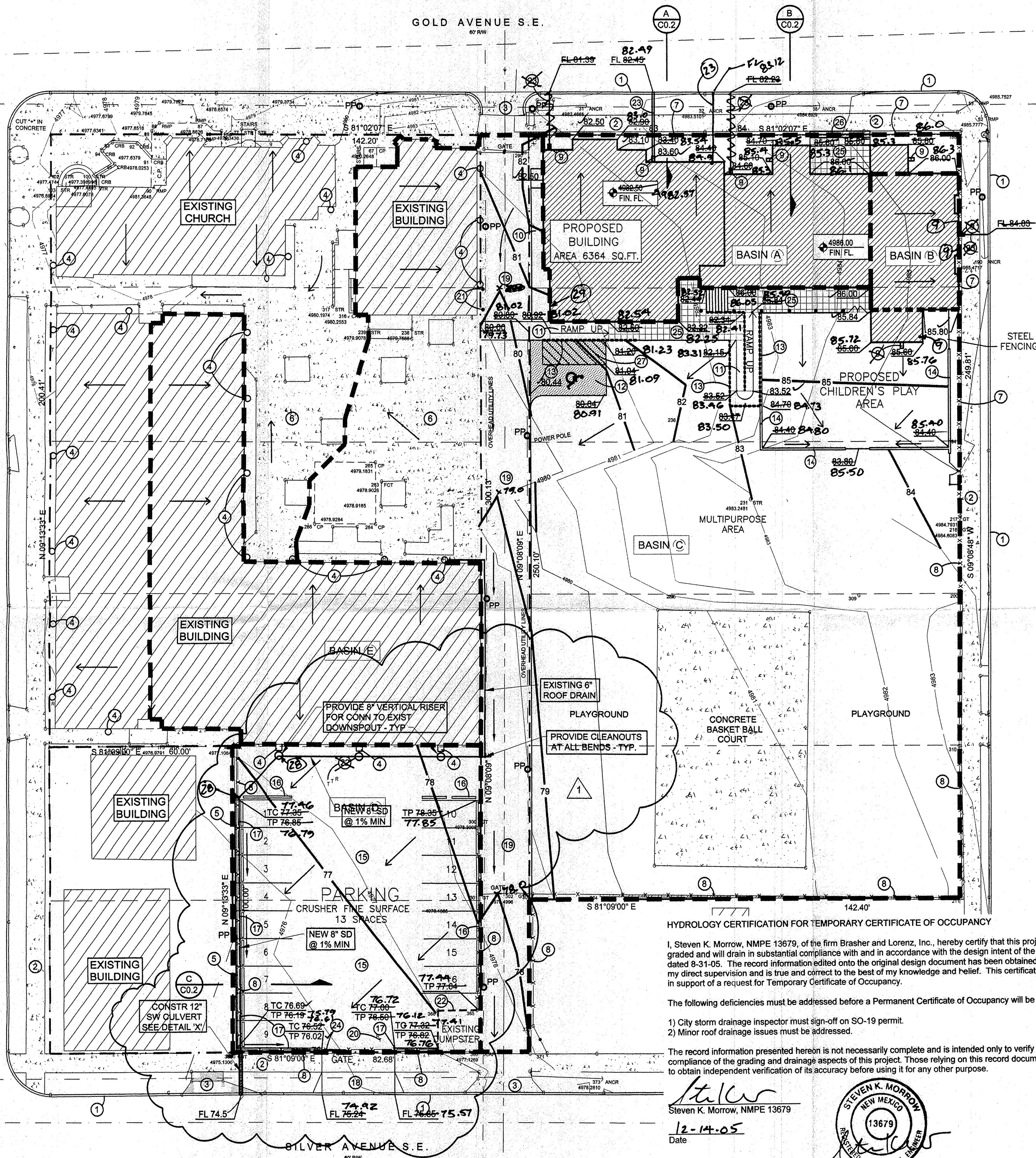


ARNO STREET S.E.

GOLD AVENUE S.E.

EDITH BLVD. S.E.



HYDROLOGY CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8-31-05. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The following deficiencies must be addressed before a Permanent Certificate of Occupancy will be granted:

- 1) City storm drainage inspector must sign-off on SO-19 permit.
- 2) Minor roof drainage issues must be addressed.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow, NMPE 13679

12-14-05
Date



12-14-05

GRADING & DRAINAGE PLAN

SCALE: 1"=20'-0"

ADDED SD FOR ROOF DRAINAGE DAL 8-31-2005

20' 10' 0' 20'
SCALE: 1" = 20'

LEGEND

- 6001 — EXISTING CONTOUR ELEVATION
- 02.5 x — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- 01.5 — PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE
- PP — EXISTING POWER POLE
- NEW ASPHALT PAVING
- NEW RETAINING WALL

PROPERTY ADDRESS

300 Gold Avenue SE

LEGAL DESCRIPTION

Lots 1 Thru 5 and Lots 7 thru 10 and easterly 82 feet of Lots 11 and 12 Block 15, Hunning Highland Addition

PROPERTY BENCHMARK

ACS Benchmark "6-K14. (R)"
Aluminum Cap
Elevation= 4968.765 Feet

SURVEY

Topographic and Field Measurements by
Harris Surveying Co., Inc.
Dated January 2002

KEYED NOTES

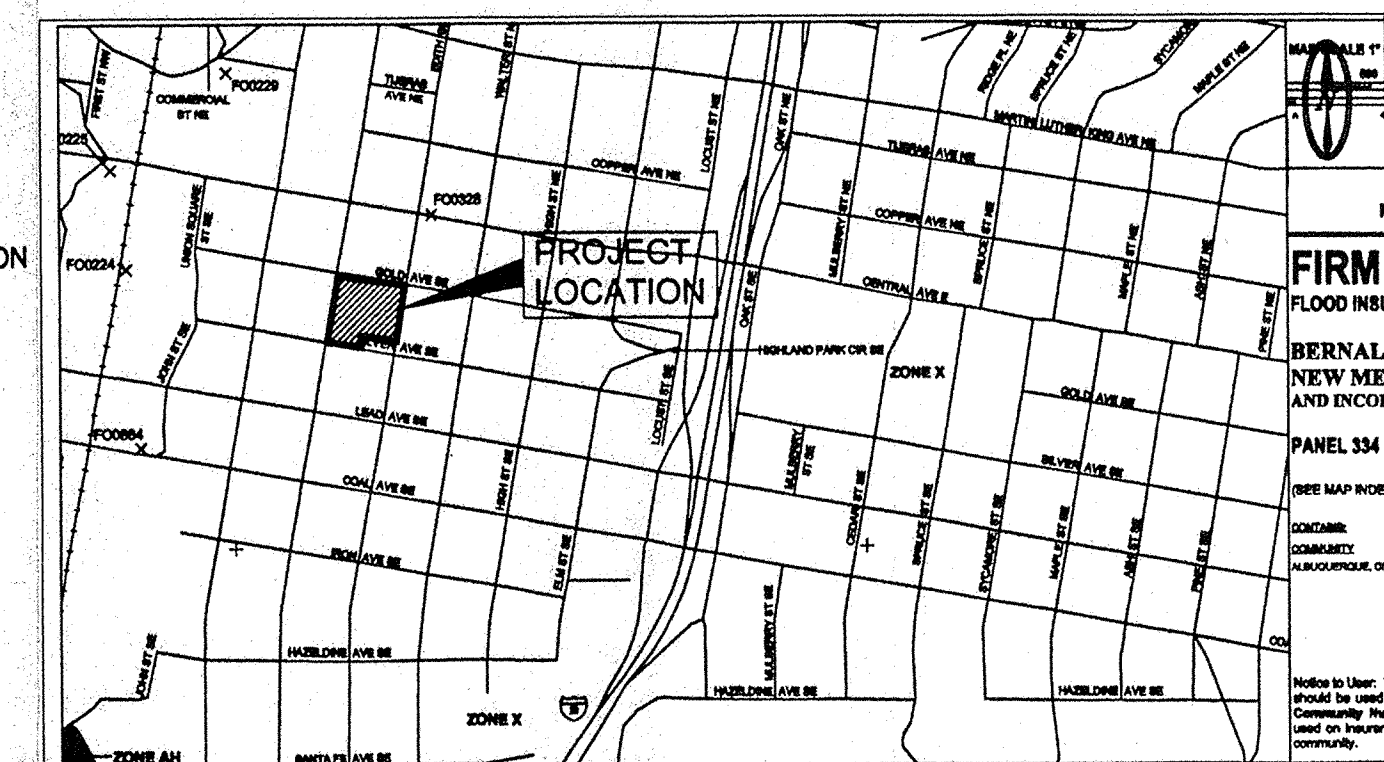
1. EXISTING STANDARD CURB & GUTTER
2. EXISTING 6" SIDEWALK
3. EXISTING DRIVEPAD
4. EXISTING DOWNSPOUT
5. EXISTING CMU WALL TO REMAIN
6. EXISTING CONCRETE COMMON AREA
7. EXISTING CHAINLINK FENCE TO BE REMOVED
8. EXISTING CHAINLINK FENCE TO REMAIN
9. NEW ROOF DRAIN SCUPPER (TYP)
10. NEW CONCRETE SIDEWALK
11. NEW HANDICAP ACCESS RAMP
SEE SHEET C002
12. NEW ASPHALT-HANDICAP ACCESSIBLE PARKING-SEE SECTION E/C0.2
13. NEW CONCRETE RETAINING WALL SEE STRUCTURAL DESIGN
14. NEW CMU PATIO WALL
15. NEW CRUSHER FINE PAVING LOT-SEE SECTION D/C0.2
16. NEW CONCRETE OR RECYCLED PLASTIC TIRE STOP
- YELLOW OR GRAY- STANDARD 6' LONG.
17. NEW CONCRETE HEADER CURB-TYP
SEE SHEET C002
18. NEW 24" CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STD DWG 2425
19. VACATED ALLEY
20. REMOVED / ABANDON EXISTING IRRIGATION SPIGOTS AND VALVES
21. EXISTING STATIONARY BOLLARDS TO REMAIN
22. EXISTING WOOD FENCE TO REMAIN- NEW CHAINLINK FENCE
23. 4" PVC ROOF DRAIN PENETRATION THROUGH EXISTING CURB PER CITY OF ABO. STD DWG 2235
24. CUT EXISTING C.I. FENCE. INSTALL 24" GATE.
25. NEW PATTERNED CONCRETE SIDEWALK. SEE DETAIL SHEET C0.2
26. PROVIDE 2'x5'x12" STEPS
27. PROVIDE STRIPING AT ACCESSIBLE ISLE PER CODE

28. CLEANOUT DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY 29. 2'-3 1/2" PVC ROOF DRAINS NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN A CITY RIGHT OF WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", UPDATE NO. 7, 2003.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. ALL FACILITIES CONSTRUCTED WITHIN CITY RIGHT-OF-WAY MUST BE INSPECTED AND ACCEPTED PRIOR TO CERTIFICATE OF OCCUPANCY APPROVAL.

LOCATION MAP K-14

NTS

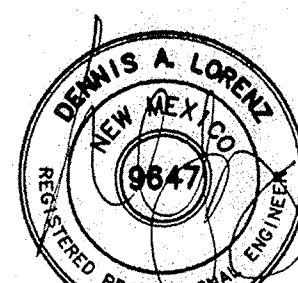


FIRM PANEL 35001C0334E

NTS

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.



BRASHER & LORENZ CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-0088 Fax: 505-888-6188

THE DESIGN GROUP ARCHITECTS - PLANNERS - INTERIOR DESIGN

202 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.5880 FAX: 505.242.6881

PROJECT NAME:
IMMANUEL LUTHERAN CHURCH
AND SCHOOL ADDITION
ALBUQUERQUE, NEW MEXICO

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE: GRADING & DRAINAGE PLAN

DESIGNED: SCALE:
CHECKED: JOB NO: 03555
DATE: 05-25-2004 COMP. FILE:

C0.1

RECEIVED
DEC 15 2005
HYDROLOGY SECTION

03555