	52.3
15	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.5	52.1
16	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.75	51.9
17	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	55.25	52.3
18	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.9	52.4
19	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	55.3	51.7
20	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.3	51.6
21	DS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.5	51.3
22	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.9	51.1
23	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.7	50.9
24	NDS 18" INLINE DRAIN WITH STANDARD GRATE. INSTALL IN BOX PER DETAIL ON SHEET CG-501	53.9	51.9
25	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.3	52.3
26	9.8 LF ACO TRENCH DRAIN K5100S WITH PEDESTRIAN IRON GRATE	55.3	52.1
27	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE		

KEYED NOTES

- 2" PVC SCHEDULE 40 FORCE MAIN FOR STORM WATER PUMPED FROM CISTERN. MAINTAIN 3' MINIMUM BURY, EXCEPT AT DISCHARGE POINTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- DISCHARGE FORCE MAINS INTO EXISTING SIDEWALK CULVERT. MATCH EXISTING INVERT. SEE DETAIL B ON SHEET CG-504.
- DISCHARGE FORCE MAINS THROUGH A PIPE PENETRATION IN THE TURN-DOWN EDGE OF SIDEWALK PER DETAIL A ON SHEET CG-504. PIPES SHALL BE FLUSH WITH EDGE OF CONCRETE.
- WATER TREATMENT MANHOLE #1. 24" NYLOPLAST BASIN W/ LOCKING SOLID LID. INSTALL PER MANUFACTURER'S SPECIFICATIONS. RIM EL = 54.8 SUMP EL = 46.3 INV (N) = 49.3 INV (NW) = 48.3 (INSTALL NYLOPLAST ENVIROHOOD) INV (S) = 51.0 (OVERFLOW)
- 12" ADS N-12(WT) PIPE PENETRATES CISTERN. INSTALL PER CISTERN MANUFACTURER'S SPECIFICATIONS. INV = 48.0
- WATER TREATMENT MANHOLE #2. 24" NYLOPLAST BASIN W/ LOCKING SOLID LID. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. RIM EL = 54.8 SUMP EL = 45.4 INV (S) = 50.6 INV (E) = 50.0 INV (SE) = 48.4 (INSTALL NYLOPLAST ENVIROHOOD) INV (NW) = 51.5 (OVERFLOW)
- 12" ADS N-12(WT) PIPE PENETRATES CISTERN. INSTALL PER CISTERN MANUFACTURER'S RECOMMENDATIONS. INV = 47.9

PROJECT DATA

**LEGAL DESCRIPTION:** BLOCKS B-1, E-1, & F-1 OF SILVER TOWNHOMES, AS SHOWN ON THE PLAT ENTITLED "BLOCKS A-1, B-1, C-1, E-1, & F-1, SILVER TOWNHOMES", FILED FOR RECORD AT THE BERNALILLO COUNTY RECORDER'S OFFICE IN BOOK 2012C, PAGE 12, ON 02/01/2012.

**SITE AREA:** 1.23 AC.

**FLOOD ZONE:** THE SUBJECT PROPERTY IS WITHIN ZONE X, OUTSIDE THE 0.1% CHANCE FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP 35001C0334G, DATED SEPTEMBER 26, 2008.

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ISAACSON & ARFMAN, P.A.  
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**SURVEYOR:** REX VOGLER  
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ALBUQUERQUE, NM 87194  
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**BENCHMARK:** ACS STA "18-K14",  
ELEV = 4960.723 (NAVD 1929.)

H. 27LF - 96" DIAMETER DUROMAXX UNDERGROUND CISTERN WITH 1.5' DEEP SUMP, AND 1 - 3' DIAMETER ACCESS MANHOLE WITH LOCKING SOLID LID.

INV=42.5

2-HYDROMATIC SHEF30 EFFLUENT PUMPS IN DUPLEX SHALL BE INSTALLED INSIDE CISTERN WITH A SJE RHOMBUS 1HP DUPLEX CONTROL PANEL, MODEL 1222. LOCATE PANEL PER ARCHITECT'S PLANS. INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. IRRIGATION PUMPS WILL ALSO BE INSTALLED IN CISTERN. SEE IRRIGATION PLANS FOR IRRIGATION PUMPS. CONTRACTOR SHALL USE PRE-INSTALLED PORTS FOR PIPE CONNECTIONS.

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB 1/4 ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- BACKFILL ALL TRENCHING IN 6" LOOSE LIFTS. COMPACT LIFTS TO 95% MIN.

SITE CONDITIONS

EXISTING CONDITIONS:

THIS SITE WAS PREVIOUSLY DEVELOPED AS "SILVER TOWNHOMES," A SINGLE-FAMILY, ZERO-LOT LINE TOWNHOME PROJECT. TOWNHOMES WERE BUILT ON BLOCK D. DUE TO CHANGING MARKETS, THE CURRENT DEVELOPER HAS CHOSEN TO DEVELOP THE REMAINING SITE AS AN APARTMENT COMPLEX. THE CURRENT PROJECT DEVELOPS BLOCKS B-1, D-1, & E-1.

THE SITE IS LOCATED BETWEEN 2ND & 3RD STREETS, AND LEAD & SILVER AVENUES. THE SITE IS VERY FLAT, WITH MINIMAL SLOPE FROM NORTH TO SOUTH. THERE ARE NO INTERNAL STORM DRAINS.

SILVER TOWNHOMES WAS DESIGNED WITH FREE SURFACE DISCHARGE FOR THE ENTIRE SITE. THERE ARE 4 EXISTING SIDEWALK CULVERTS THAT DISCHARGE TO LEAD AVE AND SILVER AVE (2 EACH). THERE ARE PIPE PENETRATIONS THROUGH THE CURBS ALONG 2ND & 3RD ST FOR ROOF DISCHARGE. INTERNAL ALLEYS DIRECT WATER TO ALL 4 SURROUNDING STREETS.

PROPOSED CONDITIONS:

THE SITE DETAINS THE VOLUME OF THE 1/2" STORM FROM TRACTS A-1, B-1, C-1, E-1, & F-1 IN 2 - 932 C.F. UNDERGROUND DETENTION BASINS (CISTERNS). AN ADDITIONAL 267 C.F. IN EACH CISTERN'S CAPACITY IS DESIGNATED FOR IRRIGATION USE. ROOF FLOWS AND STORM WATER FROM THE COURTYARDS WITHIN BLOCK B-1 & E-1 ARE COLLECTED AND DIRECTED TO THE CISTERNS. WATER QUALITY MANHOLES TREAT THE WATER BEFORE IT ENTERS THE CISTERNS. STORMS IN EXCESS OF THE CISTERN CAPACITY WILL OVERFLOW FROM THE WATER QUALITY MANHOLES INTO PIPES, WHERE THEY "BUBBLE UP", AND SURFACE DISCHARGE TO SILVER AVE AND LEAD AVE. THE EXISTING SIDEWALK CULVERTS AND PIPE PENETRATIONS WILL BE UTILIZED TO DIRECT SITE FLOWS TO THE ADJOINING STREETS.

THE ROOF FLOWS FROM BLOCK E-1 WILL BE DISCHARGED TO 2ND ST THROUGH THE EXISTING PIPE PENETRATIONS IN THE CURB.

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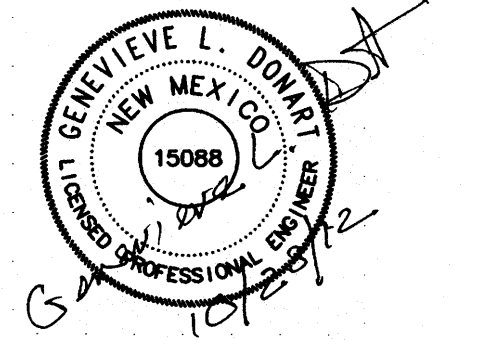
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REVISIONS

9/4/12	MODIFIED NOTES FOR CISTERN DETAILS
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DRAWN BY

GLD

REVIEWED BY

DATE 8/23/2012

PROJECT NO. 12-0047

DRAWING NAME

GRADING NOTES  
& STORM DRAIN  
DETAILS

SHEET NO.

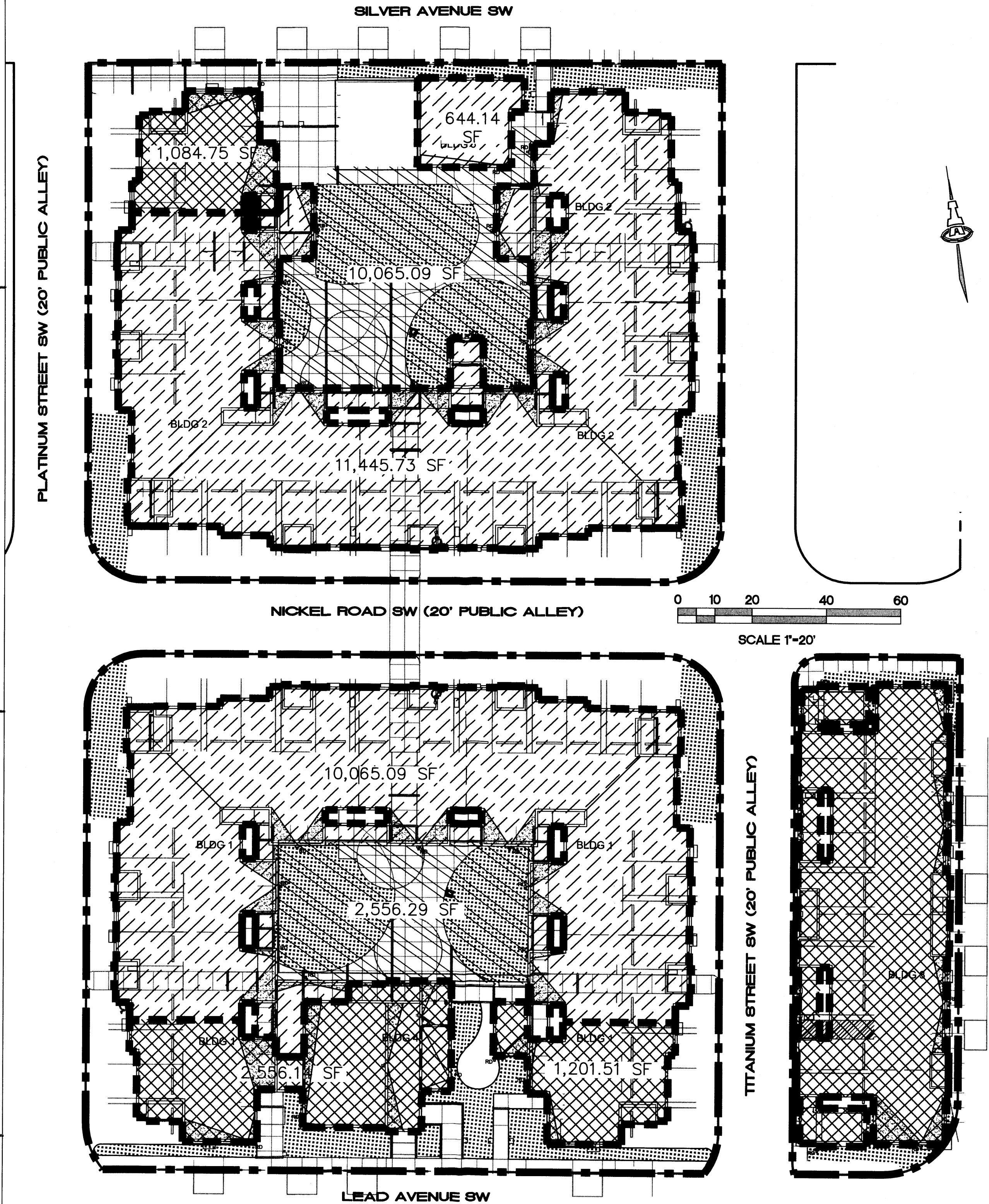
**CG-502**

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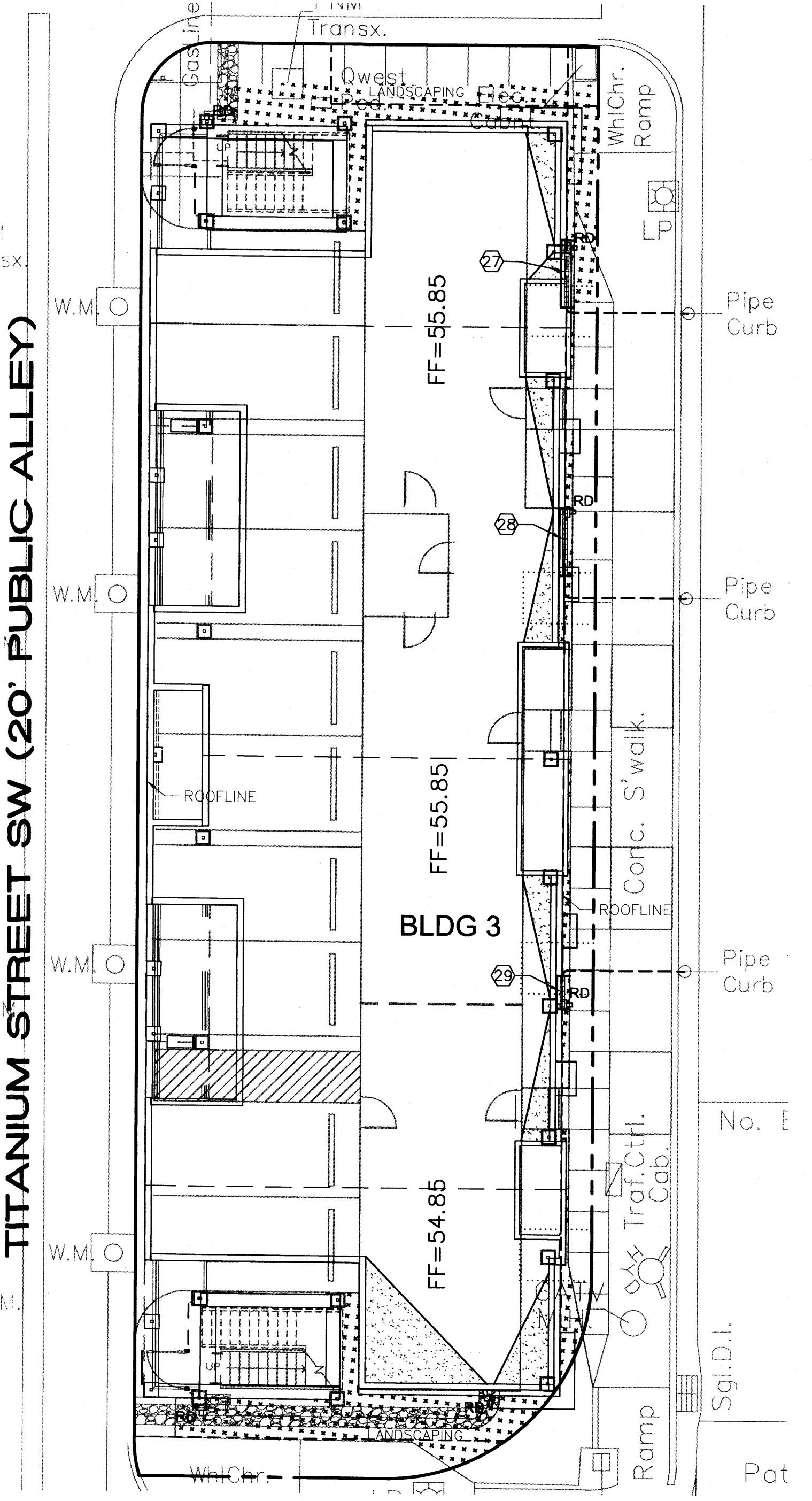
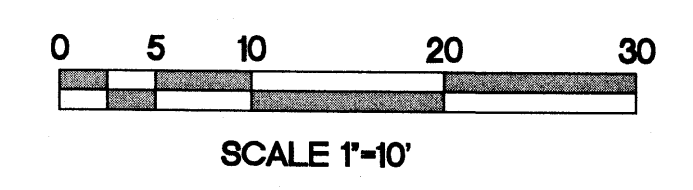
**LEGEND**

- ROOF BASIN TO CISTERN
- COURTYARD BASIN
- LANDSCAPE AREA
- ROOF BASIN TO ROAD
- TOTAL SITE AREA

**BASIN MAP**

SECOND STREET SW

TITANIUM STREET SW (20' PUBLIC ALLEY)



**BLDG 3 STORM DRAINS**

⊗ STORM INLET TABLE			
ID	TYPE	GRATE ELEV.	INVERT AT EX PIPE
27	6.6 LF ACO TRENCH DRAIN K5100S WITH PEDESTRIAN IRON GRATE, CUT 6" SHORT TO ALLOW ROOF DRAIN DIRECT DISCHARGE TO TRENCH DRAIN. INSTALL 4" PIPE AT END OF CHANNEL. CONNECT TO EXISTING 4" PIPES UNDER SIDEWALK. INSTALL GRATE FLUSH WITH SIDEWALK.	54.9	54.4±
28	6.6 LF ACO TRENCH DRAIN K5100S WITH PEDESTRIAN IRON GRATE, CUT 6" SHORT TO ALLOW ROOF DRAIN DIRECT DISCHARGE TO TRENCH DRAIN. INSTALL 4" PIPE AT END OF CHANNEL. CONNECT TO EXISTING 4" PIPES UNDER SIDEWALK. INSTALL GRATE FLUSH WITH SIDEWALK.	54.8	54.2±
29	3.3 LF ACO TRENCH DRAIN K5100S WITH PEDESTRIAN IRON GRATE, CUT 6" SHORT TO ALLOW ROOF DRAIN DIRECT DISCHARGE TO TRENCH DRAIN. INSTALL 4" PIPE AT END OF CHANNEL. CONNECT TO EXISTING 4" PIPES UNDER SIDEWALK. INSTALL GRATE FLUSH WITH SIDEWALK.	54.5	53.9±

**STORM DRAIN GENERAL NOTES**

1. STORM DRAIN PIPES 6" OR LARGER SHALL BE ADS N-12WT (WATERTIGHT) OR AN ENGINEER APPROVED EQUAL. INSTALL ADS TEES AND BENDS AS NEEDED.
2. STORM DRAIN PIPES 4" OR SMALLER SHALL BE PVC SCHEDULE 40, OR AN ENGINEER APPROVED EQUAL. INSTALL PVC TEES AND BENDS AS NEEDED.
3. SEALS AND GASKETS SHALL BE USED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
4. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
5. GRAVITY STORM DRAINS SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE.
6. BACKFILL ALL TRENCHING IN 6" LOOSE LIFTS. COMPACT LIFTS TO 95% MIN.
7. UNDERGROUND CISTERNS TO REMAIN WATERTIGHT. CONTRACTOR SHALL NOT PUNCTURE, CUT, OR PERFORATE THE CISTERN.

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DRAWN BY GLD	
REVIEWED BY	
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DRAWING NAME	
STORM DRAIN DETAILS	

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**CG-503**  
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## STORM DRAIN GENERAL NOTES

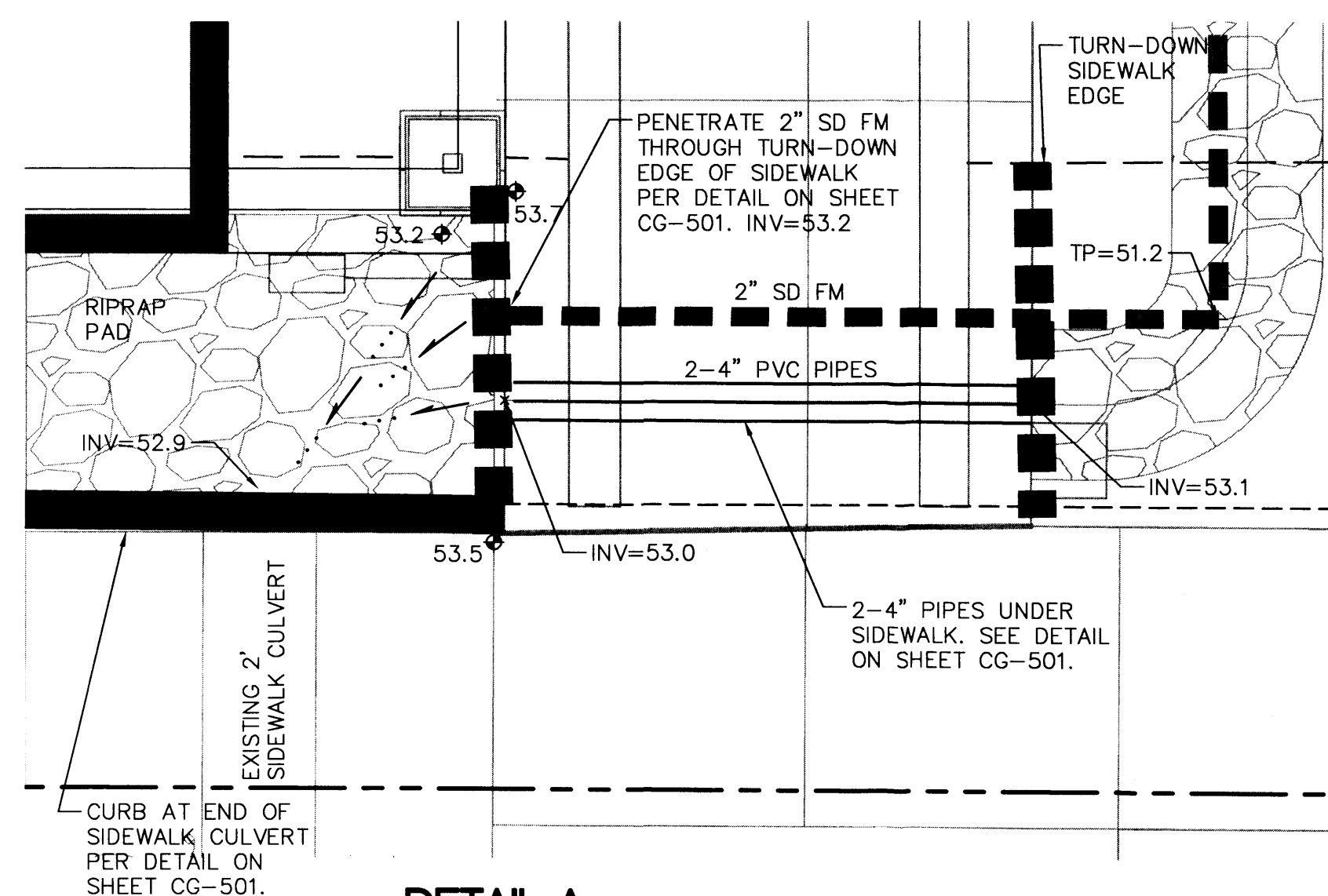
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2. STORM DRAIN PIPES 4" OR SMALLER SHALL BE PVC SCHEDULE 40, OR AN ENGINEER APPROVED EQUAL. INSTALL PVC TEES AND BENDS AS NEEDED.
3. CONNECTIONS, SEALS, AND GASKETS SHALL BE USED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
4. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
5. GRAVITY STORM DRAINS SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE.
6. BACKFILL ALL TRENCHING IN 6" LOOSE LIFTS. COMPACT LIFTS TO 95% MIN.
7. UNDERGROUND CISTERNS TO REMAIN WATERTIGHT. CONTRACTOR SHALL NOT PUNCTURE, CUT, OR PERFORATE THE CISTERN.

## KEYED NOTES

1. 27 LF - 96" DIAMETER DUROMAXX UNDERGROUND CISTERN WITH 1.5' DEEP, 5' DIAMETER SUMP, AND 1-3' DIAMETER ACCESS MANHOLE WITH LOCKING SOLID LID. INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. 2-HYDROMATIC SHEF30 EFFLUENT PUMPS IN DUPLEX. CONNECTS TO SJE RHOMBUS 1HP DUPLEX CONTROL PANEL. LOCATE PANEL PER ARCHITECT'S PLANS. INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. SEE STORM PUMP DETAIL ON THIS SHEET.
3. IRRIGATION PUMP ON SLED. SEE IRRIGATION PLANS FOR DETAILS.
4. IRRIGATION PIPING. SEE IRRIGATION PLANS FOR DETAILS.
5. IRRIGATION MAKE UP WATER FLOAT. SEE IRRIGATION PLANS FOR DETAILS.
6. SOUTH COURTYARD (BLDG 1) PIPE PENETRATION FOR 12" I.D. ADS N-12 WT (WATER TIGHT) HDPE PIPE.
7. NORTH COURTYARD (BLDG 2) PIPE PENETRATION FOR 12" I.D. ADS N-12 WT (WATER TIGHT) HDPE PIPE.
8. SJE RHOMBUS #30MPUWOP FLOAT SWITCH WITH ON AND OFF FLOAT LOCATIONS AS SHOWN IN ELEVATION
9. 1.5' DEEP 5' DIAMETER SUMP. SEE DETAIL ON THIS SHEET FOR PUMP LOCATIONS.
10. PENETRATION FOR PUMP PIPE. SEE DETAIL ON THIS SHEET.
11. PENETRATION FOR IRRIGATION PIPES. SEE IRRIGATION PLANS FOR DETAILS.
12. 1 1/2" O.D. GALVANIZED PIPE.
13. 1 1/2" CHECK VALVE.
14. 1 1/2" 90° GALVANIZED ELBOW.
15. 1 1/2" GALVANIZED TEE.
16. 1 1/2" TO 2" REDUCER.
17. HIGH VOLTAGE WIRING FROM PUMP CONTROLLER.
18. FLOAT SENSOR WIRING (COMMUNICATION). SECURE IN-PLACE TO EDGE OF TANK.
19. SIMMONS #114-S 4" SINGLE DROP PIPE (2") WELL SEAL WITH SLOTTED CABLE HOLE.
20. 4" PIPE PENETRATION IN CISTERN.
21. 2" GALVANIZED UNION.
22. 2"x6" SCH 80 PVC TOE NIPPLE (OR CUT TO LENGTH).
23. 2" SCH 80 PVC COUPLING.
24. 2" FLEXIBLE PVC PIPING.
25. 2"x6" GALVANIZED NIPPLE.
26. 2" 90° PVC ELBOW.
27. 2" SCH 40 PVC PIPING.
28. 2" MILLIKEN PLUG VALVE IN VALVE BOX. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
29. 2" GALVANIZED COUPLING
30. 2" GALVANIZED NIPPLE (LENGTH AS REQUIRED FOR TANK PENETRATION)
31. CONCRETE SIDEWALK PER ARCHITECTURAL SITE PLAN.
32. BEDDING AND COMPACTED SUBGRADE PER MANUFACTURER'S SPECIFICATIONS.

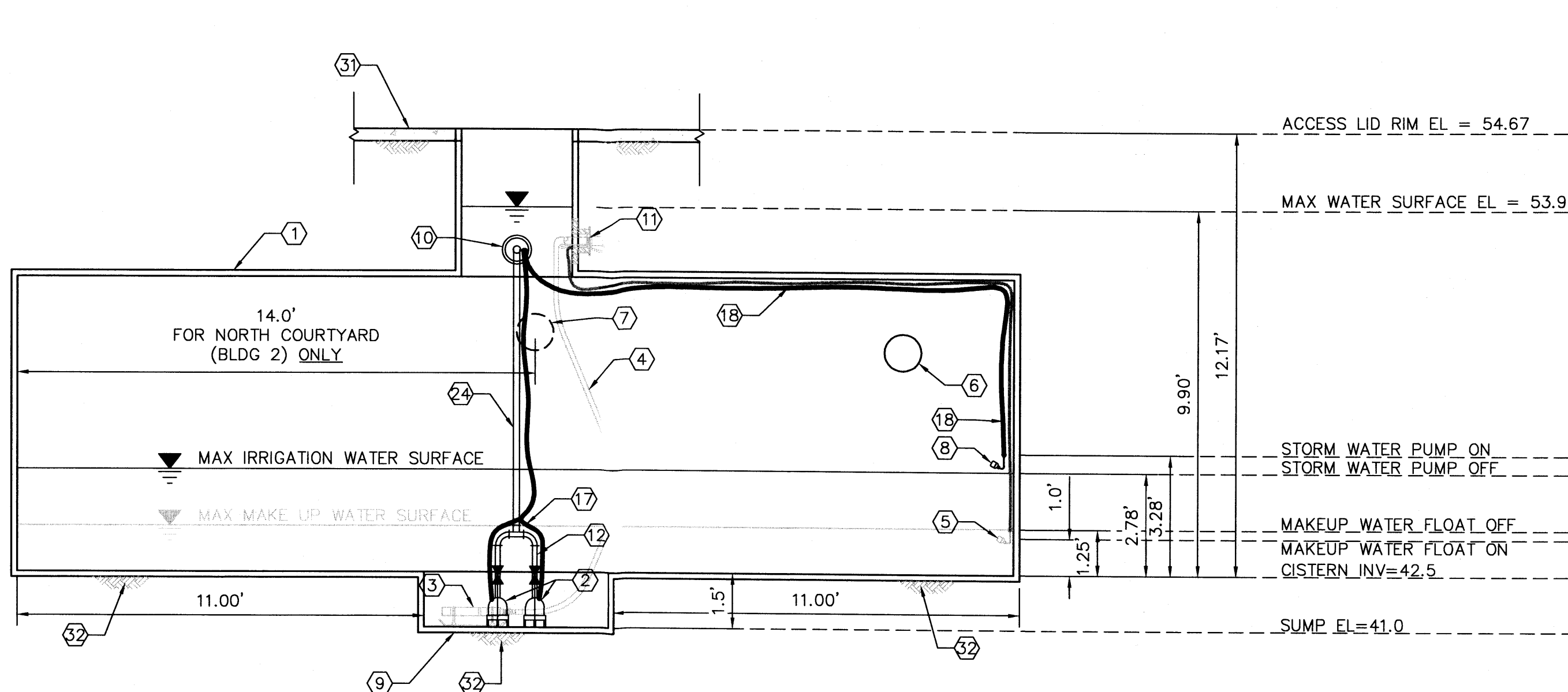


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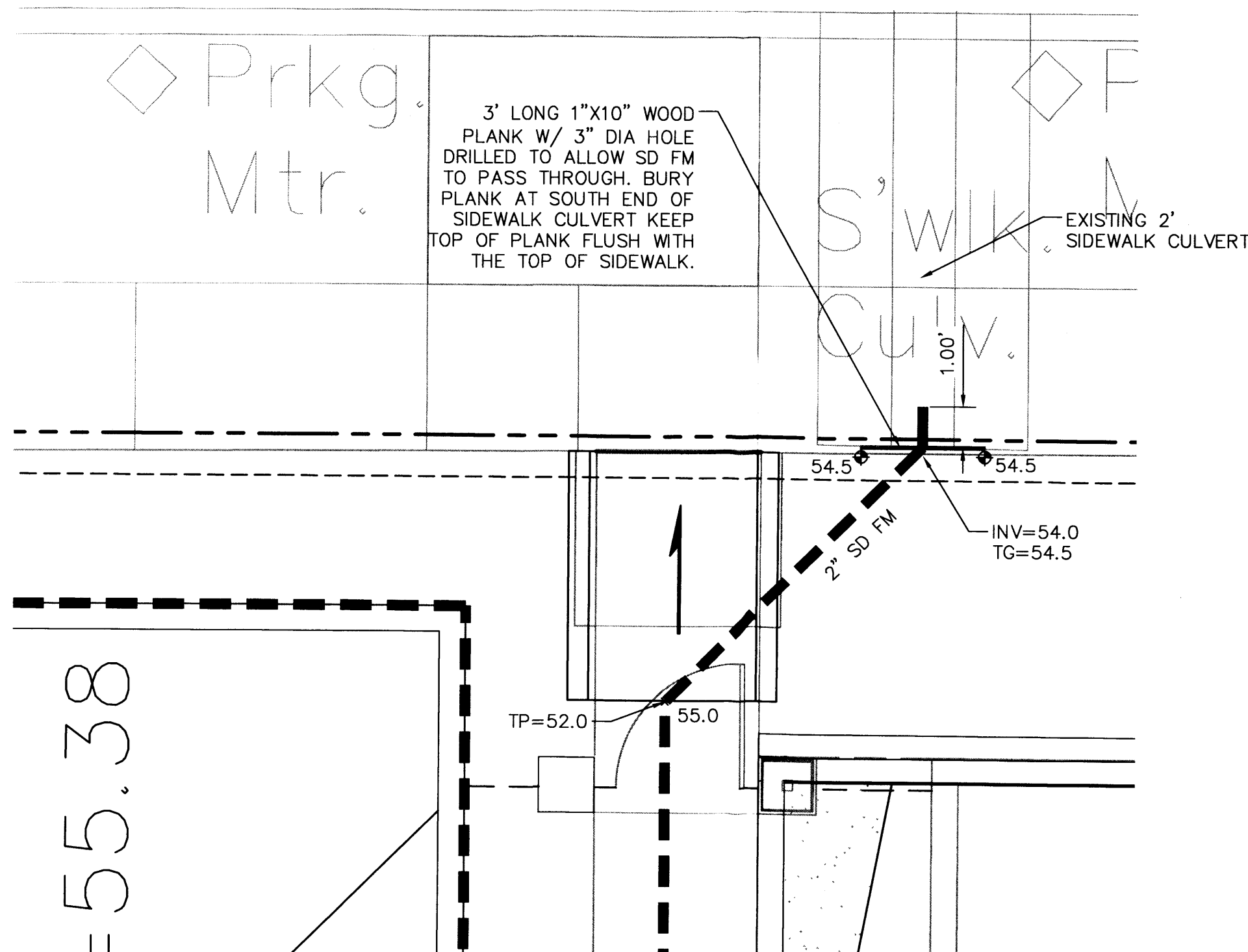
DETAIL A  
SD FM OUTLET AT  
SW CORNER OF BLDG 1

SCALE: 1"=2'



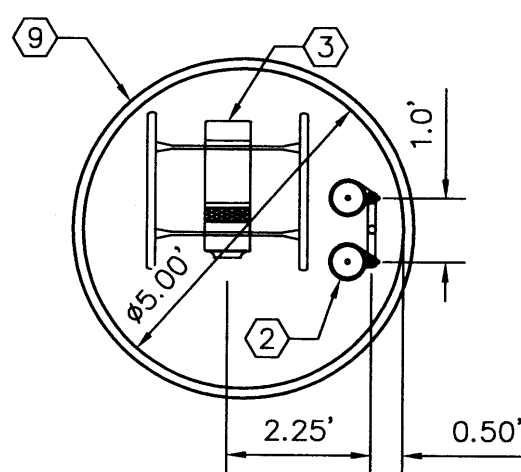
CISTERN ELEVATION

SCALE: N.T.S.



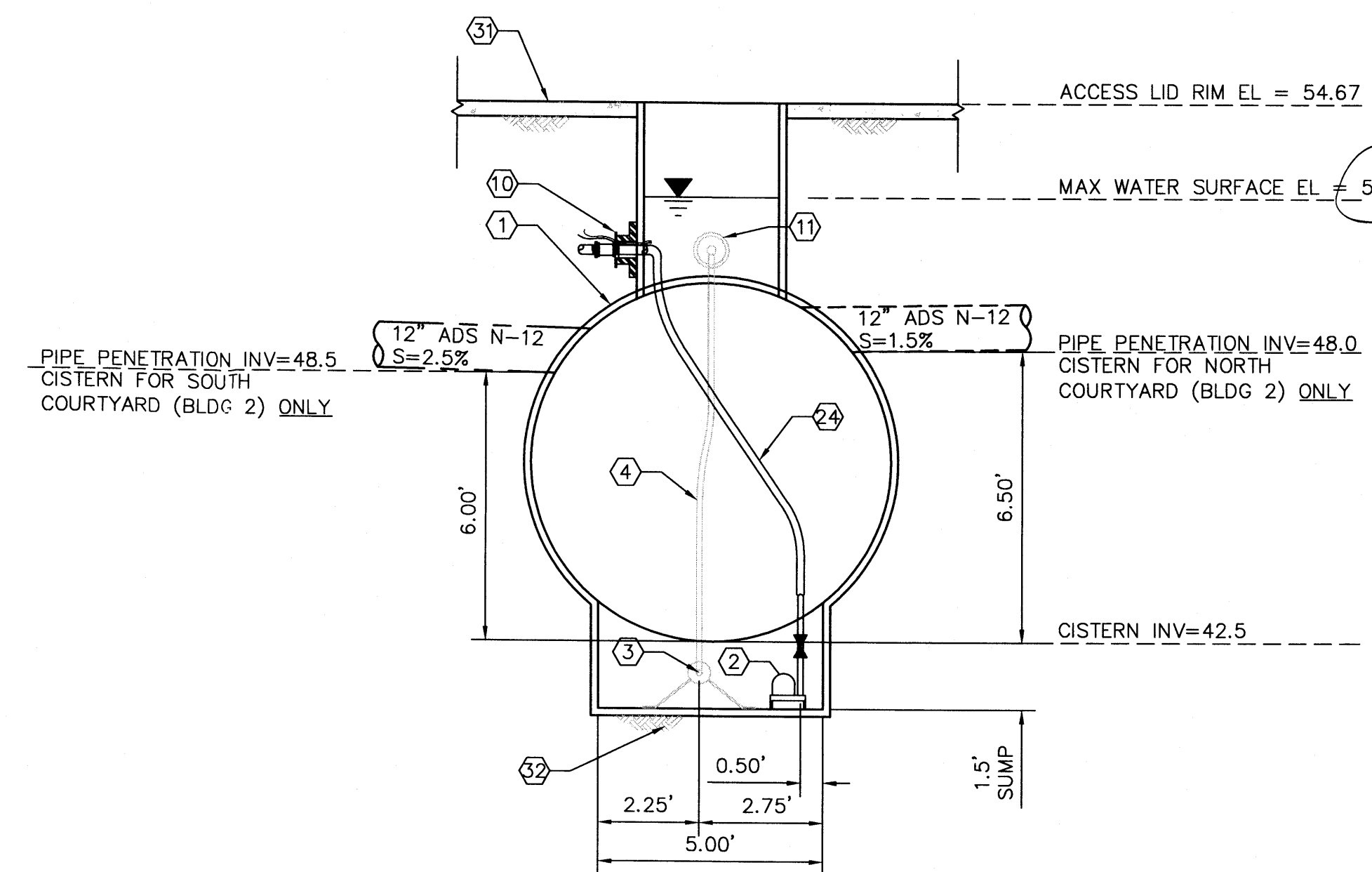
DETAIL B  
SD FM OUTLET AT  
NE CORNER OF BLDG 2

SCALE: 1"=3'



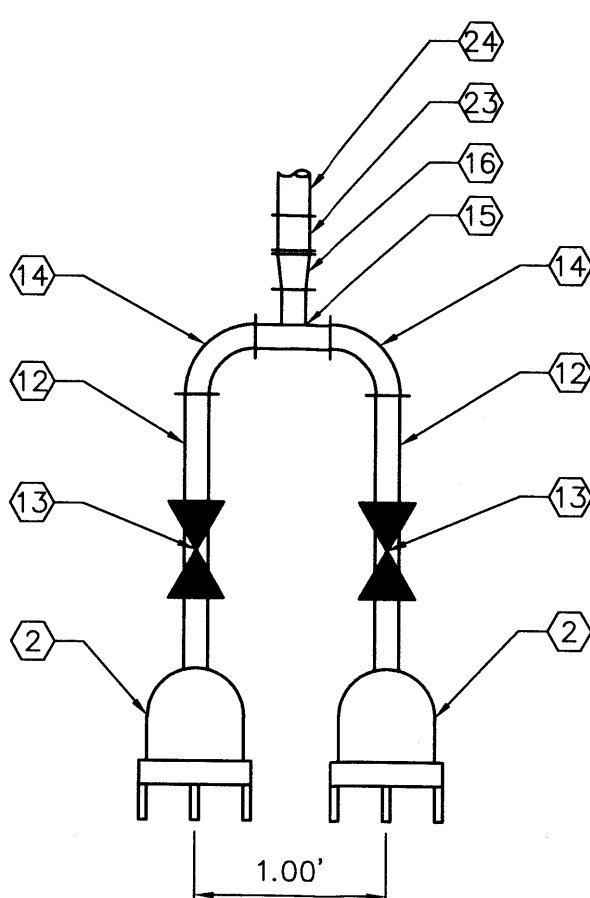
SUMP PLAN VIEW

SCALE: N.T.S.



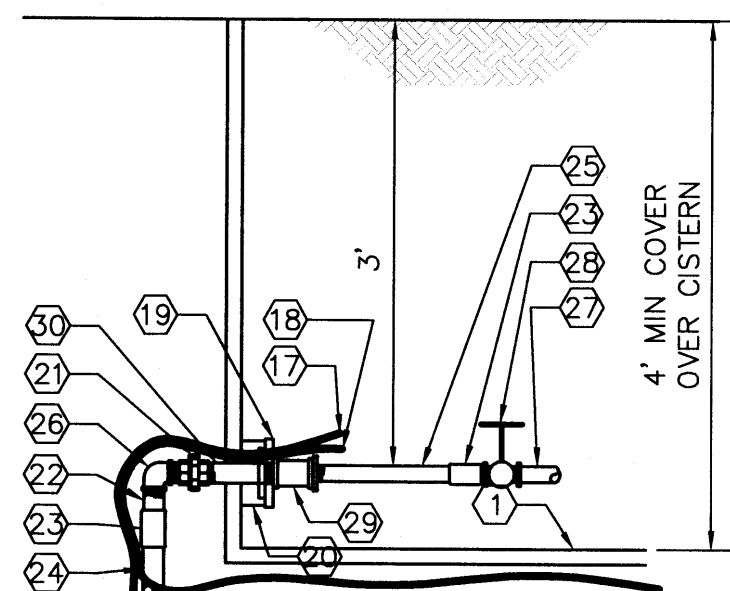
CISTERN SECTION

SCALE: N.T.S.



STORM PUMP DETAIL

SCALE: N.T.S.



CISTERN PENETRATION FOR PUMP

SCALE: N.T.S.



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**VICINITY MAP**



**KEYED NOTES**

- EXISTING SIDEWALK CULVERT IN PUBLIC RIGHT-OF-WAY.
- HANDICAP RAMP. SEE ARCHITECTURAL PLANS.
- HEADER CURB FOR ELEVATION CHANGE AGAINST EDGE OF BUILDING. SEE ARCHITECTURAL DETAILS.
- HEADER CURB FOR ELEVATION CHANGE WITHIN THE SIDEWALK AT A FENCE AREA. SEE ARCHITECTURAL DETAILS.
- NOT USED
- 2' WIDE CONCRETE ALLEY GUTTER. SEE DETAIL ON SHEET CG-501.
- INTERNAL FLOOR ELEVATION CHANGE.
- STORM WATER CISTERN. SEE DETAIL FOR CISTERN ON SHEET CG-502.
- STORM DRAINS PER DETAILS ON SHEET CG-502.
- 24" DIA NYLOPLAST BASIN PER DETAILS ON SHEET CG-503.

**NOTE:**  
SEE SHEETS CG-501, CG-502,  
CG-503, & CG-504 FOR STORM  
DRAIN & CISTERN DETAILS AND  
DRAINAGE NOTES.

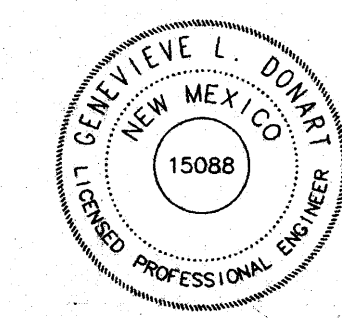
**DRAINAGE CERTIFICATION**

I, Genevieve L. Donart, NMPE, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 10/23/2012. The record information edited onto the original design document has been obtained by Rex Vogler, NMPS #10466, of the firm Rio Grande Surveying. I further certify that I have personally visited the project site at various times as documented below and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for those individual buildings listed below.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

The below table identifies the phase(s) and building(s) being certified on the corresponding shown date(s). The phasing limits are of the individual certifications are found on the attached phasing plan.

Phase / Building No.	Certification	Date
Phase 1 / Bldgs 1 & 4	Genevieve L. Donart	12/18/13
Phase 2 / Bldg 3	Genevieve L. Donart	01/03/14
Phase 3 / Bldgs 2 & 5		



**REVISIONS**

NO.	DESCRIPTION
1	9/4/12 MODIFIED SD FM PIPING

DRAWN BY GLD

REVIEWED BY

DATE 9/4/12

PROJECT NO. 12-0047

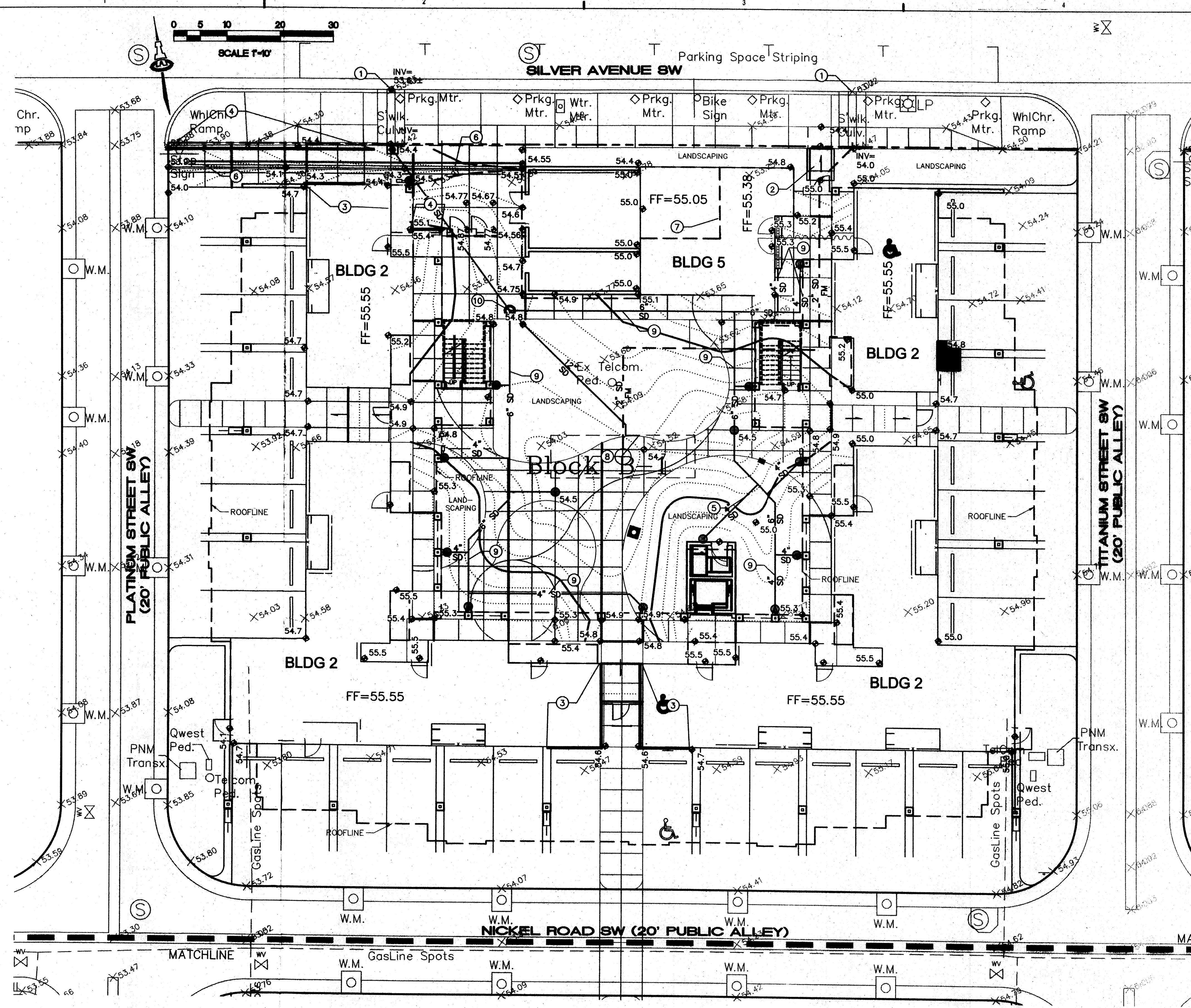
DRAWING NAME

**GRADING &  
DRAINAGE PLAN**

SHEET NO.

**CG-101**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
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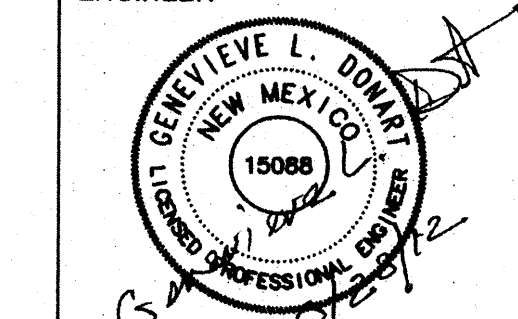


# Dekker Perich Sabatini

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505 761-9700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

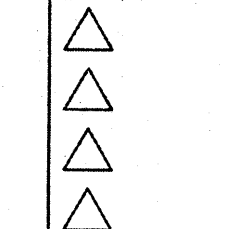
ENGINEER



PROJECT

Casitas de Colores  
215 Lead Avenue  
Albuquerque, New Mexico

REVISIONS



DRAWN BY

REVIEWED BY

DATE 8/23/12

PROJECT NO. 12-0047

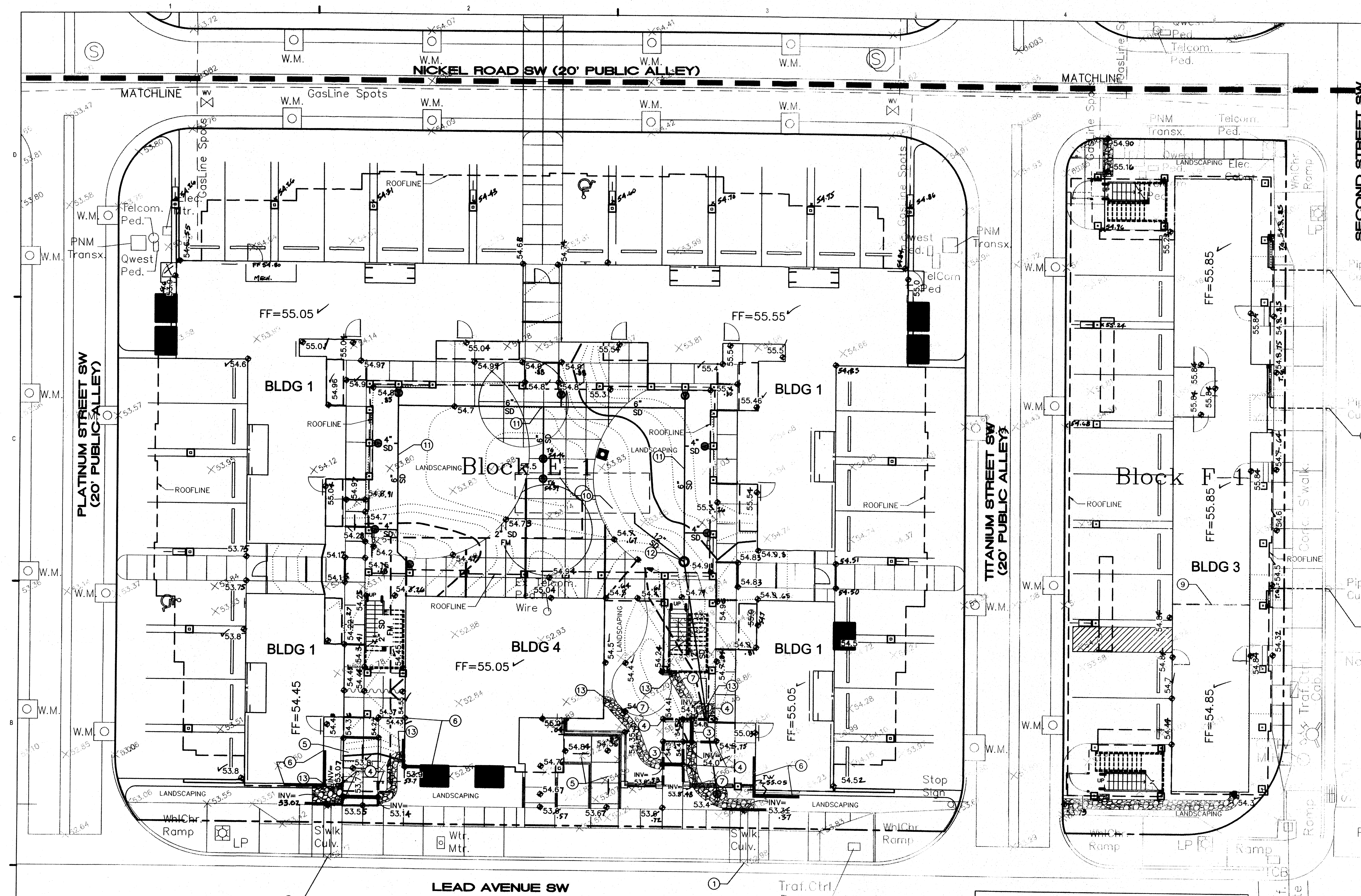
DRAWING NAME

GRADING &  
DRAINAGE PLAN

SHEET NO.

CG-102

OF



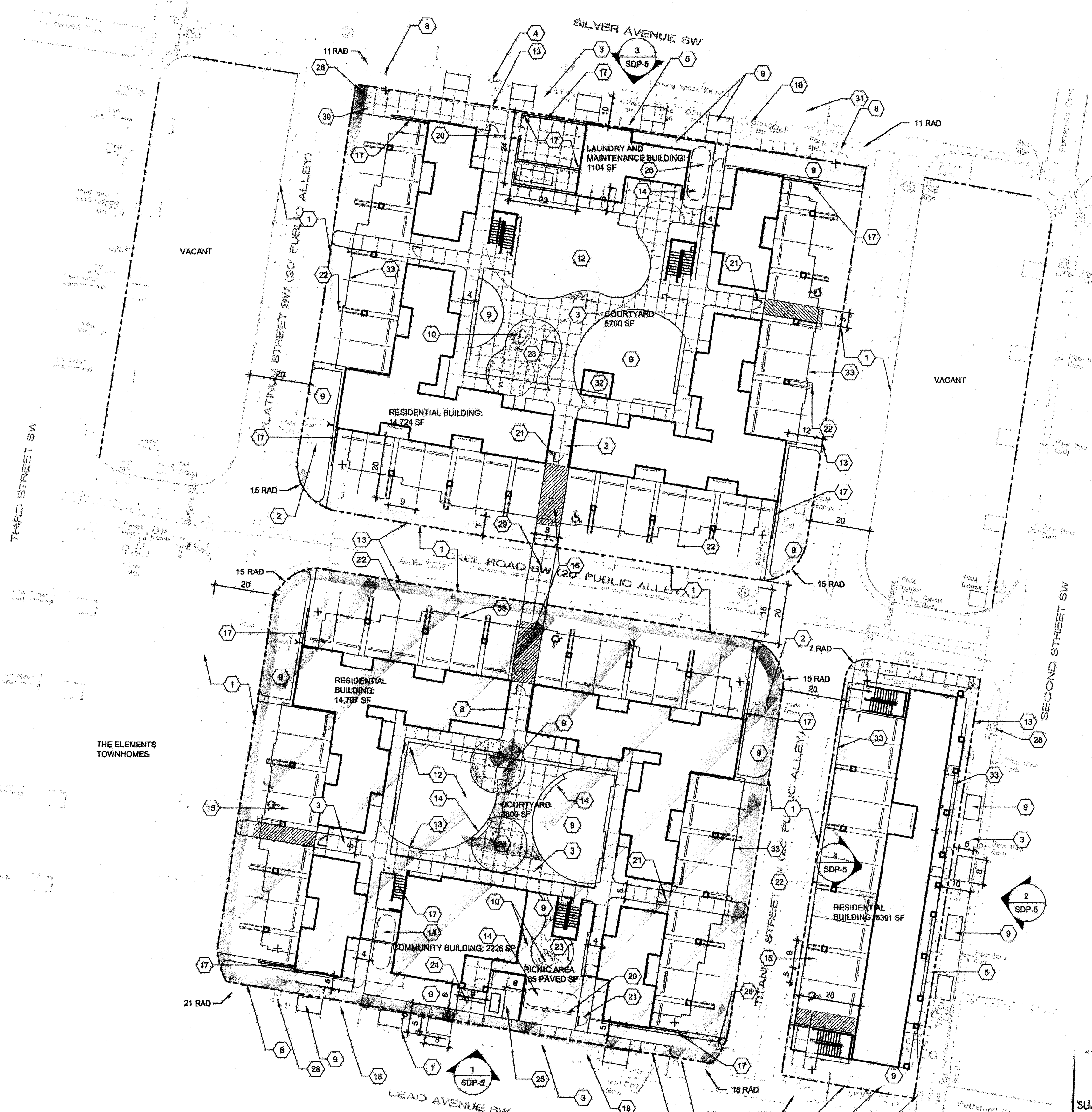
## KEYED NOTES

- EXISTING SIDEWALK CULVERT IN PUBLIC RIGHT-OF-WAY.
- EXISTING PIPES UNDER PUBLIC SIDEWALK FOR ROOF DRAIN CONNECTION.
- 2-4" DRAIN PIPES THROUGH THE SIDEWALK PER DETAIL ON SHEET CG-501, PER INVERTS SHOWN ON PLAN.
- TURN-DOWN SIDEWALK EDGE. SEE ARCHITECTURAL PLANS.
- HANDICAP RAMP. SEE ARCHITECTURAL PLANS.
- HEADER CURB FOR ELEVATION CHANGE AGAINST EDGE OF BUILDING. SEE ARCHITECTURAL PLANS.
- FRACTURED FACE ROCK SWALE PER DETAIL ON SHEET CG-501.
- NOT USED.
- INTERNAL FLOOR ELEVATION CHANGE.
- STORM WATER CISTERN. SEE DETAIL FOR CISTERN ON SHEET CG-502.
- ROOF DRAIN DISCHARGE TO 6" ADS N-12 WT (WATER-TIGHT) DRAINAGE SYSTEM WITH IN-LINE DRAINS PER DETAIL ON SHEET CG-502.
- 24" DIA NYLOPLAST BASIN PER DETAILS ON SHEET CG-502.
- ROOF DRAIN DISCHARGES TO FRACTURED FACE ROCK PAD.

NOTE:  
SEE SHEETS CG-501, CG-502, &  
CG-503 FOR STORM DRAIN DETAILS  
AND DRAINAGE NOTES.

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128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com





**SITE PLAN FOR BUILDING PERMIT**  
1" = 20'-0"

**SITE DEVELOPMENT PLAN APPROVAL**  
SU-3 DOWNTOWN URBAN CENTER  
FILE NO: PA-11-138  
MRes. Housing  
6/15/12  
PLANNING DIRECTOR DATE

**SITE INFORMATION**

**LEGAL DESCRIPTION**  
TRACT A, BLOCK B, E.F. AMENDED PLAT FOR SILVER TOWNHOMES  
  
GROSS BUILDING AREA (GBA):  
BUILDING (GROUND FLOOR) = 13,027 SF  
TOTAL (ALL FLOORS) = 60,224 SF  
FAR = 1.12  
  
TOTAL SITE AREA: 53,653 SF = 1.23 ACRES

**GENERAL NOTES**

- A. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- B. REFER TO CIVIL DRAWINGS FOR ON-SITE BUILDING LOCATION, CURBS AND GUTTERS DIMENSIONS, AND OTHER DIMENSIONS NOT SHOWN ON THIS SHEET.
- C. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-10-3-9 AREA LIGHTING REGULATIONS.
- D. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES

**KEYED NOTES**

- 1. EXISTING CURB, GUTTER, AND STREET TO REMAIN
- 2. EXISTING UTILITIES AND EASEMENTS
- 3. EXISTING SIDEWALK TO REMAIN
- 4. EXISTING PARKING METER TO REMAIN
- 5. CONCRETE SIDEWALK
- 6. CONCRETE JOINT
- 7. FLUSH CONCRETE CURB
- 8. EXISTING CONCRETE ACCESSIBLE RAMP TO REMAIN
- 9. LANDSCAPE AREA
- 10. SITE FURNISHINGS
- 11. SHADE STRUCTURE
- 12. PLAYGROUND SURFACING
- 13. PROPERTY LINE
- 14. WATER HARVESTING CISTERN
- 15. ACCESSIBLE PARKING
- 16. STONE SEAT WALL
- 17. SITE WALL
- 18. EXISTING SIDEWALK CULVERT
- 19. HEAVY DUTY CONCRETE SIDEWALK
- 20. PERIMETER FENCING
- 21. CONTROLLED ACCESS GATE
- 22. GREENSCREEN TRELLIS
- 23. ARCHITECTURAL CONCRETE
- 24. STEPS
- 25. ACCESSIBLE RAMP
- 26. EXISTING STOP SIGN
- 27. EXISTING TRAFFIC SIGNAL
- 28. EXISTING STREET LIGHTING
- 29. CONCRETE, TEXTURED PEDESTRIAN CROSSING
- 30. DUMPSTER COLLECTION AREA
- 31. ON-STREET PARALLEL PARKING
- 32. ELEVATOR
- 33. ROOF ABOVE

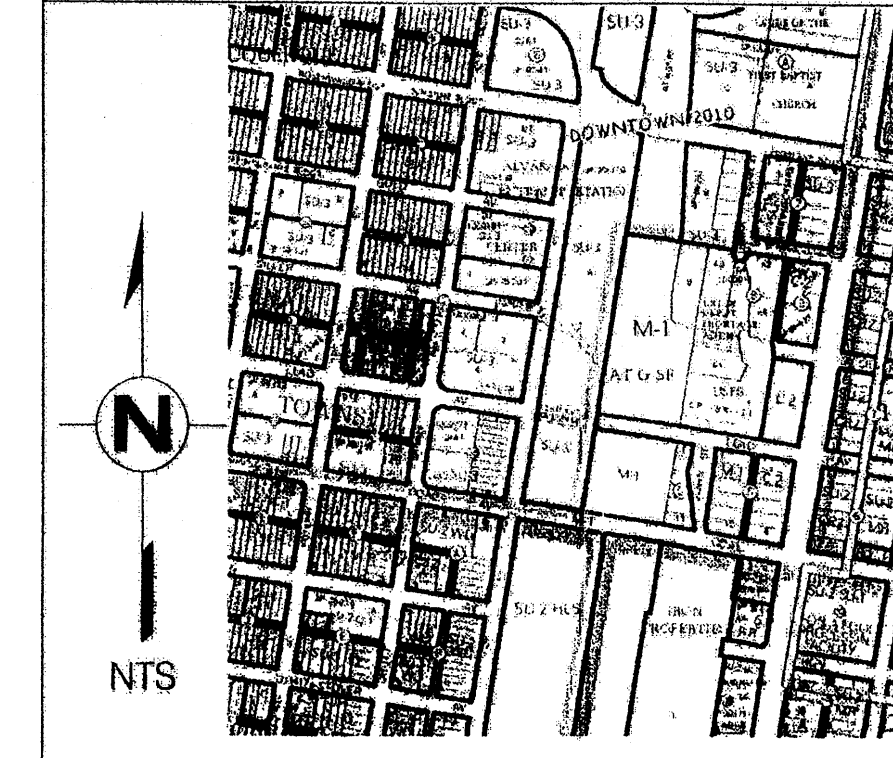
**PARKING**

TOTAL:  
PARKING PER R-3: 87 SPACES  
TRANSIT REDUCTION (10%): 8 SPACES  
SUBTOTAL: 79  
ON-STREET PARKING (1:1 RATIO): 8 SPACES  
PARKING (ADJUSTED): 73 SPACES  
PARKING PROVIDED: 70 SPACES  
ACCESSIBLE REQD / PROVIDED: 4 SPACES / 5 SPACES  
  
BICYCLE PARKING:  
REQUIRED: UNITS/2 = 87 / 2 = 43 SPACES  
PROVIDED: 51 SPACES

**UNIT COUNTS**

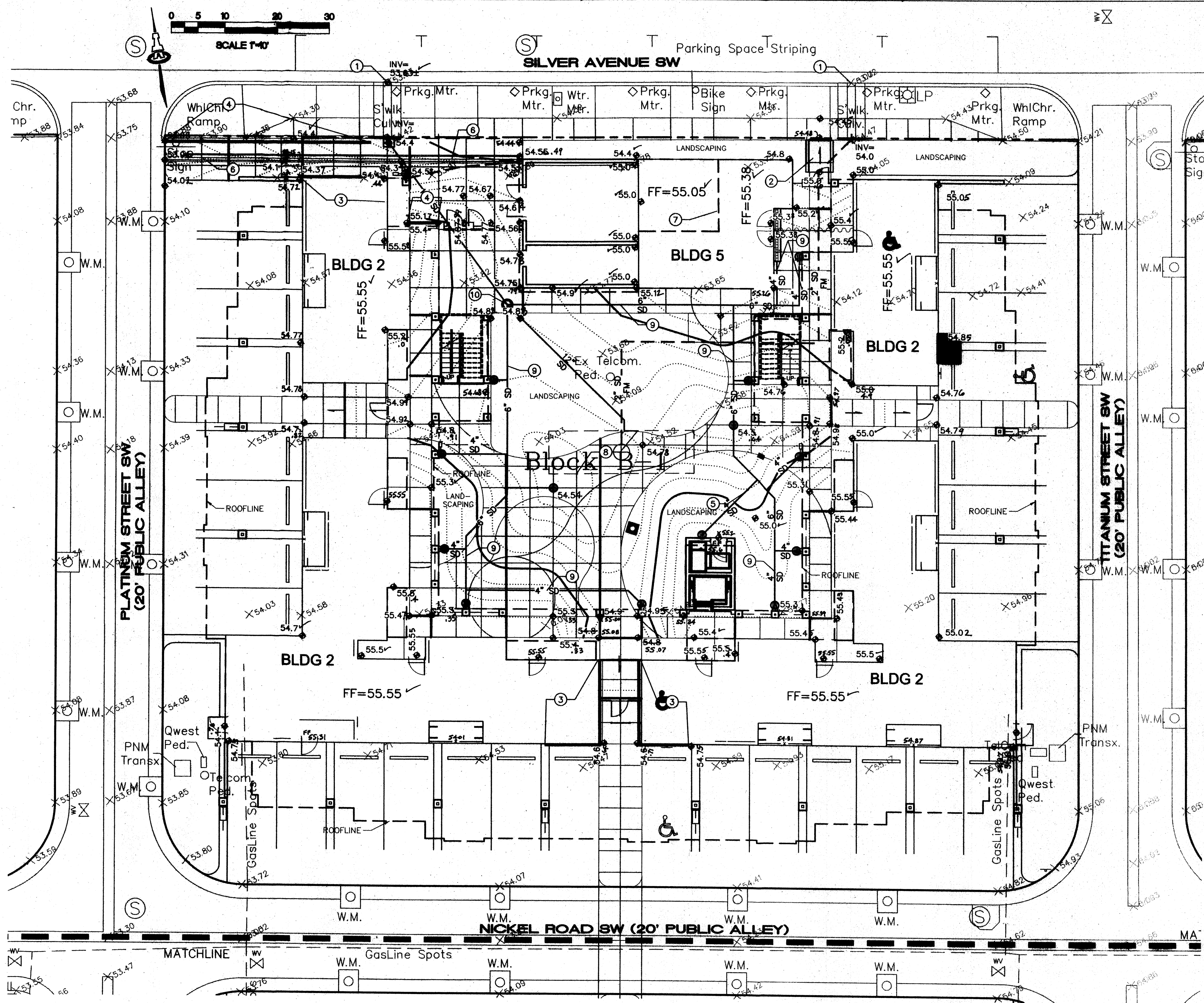
10 THREE BEDROOM UNITS = 60 BEDROOMS  
16 TWO BEDROOM UNITS = 64 BEDROOMS  
15 ONE BEDROOM UNITS = 15 BEDROOMS  
4 EFFICIENCY UNITS = 4 BEDROOMS  
TOTAL = 143 BEDROOMS  
  
OPEN SPACE PER R-3  
REQUIRED: 28,600 SF  
PROVIDED: 31,413 SF

**VICINITY MAP**



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dps@dpsdesign.org  
ARCHITECT  
  
ENGINEER  
  
PROJECT  
  
Casitas de Colores  
215 Lead Avenue  
Albuquerque, New Mexico  
  
REVISIONS  
△  
△  
△  
△  
  
DRAWN BY KR  
REVIEWED BY  
DATE 6/12/12  
PROJECT NO. 12-0047  
DRAWING NAME  
  
SITE DEVELOPMENT  
PLAN FOR  
BUILDING PERMIT  
  
SHEET NO.  
**SDP-1**  
5 OF 150





# VICINITY MAP



## KEYED NOTES

- EXISTING SIDEWALK CULVERT IN PUBLIC RIGHT-OF-WAY.
- HANDICAP RAMP. SEE ARCHITECTURAL PLANS.
- HEADER CURB FOR ELEVATION CHANGE AGAINST EDGE OF BUILDING. SEE ARCHITECTURAL PLANS.
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NOTE:  
SEE SHEETS CG-501, CG-502,  
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DRAIN & CISTERN DETAILS AND  
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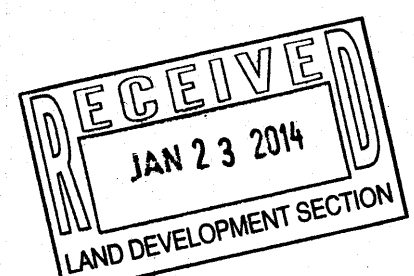
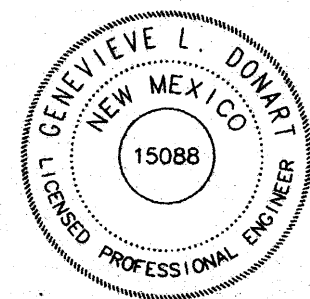
## DRAINAGE CERTIFICATION

I, Genevieve L. Donat, NMPE, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 10/23/2012. The record information edited onto the original design document has been obtained by Rex Vogler, NMPS #10486, of the firm Rio Grande Surveying. I further certify that I have personally visited the project site at various times as documented below and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for those individual buildings listed below.

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Phase 2 / Bldg 3	Genevieve L. Donat	01/03/14
Phase 3 / Bldgs 2 & 5	Genevieve L. Donat	01/22/14



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architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

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ARCHITECT

ENGINEER

**GENEVIEWE L. DONAT**  
NEW MEXICO  
15088  
PROFESSIONAL ENGINEER

PROJECT

**Casitas de Colores**  
215 Lead Avenue  
Albuquerque, New Mexico

REVISIONS

△ 9/4/12 MODIFIED 30 PM PIPING

△

△

△

△

DRAWN BY GLD

REVIEWED BY

DATE 9/4/12

PROJECT NO. 12-0047

DRAWING NAME

**GRADING & DRAINAGE PLAN**

SHEET NO.

**CG-101**

OF



# Dekker Perich Sabatini

7801 Jefferson NE Suite 100  
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dps@dpsdesign.org

ARCHITECT

ENGINEER



PROJECT

Casitas de Colores  
215 Lead Avenue  
Albuquerque, New Mexico

REVISIONS



DRAWN BY

REVIEWED BY

DATE 8/23/12

PROJECT NO. 12-0047

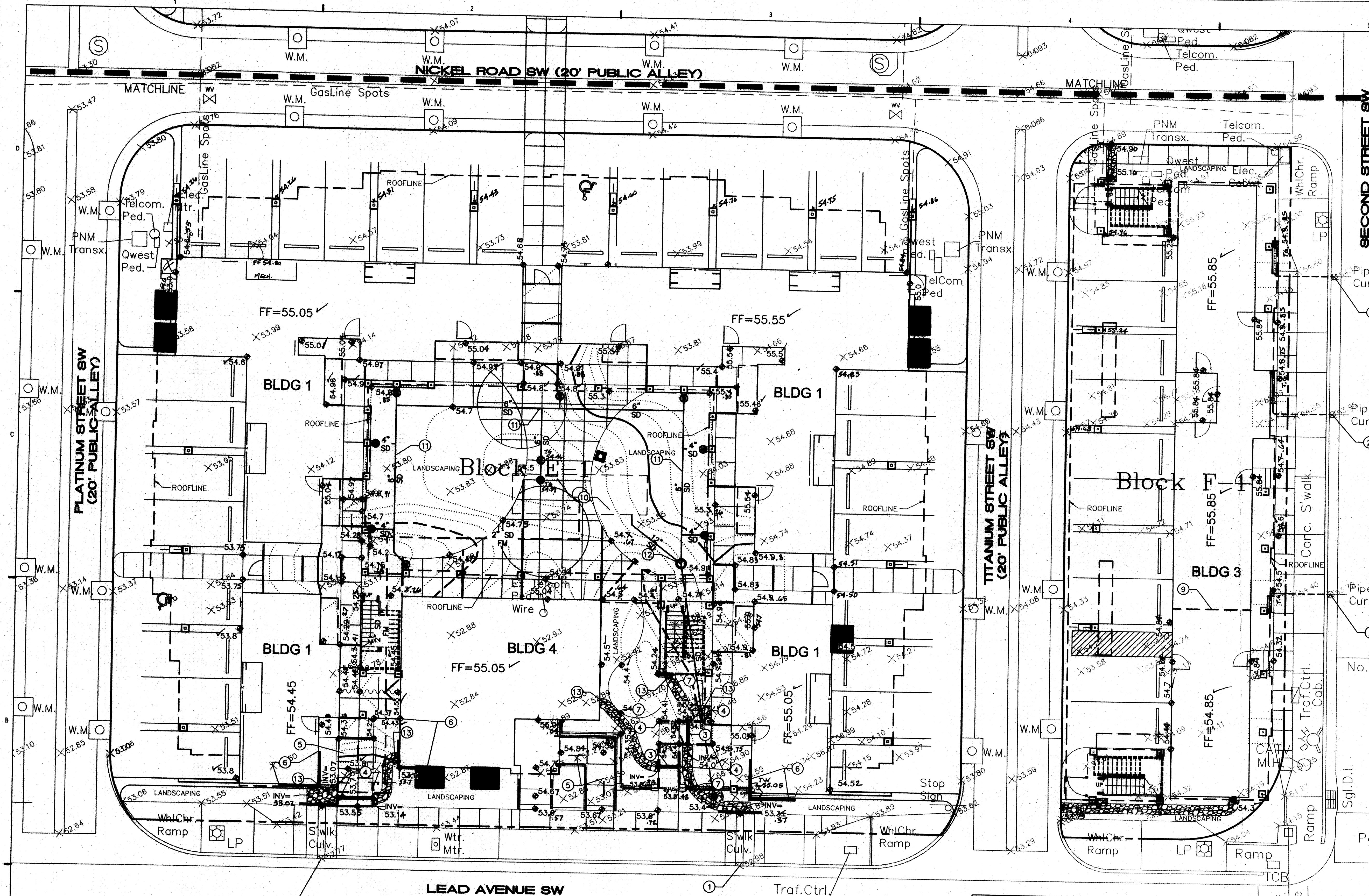
DRAWING NAME

GRADING &  
DRAINAGE PLAN

SHEET NO.

CG-102

OF



NOTE:  
SEE SHEETS CG-501, CG-502, &  
CG-503 FOR STORM DRAIN DETAILS  
AND DRAINAGE NOTES.

## KEYED NOTES

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- EXISTING PIPES UNDER PUBLIC SIDEWALK FOR ROOF DRAIN CONNECTION.
- 2-4" DRAIN PIPES THROUGH THE SIDEWALK PER DETAIL ON SHEET CG-501, PER INVERTS SHOWN ON PLAN.
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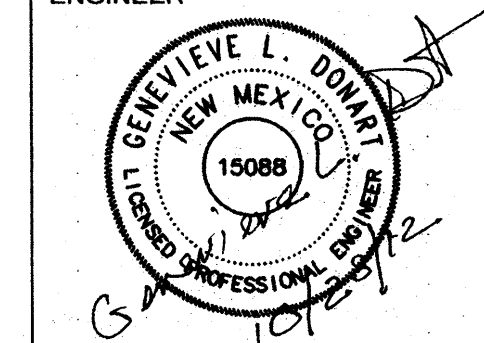


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ARCHITECT

ENGINEER



PROJECT

**Casitas de Colores**  
215 Lead Ave NE  
City of Albuquerque

## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB 1/2 ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "E", TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- BACKFILL ALL TRENCHING IN 6" LOOSE LIFTS. COMPACT LIFTS TO 95% MIN.

## SITE CONDITIONS

### EXISTING CONDITIONS:

THIS SITE WAS PREVIOUSLY DEVELOPED AS "SILVER TOWNHOMES," A SINGLE-FAMILY, ZERO-LOT LINE TOWNHOME PROJECT. TOWNHOMES WERE BUILT ON BLOCK D. DUE TO CHANGING MARKETS, THE CURRENT DEVELOPER HAS CHOSEN TO DEVELOP THE REMAINING SITE AS AN APARTMENT COMPLEX. THE CURRENT PROJECT DEVELOPS BLOCKS B-1, D-1, & E-1.

THE SITE IS LOCATED BETWEEN 2ND & 3RD STREETS, AND LEAD & SILVER AVENUES. THE SITE IS VERY FLAT, WITH MINIMAL SLOPE FROM NORTH TO SOUTH. THERE ARE NO INTERNAL STORM DRAINS.

SILVER TOWNHOMES WAS DESIGNED WITH FREE SURFACE DISCHARGE FOR THE ENTIRE SITE. THERE ARE 4 EXISTING SIDEWALK CULVERTS THAT DISCHARGE TO LEAD AVE AND SILVER AVE (2 EACH). THERE ARE PIPE PENETRATIONS THROUGH THE CURBS ALONG 2ND & 3RD ST FOR ROOF DISCHARGE. INTERNAL ALLEYS DIRECT WATER TO ALL 4 SURROUNDING STREETS.

### PROPOSED CONDITIONS:

THE SITE DETAINS THE VOLUME OF THE 1/2" STORM FROM TRACTS A-1, B-1, C-1, E-1, & F-1 IN 2 - 932 C.F. UNDERGROUND DETENTION BASINS (CISTERNS). AN ADDITIONAL 267 C.F. IN EACH CISTERN'S CAPACITY IS DESIGNATED FOR IRRIGATION USE. ROOF FLOWS AND STORM WATER FROM THE COURTYARDS WITHIN BLOCK B-1 & E-1 ARE COLLECTED AND DIRECTED TO THE CISTERNS. WATER QUALITY MANHOLES TREAT THE WATER BEFORE IT ENTERS THE CISTERS. STORMS IN EXCESS OF THE CISTERN CAPACITY WILL OVERFLOW FROM THE WATER QUALITY MANHOLES INTO PIPES, WHERE THEY "BUBBLE UP", AND SURFACE DISCHARGE TO SILVER AVE AND LEAD AVE. THE EXISTING SIDEWALK CULVERTS AND PIPE PENETRATIONS WILL BE UTILIZED TO DIRECT SITE FLOWS TO THE ADJOINING STREETS.

THE ROOF FLOWS FROM BLOCK E-1 WILL BE DISCHARGED TO 2ND ST THROUGH THE EXISTING PIPE PENETRATIONS IN THE CURB.



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates

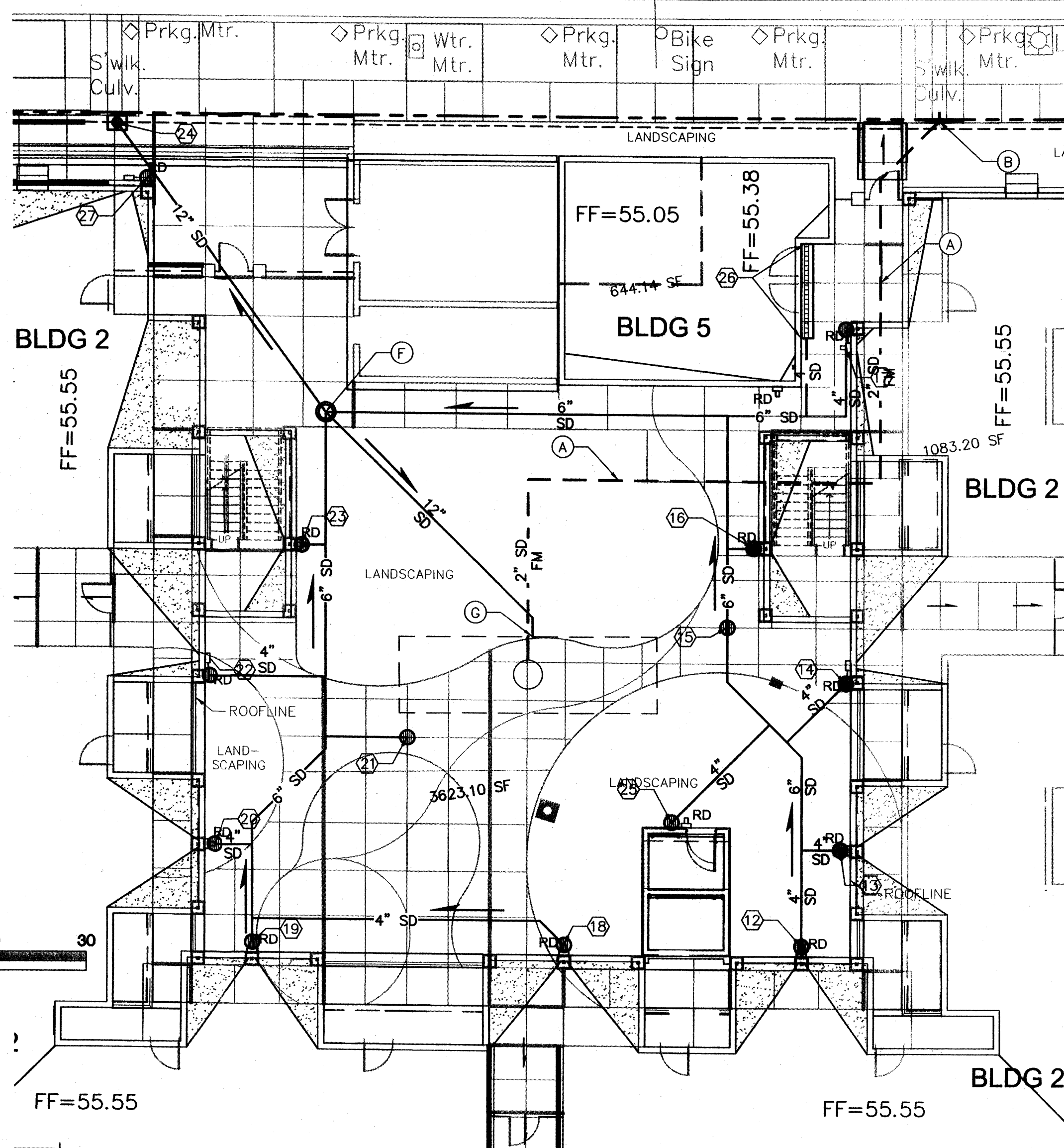
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isacivil.com  
1925 CG-501.dwg Oct 23, 2012

SHEET NO.

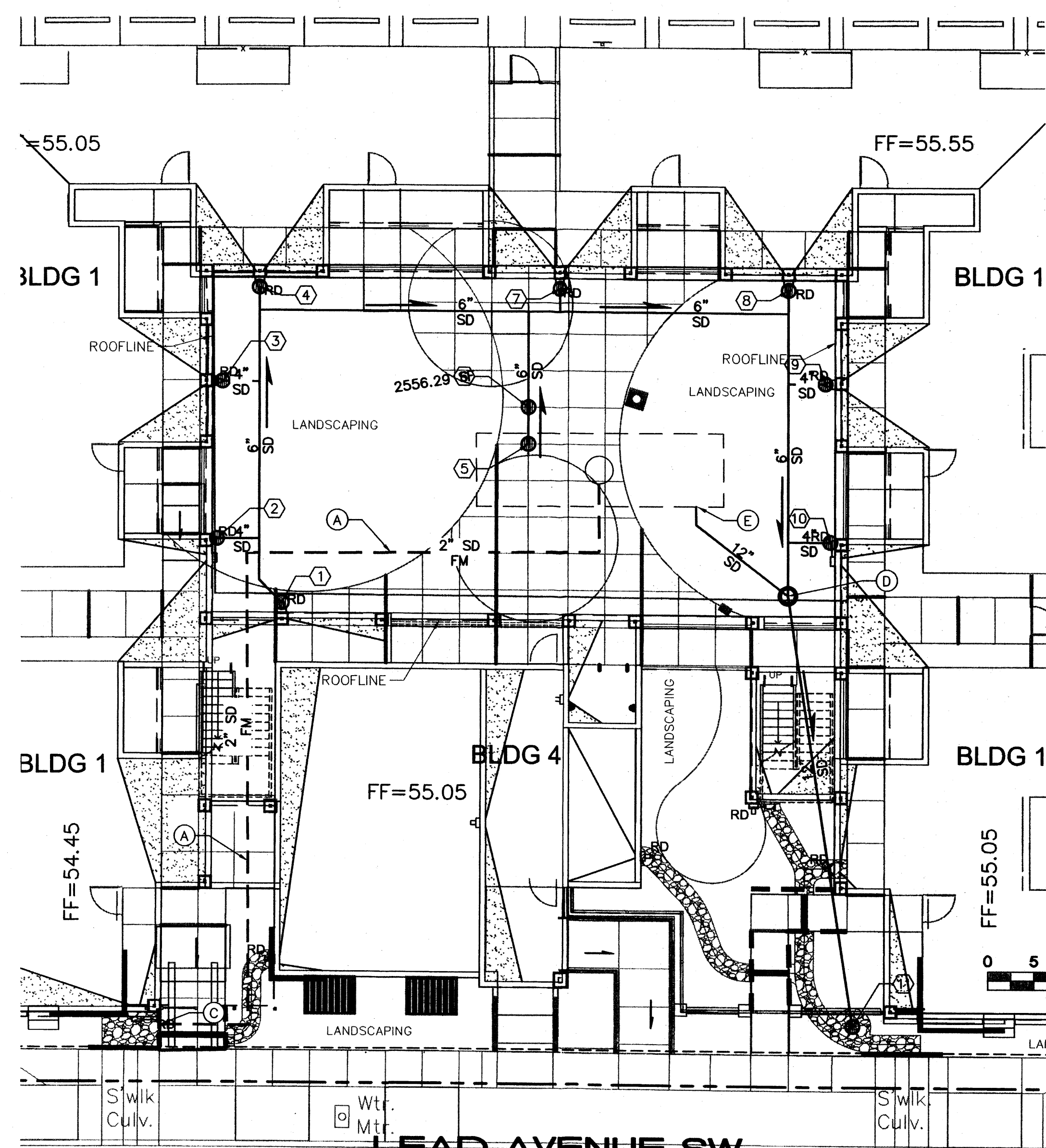
**CG-502**

OF

## SILVER AVENUE SW



## NORTH COURTYARD (BLDG 2) STORM DRAIN



## LEAD AVENUE SW SOUTH COURTYARD (BLDG 1) STORM DRAIN

## STORM DRAIN GENERAL NOTES

- STORM DRAIN PIPES 6" OR LARGER SHALL BE ADS N-12WT (WATERTIGHT) OR AN ENGINEER APPROVED EQUAL. INSTALL ADS TEES AND BENDS AS NEEDED.
- STORM DRAIN PIPES 4" OR SMALLER SHALL BE PVC SCHEDULE 40, OR AN ENGINEER APPROVED EQUAL. INSTALL PVC TEES AND BENDS AS NEEDED.
- SEALS AND GASKETS SHALL BE USED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- GRAVITY STORM DRAINS SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE.
- BACKFILL ALL TRENCHING IN 6" LOOSE LIFTS. COMPACT LIFTS TO 95% MIN.
- UNDERGROUND CISTERNS TO REMAIN WATERTIGHT. CONTRACTOR SHALL NOT PUNCTURE, CUT, OR PERFORATE THE CISTERN.
- STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT. THE WATER TREATMENT MANHOLES (NYLOPLAST BASINS) WILL NEED TO BE CLEANED MONTHLY. THE CISTERS SHOULD BE INSPECTED AT LEAST EVERY 3 MONTHS FOR THE FIRST YEAR TO DETERMINE THE AMOUNT OF ACCUMULATION THAT WILL BE TYPICAL AND CLEANED AS NEEDED. THIS INSPECTION WILL HELP THE OWNER TO DETERMINE A SCHEDULE FOR REGULAR MAINTENANCE OF THE CISTERS.

## STORM INLET TABLE

ID	TYPE	RIM ELEV.	INVERT AT MAIN
1	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.87	51.8
2	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.87	51.6
3	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.87	51.3
4	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.87	51.1
5	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.87	50.9
6	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.87	50.8
7	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.87	50.5
8	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.37	50.0
9	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.37	49.8
10	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.17	49.5
11	NDS 18" INLINE DRAIN WITH DOME GRATE	53.47	51.4
12	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.37	52.8
13	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.37	52.6
14	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.95	52.3
15	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.87	52.1
16	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.87	51.9
17	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	55.27	52.3
18	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.94	52.4
19	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	55.37	51.7
20	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.37	51.6
21	DS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.54	51.3
22	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.97	51.1
23	ROOF DRAIN PER DETAIL ON SHEET CG-501	54.73	50.9
24	NDS 18" INLINE DRAIN WITH STANDARD GRATE, INSTALL IN BOX PER DETAIL ON SHEET CG-501	53.93	51.9
25	ROOF DRAIN PER DETAIL ON SHEET CG-501	55.37	52.3
26	9.8 LF ACO TRENCH DRAIN K5100S WITH PEDESTRIAN IRON GRATE	55.36	52.1
27	NDS 12" INLINE DRAIN WITH 12" PEDESTRIAN GRATE	54.42	

## KEYED NOTES

- 2" PVC SCHEDULE 40 FORCE MAIN FOR STORM WATER PUMPED FROM CISTERN. MAINTAIN 3' MINIMUM BURY, EXCEPT AT DISCHARGE POINTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- DISCHARGE FORCE MAINS INTO EXISTING SIDEWALK CULVERT. MATCH EXISTING INVERT. SEE DETAIL B ON SHEET CG-504.
- DISCHARGE FORCE MAINS THROUGH A PIPE PENETRATION IN THE TURN-DOWN EDGE OF SIDEWALK PER DETAIL A ON SHEET CG-504. PIPES SHALL BE FLUSH WITH EDGE OF CONCRETE.
- WATER TREATMENT MANHOLE #1. 24" NYLOPLAST BASIN W/ LOCKING SOLID LID. INSTALL PER MANUFACTURER'S SPECIFICATIONS.  
RIM EL = 54.8  
SUMP EL = 46.3  
INV (N) = 49.3  
INV (W) = 48.3 (INSTALL NYLOPLAST ENVIROHOOD)  
INV (S) = 51.0 (OVERFLOW)
- 12" ADS N-12(WT) PIPE PENETRATES CISTERN. INSTALL PER CISTERN MANUFACTURER'S SPECIFICATIONS.  
INV = 48.0
- WATER TREATMENT MANHOLE #2. 24" NYLOPLAST BASIN W/ LOCKING SOLID LID. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.  
RIM EL = 54.8  
SUMP EL = 45.4  
INV (S) = 50.6  
INV (E) = 50.0  
INV (SE) = 48.4 (INSTALL NYLOPLAST ENVIROHOOD)  
INV (NW) = 51.0 (OVERFLOW)
- 12" ADS N-12(WT) PIPE PENETRATES CISTERN. INSTALL PER CISTERN MANUFACTURER'S RECOMMENDATIONS.  
INV = 47.9

## PROJECT DATA

**LEGAL DESCRIPTION:** BLOCKS B-1, E-1, & F-1 OF SILVER TOWNHOMES, AS SHOWN ON THE PLAT ENTITLED "BLOCKS A-1, B-1, C-1, E-1, & F-1, SILVER TOWNHOMES", FILED FOR RECORD AT THE BERNALILLO COUNTY RECORDER'S OFFICE IN BOOK 2012C, PAGE 12, ON 02/01/2012.

**SITE AREA:** 1.23 AC.

**FLOOD ZONE:** THE SUBJECT PROPERTY IS WITHIN ZONE X, OUTSIDE THE 0.1% CHANCE FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP 35001C0334G, DATED SEPTEMBER 26, 2008.

**ENGINEER:** GENEVIEVE DONART  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, APO, NM 87108  
PHONE: (505) 268-8828

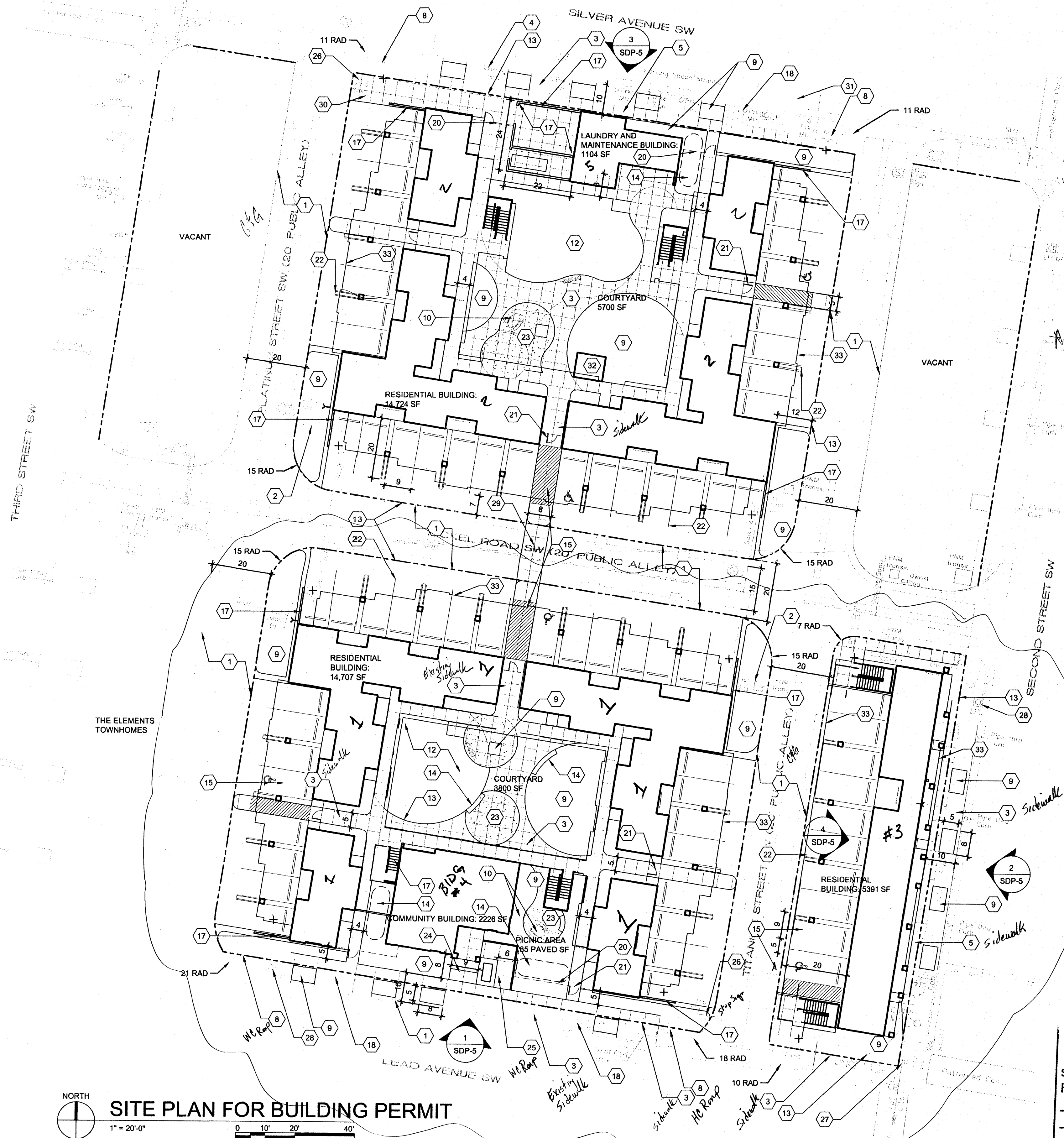
**SURVEYOR:** REX VOGLER  
RIO GRANDE SURVEYING, INC.  
P.O. BOX 7155  
ALBUQUERQUE, NM 87194  
PHONE: (505) 764-8891

**BENCHMARK:** ACS STA "18-K14",  
ELEV = 4960.723 (NAVD 1929.)

- 27LF - 96" DIAMETER DUROMAXX UNDERGROUND CISTERN WITH 1.5' DEEP SUMP, AND 1 - 3' DIAMETER ACCESS MANHOLE WITH LOCKING SOLID LID.  
INV = 42.5

2-HYDROMATIC SHEF30 EFFLUENT PUMPS IN DUPLEX SHALL BE INSTALLED INSIDE CISTERN WITH A SJE RHOMBUS 1HP DUPLEX CONTROL PANEL, MODEL 1222. LOCATE PANEL PER ARCHITECT'S PLANS. INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. IRRIGATION PUMPS WILL ALSO BE INSTALLED IN CISTERN. SEE IRRIGATION PLANS FOR IRRIGATION PUMPS. CONTRACTOR SHALL USE PRE-INSTALLED PORTS FOR PIPE CONNECTIONS.





# SITE PLAN FOR BUILDING PERMIT

1" = 20'-0"

0 10' 20' 40'

SITE  
DEVELOPMENT PLAN  
APPROVAL  
SU-3 DOWNTOWN URBAN CENTER  
FILE NO: PA-11-138  
MRes. Housing  
M. Manone 4/15/12  
PLANNING DIRECTOR DATE

## SITE INFORMATION

### LEGAL DESCRIPTION

TRACT A, BLOCK B, E.F. AMENDED PLAT FOR SILVER TOWNHOMES

GROSS BUILDING AREA (GBA):  
BUILDING (GROUND FLOOR) = 13,027 SF  
TOTAL (ALL FLOORS) = 60,224 SF  
FAR = 1.12

TOTAL SITE AREA: 53,653 SF = 1.23 ACRES

## GENERAL NOTES

- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- REFER TO CIVIL DRAWINGS FOR ON-SITE BUILDING LOCATION, CURBS AND GUTTERS DIMENSIONS, AND OTHER DIMENSIONS NOT SHOWN ON THIS SHEET.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3.9 AREA LIGHTING REGULATIONS.
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM. UNLESS MAINTENANCE FOR RIGHT-OR-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.

## KEYED NOTES

- EXISTING CURB, GUTTER, AND STREET TO REMAIN
- EXISTING UTILITIES AND EASEMENTS
- EXISTING SIDEWALK TO REMAIN
- EXISTING PARKING METER TO REMAIN
- CONCRETE SIDEWALK
- CONCRETE JOINT
- FLUSH CONCRETE CURB
- EXISTING CONCRETE ACCESSIBLE RAMP TO REMAIN
- LANDSCAPE AREA
- SITE FURNISHINGS
- SHADE STRUCTURE
- PLAYGROUND SURFACING
- PROPERTY LINE
- WATER HARVESTING CISTERN
- ACCESSIBLE PARKING
- STONE SEAT WALL
- SITE WALL
- EXISTING SIDEWALK CULVERT
- HEAVY DUTY CONCRETE SIDEWALK
- PERIMETER FENCING
- CONTROLLED ACCESS GATE
- GREENSCREEN TRELLIS
- ARCHITECTURAL CONCRETE
- STEPS
- ACCESSIBLE RAMP
- EXISTING STOP SIGN
- EXISTING TRAFFIC SIGNAL
- EXISTING STREET LIGHTING
- CONCRETE, TEXTURED PEDESTRIAN CROSSING
- DUMPSTER COLLECTION AREA
- ON-STREET PARALLEL PARKING
- ELEVATOR
- ROOF ABOVE

## PARKING

TOTAL:  
PARKING PER R-3: 87 SPACES  
TRANSIT REDUCTION (10%): 8 SPACES  
SUBTOTAL: 79  
ONSTREET PARKING (1:1 RATIO): 6 SPACES  
PARKING (ADJUSTED): 73 SPACES  
PARKING PROVIDED: 70 SPACES  
ACCESSIBLE REQ'D / PROVIDED: 4 SPACES / 5 SPACES

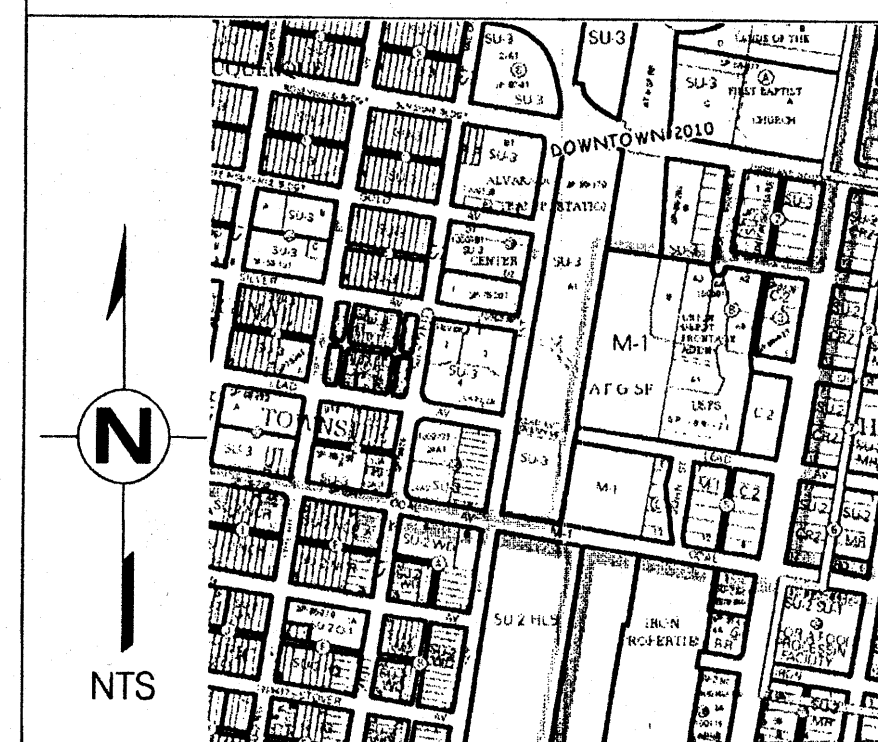
BICYCLE PARKING:  
REQUIRED: UNITS/2 = 87 / 2 = 43 SPACES  
PROVIDED: 51 SPACES

## UNIT COUNTS

10 THREE BEDROOM UNITS = 60 BEDROOMS  
16 TWO BEDROOM UNITS = 64 BEDROOMS  
15 ONE BEDROOM UNITS = 15 BEDROOMS  
4 EFFICIENCY UNITS = 4 BEDROOMS  
TOTAL = 143 BEDROOMS

OPEN SPACE PER R-3  
REQUIRED: 28,600 SF  
PROVIDED: 31,413 SF

## VICINITY MAP



architecture  
interiors  
landscape  
planning  
engineering

Dekker  
Perich  
Sabatini

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org

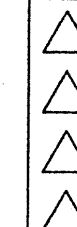
ARCHITECT

ENGINEER

PROJECT

Casitas de Colores  
215 Lead Avenue  
Albuquerque, New Mexico

### REVISIONS



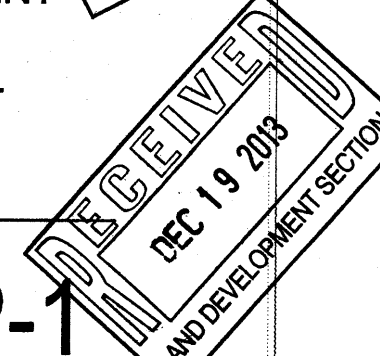
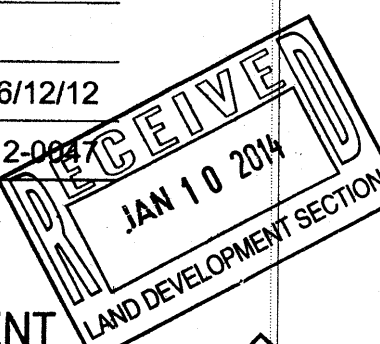
DRAWN BY: KR  
REVIEWED BY:  
DATE: 6/12/12  
PROJECT NO.: 12-0047  
DRAWING NAME:

SITE DEVELOPMENT  
PLAN FOR  
BUILDING PERMIT

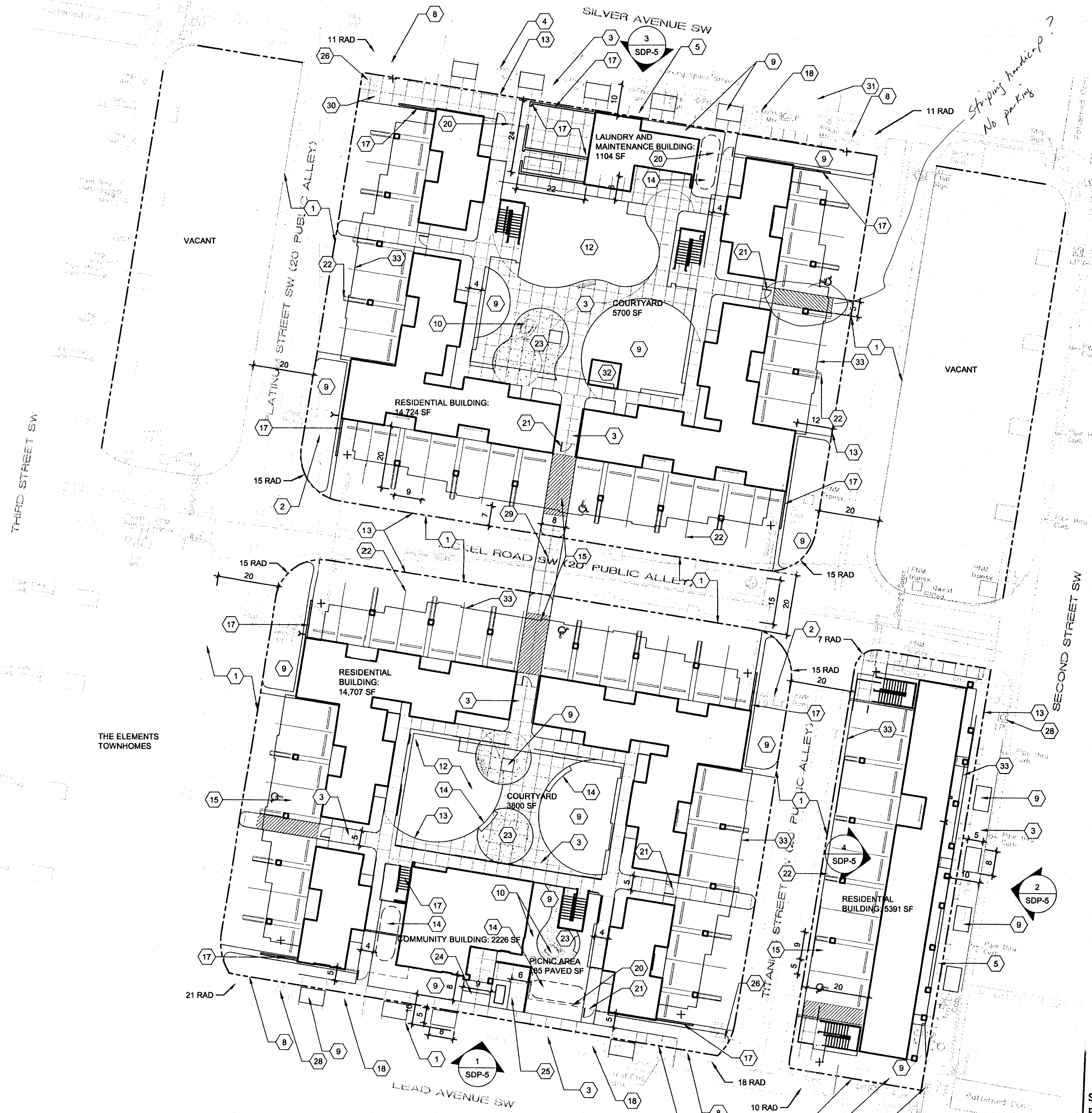
SHEET NO.

SDP-1

OF







**SITE PLAN FOR BUILDING PERMIT**  
1" = 20'-0"  
0 10' 20' 40'

**SITE DEVELOPMENT PLAN APPROVAL**  
SU-3 DOWNTOWN URBAN CENTER  
FILE NO: PA-11-138  
MFRes. Housing  
M. Manone 6/15/12  
PLANNING DIRECTOR DATE

**ADMINISTRATIVE AMENDMENT**  
FILE #PA-11-138 PROJECT #  
Revised parking calcs.  
No parking requirement  
in Downtown 2010 SDP.  
R.B. 12/20/13  
APPROVED BY DATE

## SITE INFORMATION

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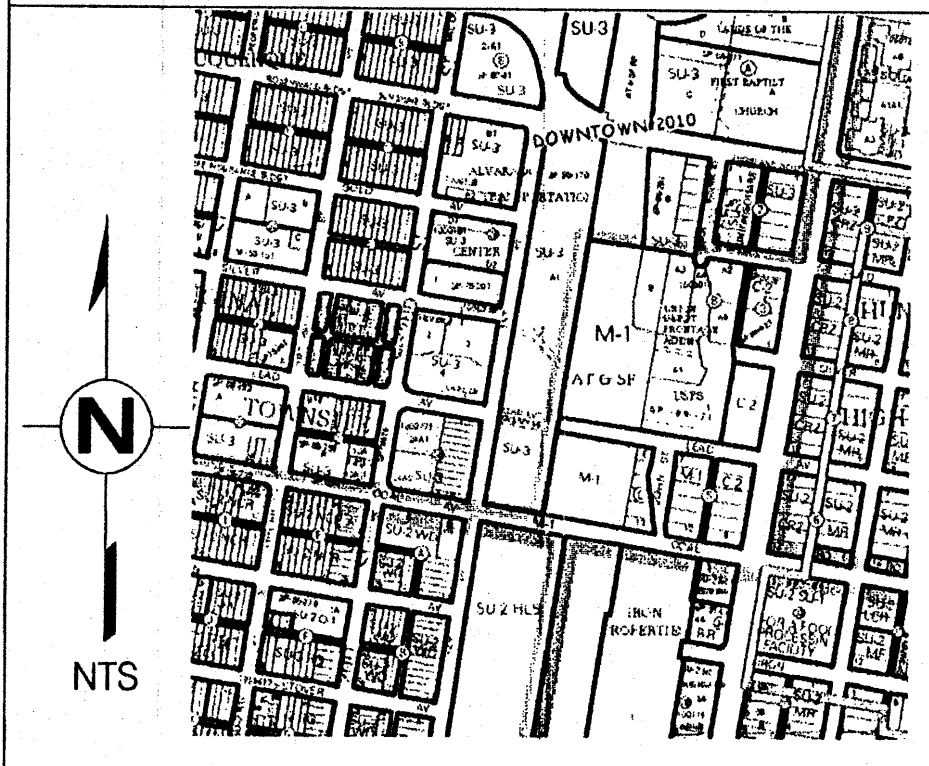
## PARKING

**TOTAL:**  
PARKING PER R-3:  
ZERO AUTO OR MOTORCYCLE PARKING  
SPACES ARE REQUIRED PER THE 2010  
DOWNTOWN DEVELOPMENT PLAN  
**PARKING PROVIDED:**  
ACCESSIBLE REQ'D / PROVIDED  
70 AUTO SPACES / 0 MOTORCYCLE PROVIDED  
0 REQUIRED / 5 SPACES PROVIDED  
**BICYCLE PARKING:**  
REQUIRED: 26 SPACES  
PROVIDED: 32 SPACES  
**REQUIRED BICYCLE PARKING CALCULATION:**  
15% OF OCC., 24 AVG. OCC. PER UNIT, 72  
UNITS x 24 OCC. = 172.8 OCC., \* 15% = 26

## UNIT COUNTS

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REQUIRED: 28,600 SF  
PROVIDED: 31,413 SF

## VICINITY MAP



architecture  
interiors  
landscape  
planning  
engineering  
**Dekker  
Perich  
Sabatini**  
7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsdesign.org  
ARCHITECT

ENGINEER

PROJECT

**Casitas de Colores**  
215 Lead Avenue  
Albuquerque, New Mexico

**REVISIONS**  
12/20/2013 CLARIFICATION OF PARKING  
REQUIREMENTS

**DRAWN BY** KR  
**REVIEWED BY**  
**DATE** 6/12/12  
**PROJECT NO.** 12-0047  
**DRAWING NAME**

**SITE DEVELOPMENT  
PLAN FOR  
BUILDING PERMIT**

**SHEET NO.**

**SDP-1**  
OF

