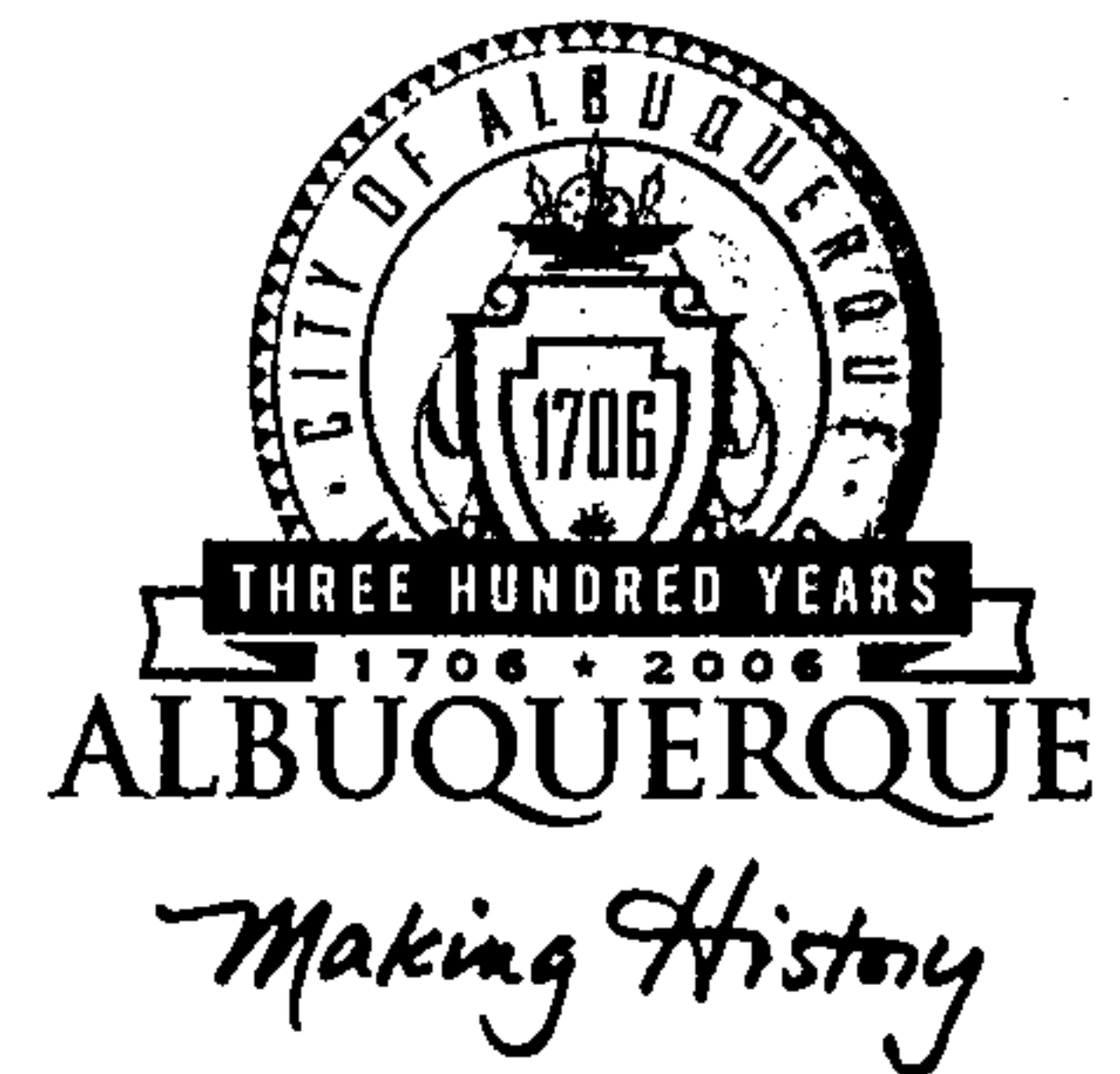


CITY OF ALBUQUERQUE



June 7, 2005

David A. Aube, P.E.
The Design Group
202 Central Ave. SE – Suite 200
Albuquerque, NM 87102

**Re: Immanuel Lutheran Church & School Addition, 300 Gold Ave. SE
Traffic Circulation Layout - Architects Stamp dated 6-3-05 (K14-D89)**

Dear Mr. Aube,

The TCL submittal received 6-3-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato
Engineering Associate, Planning Dept.
Development and Building Services

Cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: Immanuel Lutheran Church and School Addition ZONE MAP: K-14-B 089
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1, 2, 3, 4, 5, 11 & 12, Block 15, Hunings Highland Addition
 CITY ADDRESS: 300 Gold Ave, SE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Immanuel Lutheran Church CONTACT: _____
 ADDRESS: 300 Gold Ave, SE PHONE: _____
 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102

ARCHITECT: The Hartman & Majewski Design Group CONTACT: Ken Cook
 ADDRESS: 202 Central Ave, SE PHONE: 505-242-6880
 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

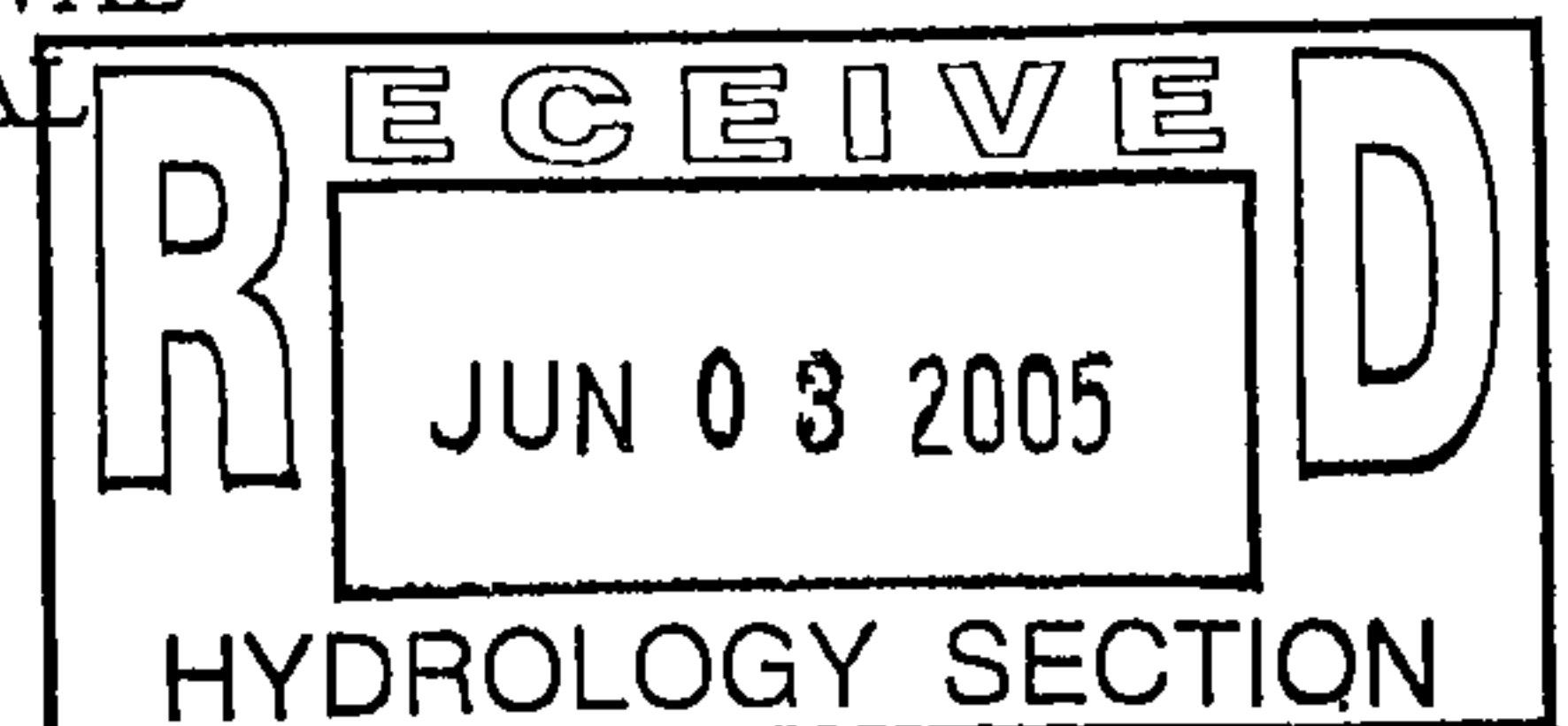
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 6-3-05 BY: The Design Group

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 3, 2005

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Department
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

Re: Immanuel Lutheran Church and School
300 Gold Avenue SE
Albuquerque, NM 87102
Comments Letter dated June 1, 2005

Please find response to your comments enumerated below:

1. *Is a replat of the site required for the proposed improvements?*
A replat is not required. See attached Landmarks and Urban Conservation Commission (LUCC) letter.
2. *Provide a new sidewalk or show existing sidewalk along Arno and Gold at the northwest corner of the site.*
See the revised TCL drawing showing the existing sidewalk extending from back of curb to the building at this corner.
3. *Is alley public or has it been vacated?*
The alley has been vacated. See the attached copies of Planning Commission documents.
4. *Provide information on how gates will operate at the alley on Gold and the new drive pad entrance on Silver to assure queing does not back up onto the street.*
See the revised TCL drawing showing dimensions from streets. The gate at Silver to new drive pad is a sliding gate and from Gold it is a double swinging gate.
5. *Provide 24'-0" curb cut at Silver.*
See the revised TCL drawing showing revised curb cut dimension.
6. *Center new drive pad on 40' aisle.*
See the revised TCL drawing showing revised curb cut centered.
7. *Provide Solid Waste approval for dumpster location.*
We have approval from Solid Waste for the dumpster. See City Building Safety Division sign off sheet and sheet G101.

If you have any questions or comments, please do not hesitate to contact me at 505.242.6880.

Yours truly,

Ken Cook, Project Architect
The Hartman & Majewski Design Group, Inc.

MENT

-05

SOLID WASTE DISPOSAL

(505) 761-8100

- A final inspection by the plan checker of the Solid Waste Management Department (SWMD) is required. Required refuse container(s) shall be in place before a Certificate of Occupancy will be issued.
- An inspection by the SWMD plan checker is required before the concrete slab or apron is poured.
- Each customer shall provide their own refuse container(s).
- Contact the SWMD at least thirty (30) days prior to occupancy to start service.
- Proposed construction complies with the Albuquerque Municipal Refuse Collection Service Ordinance (Ordinance 42-1980, as amended).

PLANS DISAPPROVED
PLANS APPROVED

[Signature]
Michael Holton

DATE 04-06-05
DATE 5-27-05

PLANS CORRECTIONS REQUIRED:

(INDICATE ORDINANCE SECTION REFERENCE)

Disapproved - need more information regarding access to existing enclosure & will need enclosed for new building. Call for details.

will use existing enclosure & increase service as needed & will also modify enclosure (upgraded)

INTERNATIONAL BUILDING CODE

(505) 924-39

- Premises shall not be occupied until a Certificate of Occupancy has been issued in accordance with Section 115 of the Uniform Administrative Code.

Re-School & Parish Hall

DESCRIPTION OF WORK
SIZE OF BLDG. (SQ.FT.)
CONSTRUCTION TYPE

6789
V.B

OCCUPANCY GROUP *A2 B F*
BUILDING CODE EDITION (YR.) *2003 TB*

PLANS DISAPPROVED
PLANS APPROVED

[Signature]
[Signature]

DATE 4/21/05
DATE 5/26/05

6789
ACE NO.

PLAYGROUND

123

15
170

170



85

DOOR
180
36"

REPLACE EXISTING WOOD FENCE WITH CHAIN-LINK MATCH EXISTING

EXISTING CONCRETE PAD FOR WASTE CONTAINER

EXISTING CONCRETE FILLED STEEL BOLLARDS

METAL SLATS AT ENCLOSURE - TYPICAL

NEW SWING AWAY FENCE FOR TRUCK ACCESS

EXISTING SIDEWALK

EXISTING TRUCK ACCESS

EXISTING ALLEY

SILVER AVENUE

TRASH ENCLOSURE PLAN

A4

SCALE: 1/8" = 1'-0"

A4



NOTIFICATION OF DECISION
Landmarks and Urban Conservation Commission

City of Albuquerque, Planning Department
600 2nd Street NW, Albuquerque, NM 87102
(505)924-3860

March 16, 2004

The Hartman & Majewski Design Group
Agents for Immanuel Lutheran Church
202 Central Ave., SE, Suite 200
Albuquerque, NM 87102

Dear Gentlemen:

Project # 1003223	THE HARTMAN & MAJEWSKI DESIGN GROUP,
04LUC-00111	agents for IMMANUEL LUTHERAN CHURCH,
Commission	request the above action for new construction
Decision for	located at, 300 GOLD AVE., SE, HUNING HIGHLAND
Certificate of	ADDITION, on all or a portion of Lot(s) 1&2, Block 15,
Appropriateness	zoned SU-2/MR, in the Huning Highland Historic
	Overlay Zone. (K-14)

This is to inform you that on Wednesday, March 10, 2004, the Landmarks and Urban Conservation Commission took the following action regarding this matter thus, granting:

APPROVAL for a Certificate of Appropriateness based on Findings 1-4 and Conditions 1-5.

FINDINGS:

1. This is a request for a Certificate of Appropriateness for new construction of a kindergarten, pre-school and parish hall building at the Immanuel Lutheran Church and School, located at 300 Gold Avenue SE, more specifically described as Lots 1 & 2, Block 15, Huning's Highlands Addition, zoned SU-2/MR, containing two contributing buildings (the church and the 2-story administration building) and one non-contributing building (the school and gym complex) (K-14-Z).
2. This proposal satisfies the general standards contained in the *LUC Ordinance* and the *Secretary's Standards and Guidelines for Setting/Neighborhood*, in that the proposed new building is compatible with the historic character of the setting in terms of size, scale, design, material, color and texture. The building, as a stand-alone structure, will not impair the contributing status of the church or the administration building since it could be removed in the future (*LUC Ordinance § 14-12-8(B)(4)*; *Secretary's Standard for Rehabilitation #9*).
3. This proposal meets the design guidelines for new construction within the *Huning's Highlands Historic Overlay Zone Design Guidelines for New Construction*, by relating to the contributing buildings on the site in scale, massing, exterior materials, setback, and height, with similar architectural features.
4. Revised drawings were submitted and accepted at the March 10, 2004 hearing. These drawings are the drawings of record.

CONDITIONS:

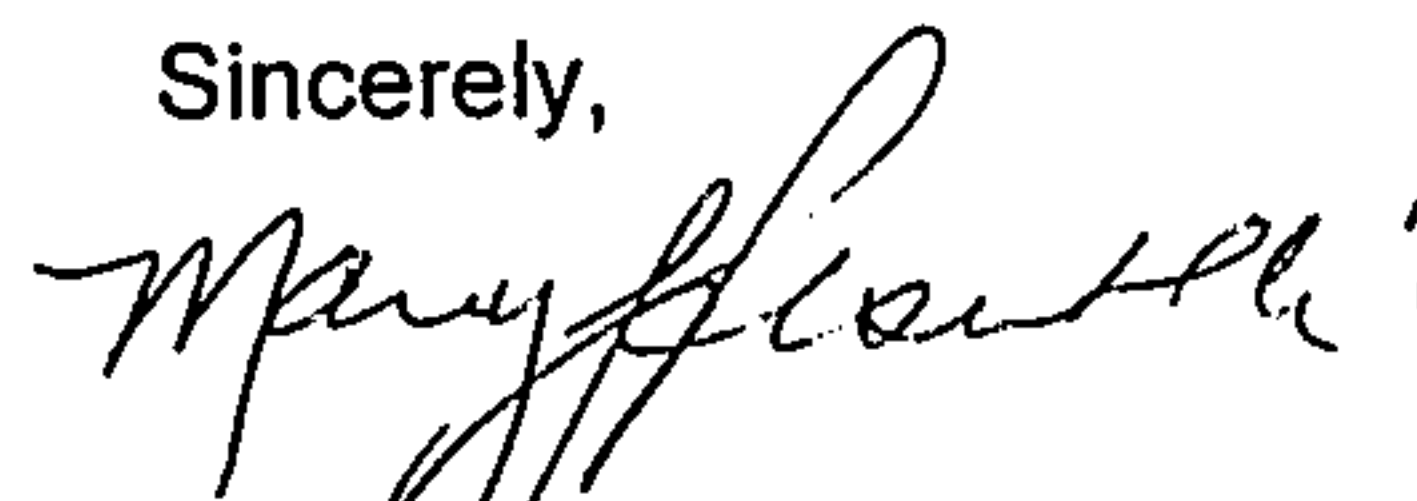
1. Permanent parking configuration shall be approved by LUCC Staff.
2. The height of the wall shall not exceed 7 feet 0 inches. The wall design and location shall be approved by LUCC Staff.
3. Phasing the landscape is acceptable to the LUCC, however a phasing schedule shall be provided to the LUCC Staff before sign off on the plans. Landscaping within City right-of-way will require a streetscape agreement and will need to follow the City's development process manual (DPM), City Standards and AASHTO 2001 for sight distance criteria.
4. Other approvals are necessary before permits can be issued. The applicant is responsible to obtain all necessary approvals before submittal of permit plans. LUCC Staff shall sign off on all permit plan sets for compliance with the LUCC decision and satisfaction of all the conditions. If changes to the plans are necessary, the LUCC staff, for consistency with the LUCC decision, must review all changes. Staff may refer the changes to the LUCC for decision, if the LUCC staff believes that the intent of the LUC Ordinance is better served by so doing.
5. The Certificate of Appropriateness shall be void one year after the date of approval if a building permit has not been issued for the project.

If you wish to appeal the above decision you may do so by March 25, 2004, as specified by ordinance (LUC Ordinance Section 14-12-10(A), R.O.A., 1994) in the manner described below. A non-refundable filing fee will be calculated at the Land Development Coordination counter and is required at the time the appeal is filed.

Appeal to the City Council. Any person aggrieved with any determination of the Landmarks and Urban Conservation Commission (LUCC) acting under this ordinance may file an appeal to the City Council by submitting written application to the Planning Department within 15 days of the Landmarks and Urban Conservation Commission's. The date the determination in question is issued is not included in the 15 day period for filing an appeal and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that there is substantial reason to believe that all City plans, policies and ordinances have not been properly followed or are inadequate, it shall hear the appeal.

ALL CASES THAT RECEIVED APPROVAL ON MARCH 10, 2004, WILL BE MAILED A CERTIFICATE OF APPROPRIATENESS, AFTER THE 15 DAY APPEAL PERIOD HAS EXPIRED ON MARCH 25, 2004.

Sincerely,


Mary Piscitelli
LUCCS

cc: Steve Gebeke, Zoning Code Services
Steve Chavez, Housing Code Enforcement
Jim & Ann Carson, 416 Walter SE, 87102
Camille Pansewicz, 208 Edith SE, 87102
Dennis Maietta, 314 Amo SE, 87102
Gaye Goodman, 117 High Street SE, 87102

76-57451

JUL 15 1976

337

ENVIRONMENTAL PLANNING COMMISSION LAND CONTROLS BOARD RESOLUTION

VACATING THE NORTH-SOUTH ALLEY IN BLOCK 15, HUNTING HIGHLAND ADDITION

WHEREAS there has heretofore been dedicated and conveyed to the City of Albuquerque, New Mexico a certain easement for alley purposes more particularly described below:

WHEREAS said right of way is not needed for public use except for easements reserved in Section 2 hereof;

NOW THEREFORE BE IT ENACTED BY THE ENVIRONMENTAL PLANNING COMMISSION LAND CONTROLS BOARD OF THE CITY OF ALBUQUERQUE UNDER ARTICLE XVI, CHAPTER 1 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1974, BEING ORDINANCE NO. 97-1973 AS AMENDED:

SECTION 1. The north-south alley in Block 15, Hunting Highland Addition as shown on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico on September 1, 1882 is hereby closed and vacated subject to easements reserved in Section 2 hereof.

SECTION 2. The City hereby reserves the full width of the vacated right of way as an easement for public utilities, whether municipally or privately owned, which are necessary for public use and benefit at the present time or in the future.

SECTION 3. Immediately upon the filing of this resolution in the office of the County Clerk of Bernalillo County, New Mexico the land above-described shall be effectively vacated, and the City of Albuquerque by this resolution disclaims from such date any further interest therein except for easements reserved in Section 2 hereof.

ADOPTED AT A PUBLIC HEARING BY THE ENVIRONMENTAL PLANNING COMMISSION LAND CONTROLS BOARD, CITY OF ALBUQUERQUE, NEW MEXICO ON JULY 15, 1976.

APPROVED:

[Signature]
Authorized Representative of
the Planning Director, City of
Albuquerque, New Mexico

Subscribed and sworn to before me this 21st day of Oct., 1976
by Phil Garcia, authorized representative of the Planning Director, City of
Albuquerque, New Mexico.

[Signature]
Notary Public of Bernalillo

State of New Mexico | SS
This instrument was filed for record on:

1:51 OCT 26 1976 *[Signature]*
at 1 o'clock p.m. Recorded in Vol. 503
of records of said County to-wit: 337
[Signature] Clerk & Recd. Cm
City of Albuquerque

My Commission Expires: August 26, 1978

JUL ANNARINO - DESIGN GROUP

FAX 242-6881

RE: VACATION OF ALLEY

OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
1201 Alameda, N.E. 87102

DATE: JUL 21 1976

NOTIFICATION OF DECISION

Immanuel Lutheran Church et al
3005 15th Avenue SE
Albuquerque, NM 87102

FILE # 457879
Location: North/South Alley in Block 15, Humine
Highland Addition

On July 15, 1976, the Environmental Planning Commission, Land Controls Board approved the above-mentioned request to vacate the north/south alley in Block 15, Humine Highland Addition subject to retention of all utility easements and with the understanding that the utility companies must be allowed access to the property in case of emergency.

The Planning Department will prepare the required resolution which must be filed in the Office of the Bernalillo County Clerk. A copy of the recorded resolution will be mailed to you. Please note that the vacation is not final until the resolution has been recorded.

If you wish to appeal this decision, you may do so by 7-30-76 in the manner described below. A filing fee of \$25 is required.

A. Appeal to Planning Commission. Any person aggrieved with any determination of the City staff acting under the Subdivision Ordinance may appeal to the Planning Commission by submitting written application to the Planning Department within 15 days after the date of the staff's decision. The date the determination in question is issued is not included in the 15 day period for filing an appeal, and if the fifteenth day falls on a Saturday, the deadline shall be extended to the next business day. The deadline for filing the appeal shall be heard and decided by the Planning Commission within 60 days of its filing.

B. Appeal to City Council. Any person aggrieved with any determination of the Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application to the Planning Department within 15 days of the Planning Commission's decision (such 15 day period to be determined as in A. above). The City Council may decline to hear the appeal if it finds that all City plans, policies, and ordinances have been properly followed. If it is decided that all City plans, policies, and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

You will receive notice if another person files an appeal. If there is no appeal you can receive building permits any time after the appeal deadline quoted above provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the referenced application(s).

Sincerely,

Jill Danforth

Jill Danforth
EPC LCB Recording Secretary

cc: Floyd Heckman, 712 Loma Vista Dr. NE; 87106

Letter of
Advice

EXHIBIT 105-78

Page 7

V-76-18 (cont'd)

THEREFORE, BE IT RESOLVED THAT V-76-18 be approved, as amended by deletion of the east-west alley, thereby approving the vacation of the north-south alley, subject to Findings 2 and 3.

Moved by Commissioner Bicknell

Seconded by Commissioner FITE

Motion Carried Unanimously

11. V-76-19

Floyd Heckman, agent for Immanuel Lutheran Church, requests the vacation (closing) of the north-south alley in Block 15, Harding Highland Addition, located on the south side of 60th Avenue SE, between Arno & Edith Streets.

There were no objectors present regarding this request.

Persons Speaking For The Request: Floyd Heckman, agent, stated Immanuel Lutheran Church owns the entire block with the exception of the west one-half of Lots 11 & 12, which do not directly abut the alley, and Lot 6 which is owned by Mr. Meyers who is in favor of the request. He stated the request was initiated to enable the church to physically barricade vehicles from the alley in order to provide additional safety for children utilizing the church playground and to try to reduce vandalism experienced by the church. Mr. Heckman also stated the full width of the alley adjacent to Lot 6 will be given to the owner of that lot should the request be approved.

Mr. Roy McGuinness of Southern Union Gas Co. then pointed out that the Gas Co. has no objection to the request, however, the applicant should understand that the Gas Co. must do whatever is necessary to gain access to the property in an emergency situation, including cutting locks or fences.

FINDINGS: 1. The closing of the alley will not deny access to any abutting property.
2. The full width of the alley must be retained as a drainage and utility easement.
3. The applicant must understand that utility companies must be allowed emergency access to the property.

THEREFORE, BE IT RESOLVED THAT V-76-19 be approved, subject to Findings 2 and 3.

Moved by Commissioner Burns

Seconded by Commissioner Bicknell

Motion Carried Unanimously

12. V-76-20

Ralph K. Hicks & Associates, Inc., agent for Co-Con, Inc., requests the vacation (closing) of that portion of 6th Street NW south of the south right of way line of Sanchez Road NW.

There were no objectors present regarding this request.

FINDINGS: 1. The street which is proposed for vacation is unimproved and inaccessible due to the structural wall which is built across it.
2. The street is half dedicated and serves no public need.

CITY OF ALBUQUERQUE



Planning Department
Transportation Development Services Section *Making History*

January 19, 2006

David A. Aube, P.E.
THE DESIGN GROUP
202 Central Avenue SE, Suite 200
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
IMMANUEL LUTHERAN CHURCH AND SCHOOL, [K-14 / D89]
300 Gold Avenue SE
Engineer's Stamp Dated **01/18/2006**

P.O. Box 1293

Dear Mr. Aube:

Albuquerque

The TCL / Letter of Certification submitted on **January 18, 2006** is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

K-14/D89

PROJECT TITLE: Immanuel Lutheran Church and School

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: K-14-Z

WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 001 and 002, Block 15, Huning Highlands

CITY ADDRESS:

ENGINEERING FIRM: Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: David Aube

PHONE: 242-6880

ZIP CODE: 87106

OWNER: Immanuel Lutheran Church

ADDRESS: 300 Gold Avenue S.E.

CITY, STATE: Albuquerque, NM

CONTACT: _____

PHONE: 242-0616

ZIP CODE: 87102

ARCHITECT: The Design Group

ADDRESS: 202 Central Avenue Suite 200

CITY, STATE: Albuquerque, NM

CONTACT: Doug Majewski

PHONE: 242-6880

ZIP CODE: 87106

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: Gerald Martin

ADDRESS: 8501 Jefferson N.E.

CITY, STATE: Albuquerque

CONTACT: _____

PHONE: 823-6850

ZIP CODE: 87113

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

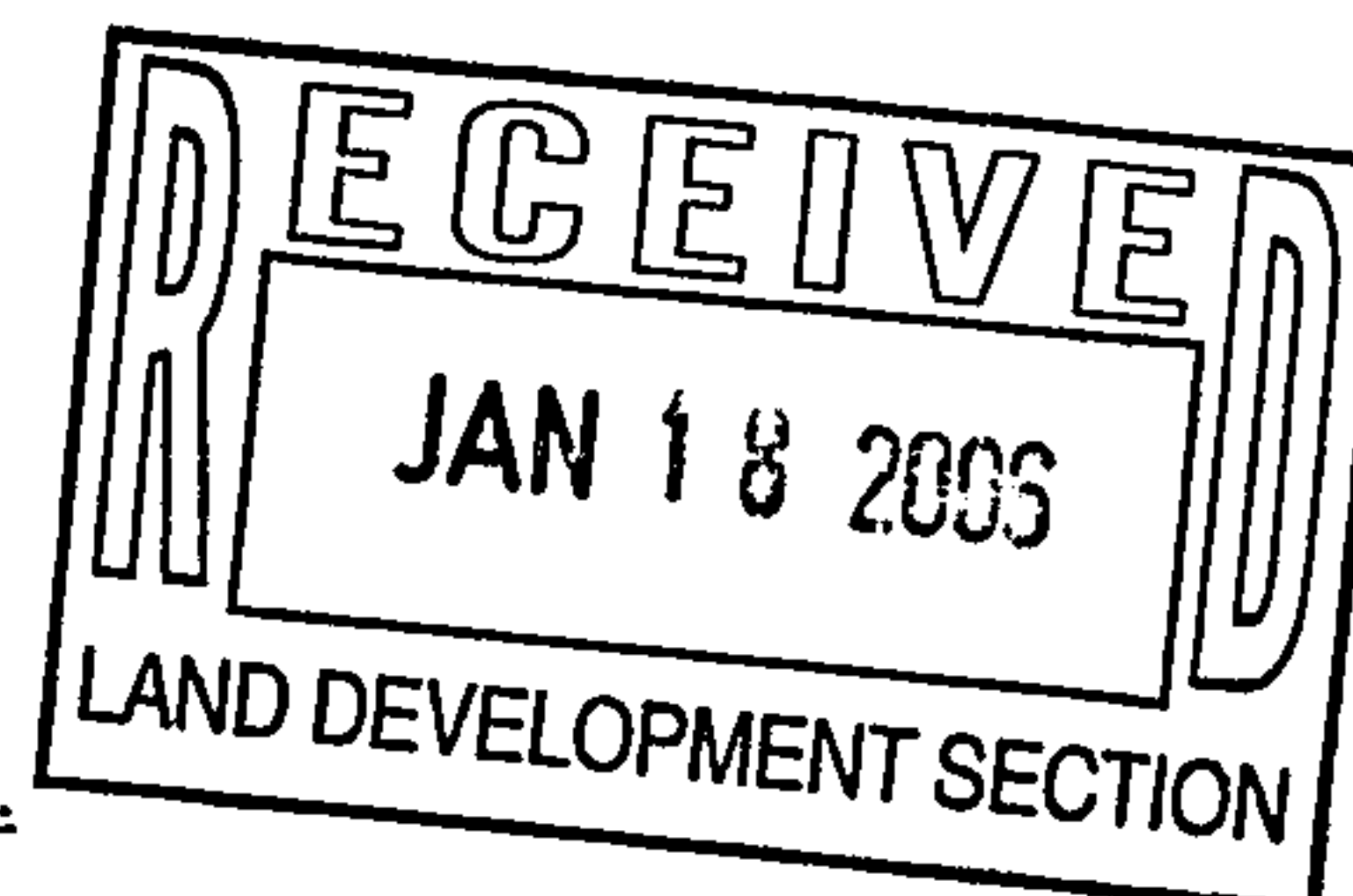
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1-18-06

BY: David Aube P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

January 18, 2005

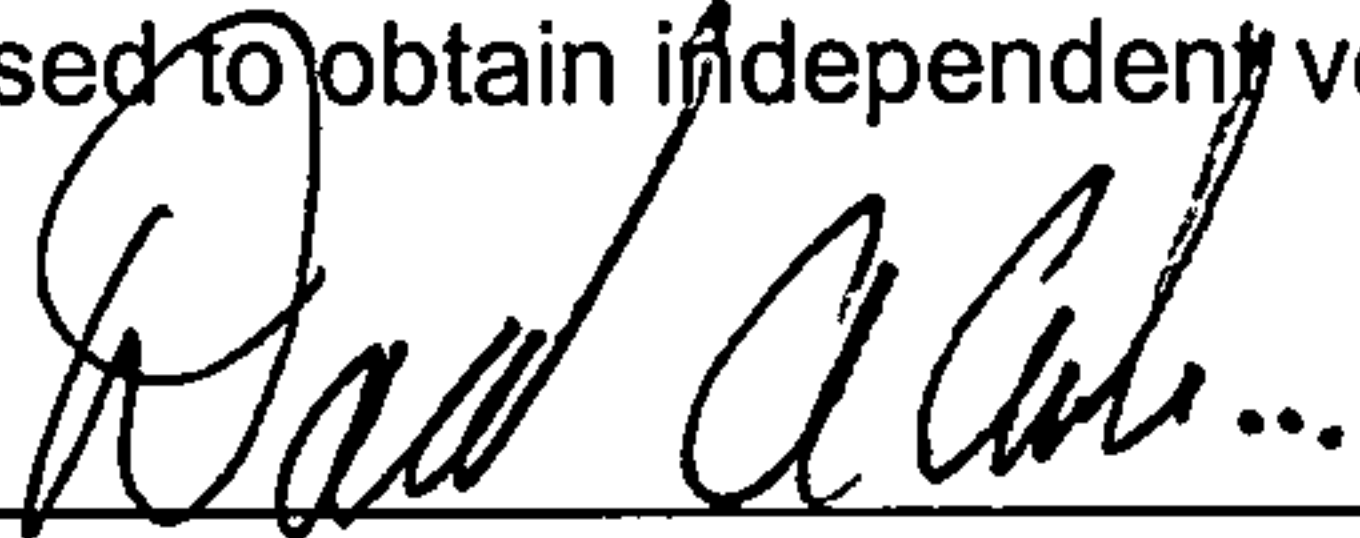
THE HARTMAN + MAJEWSKI
DESIGN GROUP
Architects • Planners • Interior Design
202 Central Avenue SE, Suite 200
Albuquerque, New Mexico 87102
Tel 505.242.6880 • Fax 505.242.6881



Traffic Certification

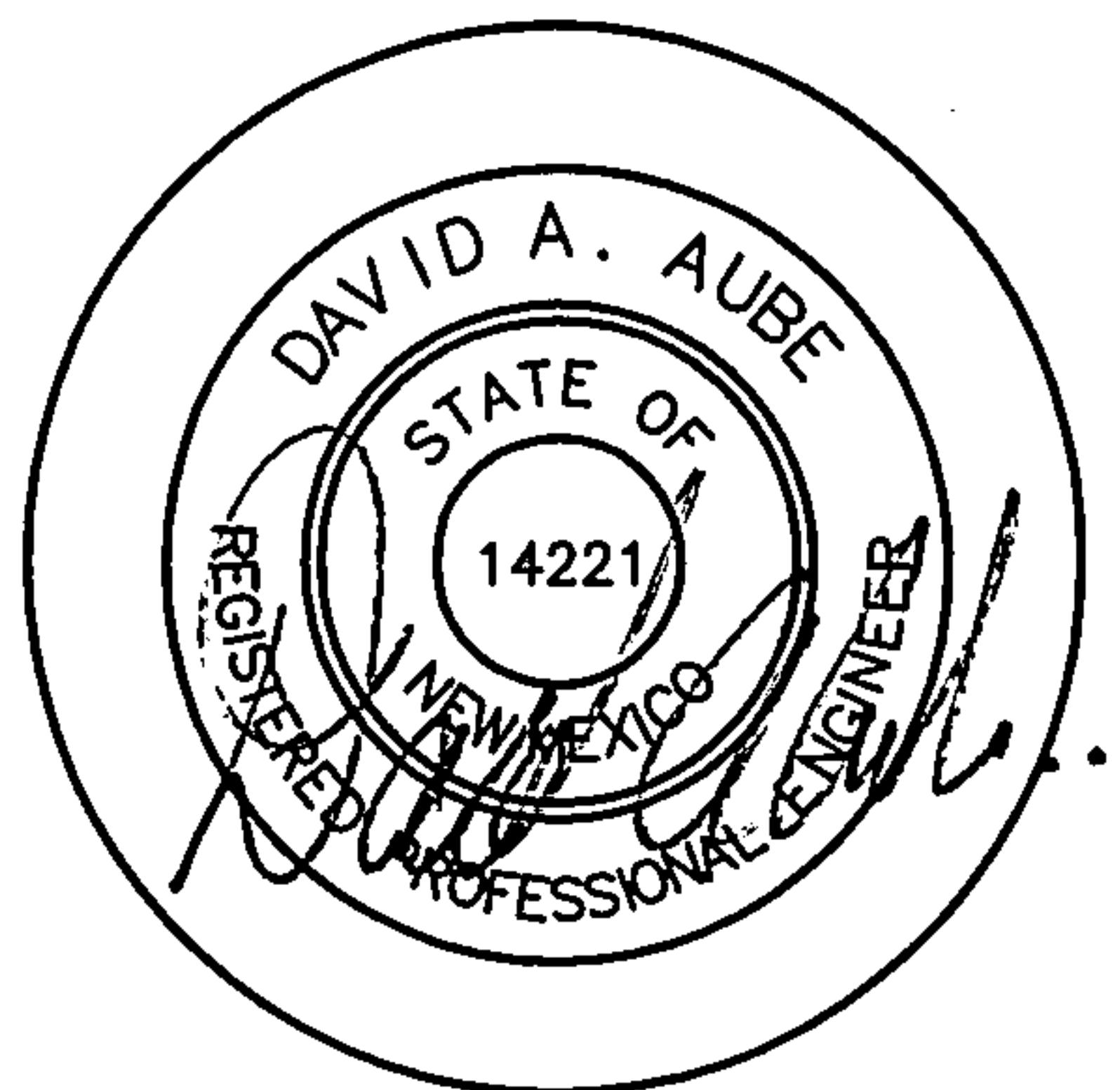
I, David A Aube. NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 6-3-05. The record information edited onto the original design documents has been obtained by Tom Newell of the firm Gerald Martin Construction. I further certify that I have personally visited the project site on January 18, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.

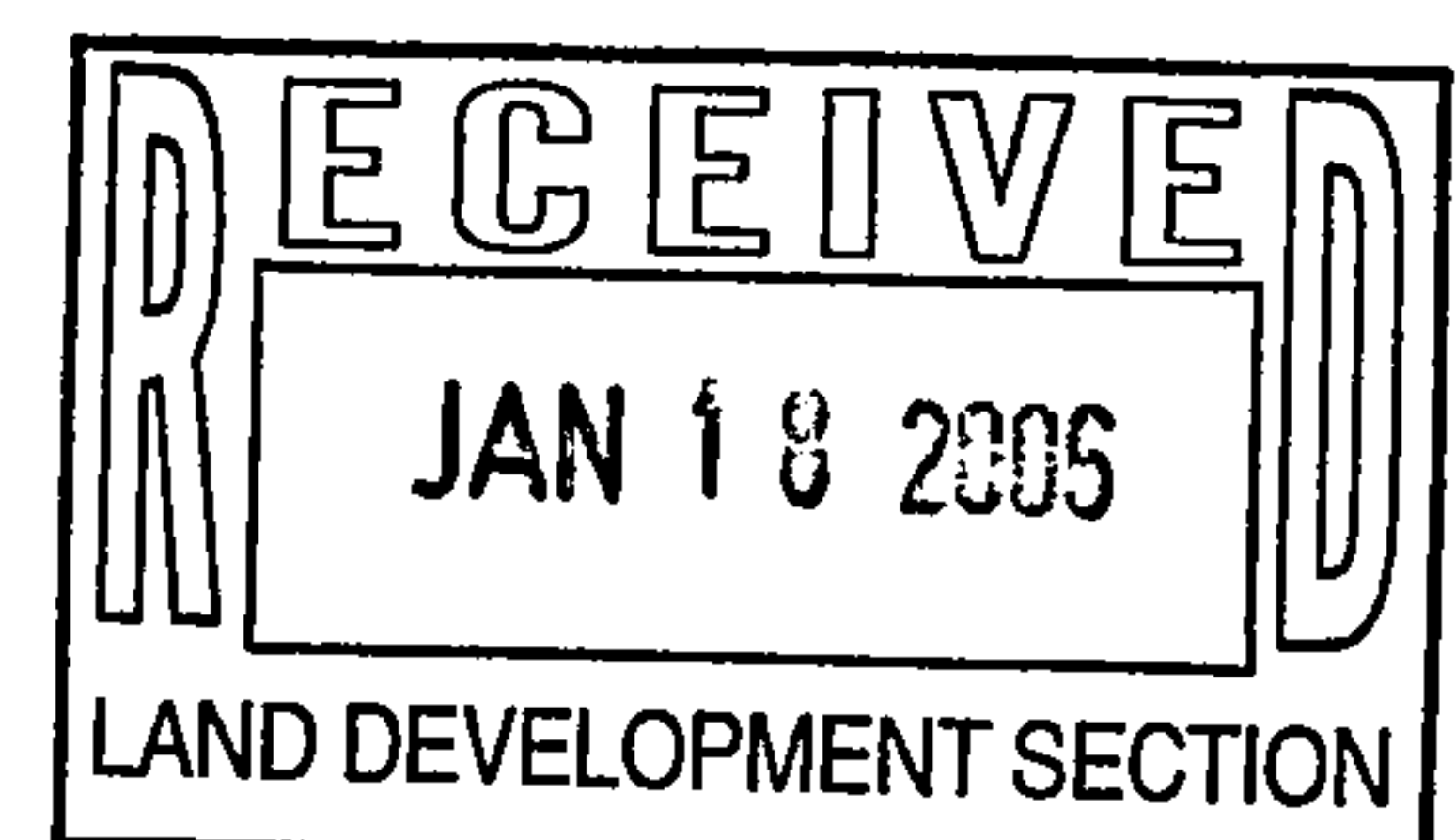


David A. Aube P.E.
Principal
The Hartman & Majewski Design Group, Inc.

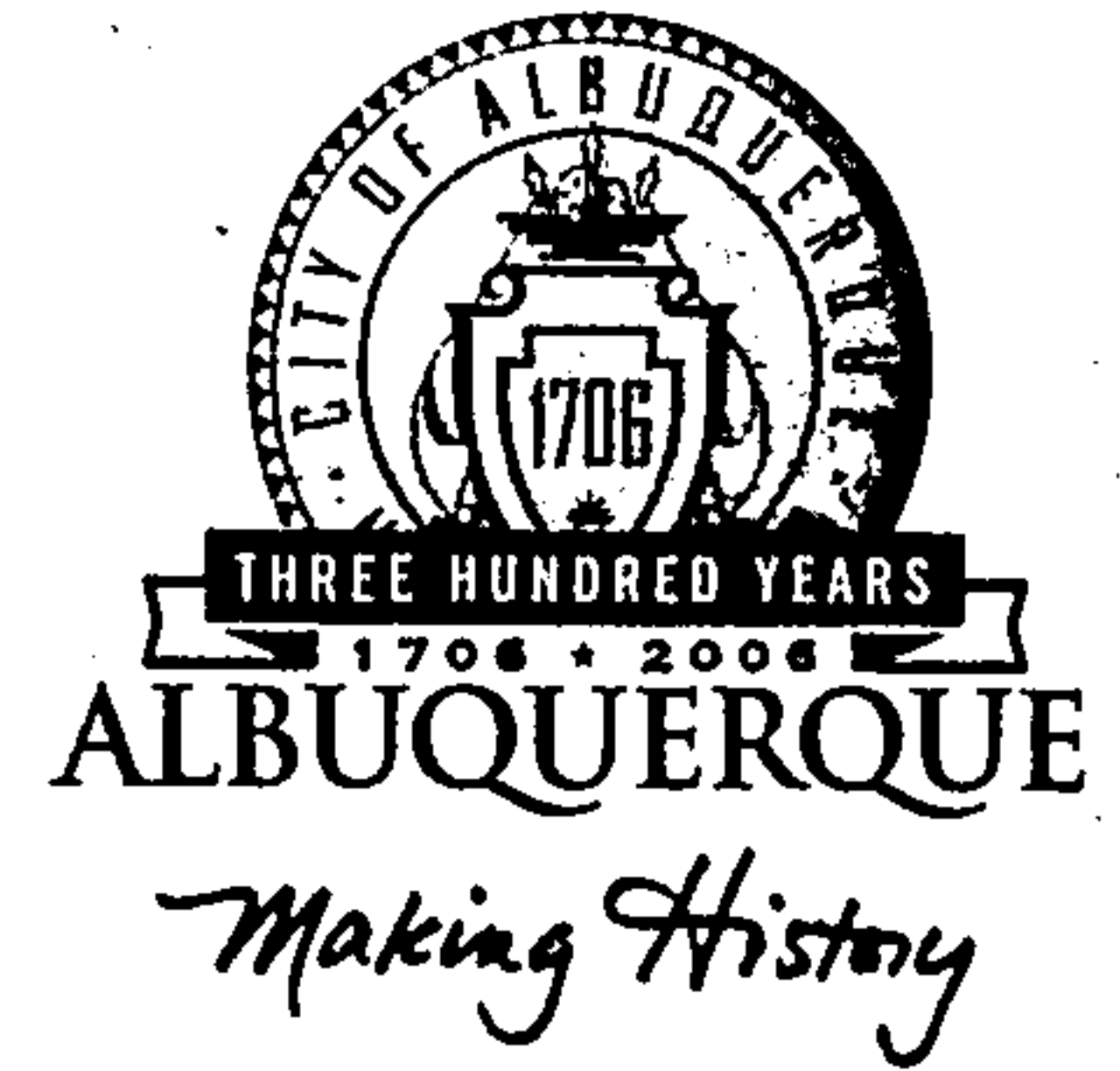
Jan 18, 2006



1-18-06



CITY OF ALBUQUERQUE



January 13, 2006

Mr. Dennis Lorenz, P.E.
BRASHER & LORENZ
2201 San Pedro Dr. NE
Building 1, Suite 1200
Albuquerque, NM 87110

Re: IMMANUEL LUTHERAN CHURCH & SCHOOL ADDITION
300 Gold Avenue SE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 08/31/2005 (K-14/D89)
Certification dated 01/13/2006

Dear Dennis:

P.O. Box 1293

Based upon the information provided in your submittal received 01/13/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: IMMANUEL LUTHERAN CHURCH ZONE MAP/DRG. FILE # 1414.089
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOTS 1-5 AND 7-10, E 82' LOTS 11+12, BLK 15, HUNNING HIGHLAND
CITY ADDRESS: 300 GOLF SE ATTN

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE NM 87110

CONTACT: D. LORENZ
PHONE: 800 6000
ZIP CODE: 87110

OWNER: IMMANUEL LUTHERAN CHURCH
ADDRESS: 300 GOLF SE
CITY, STATE: ALBUQUERQUE NM

CONTACT: S. EMMERSON
PHONE: 890-8749
ZIP CODE: 87102

ARCHITECT: DESIGN GROUP
ADDRESS: 202 CENTRAL SE
CITY, STATE: ALBUQUERQUE NM

CONTACT: K. COOK
PHONE: 242 6000
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING
ADDRESS: 2412 MONROE NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: T. HARRIS
PHONE: 809-8056
ZIP CODE: 87110

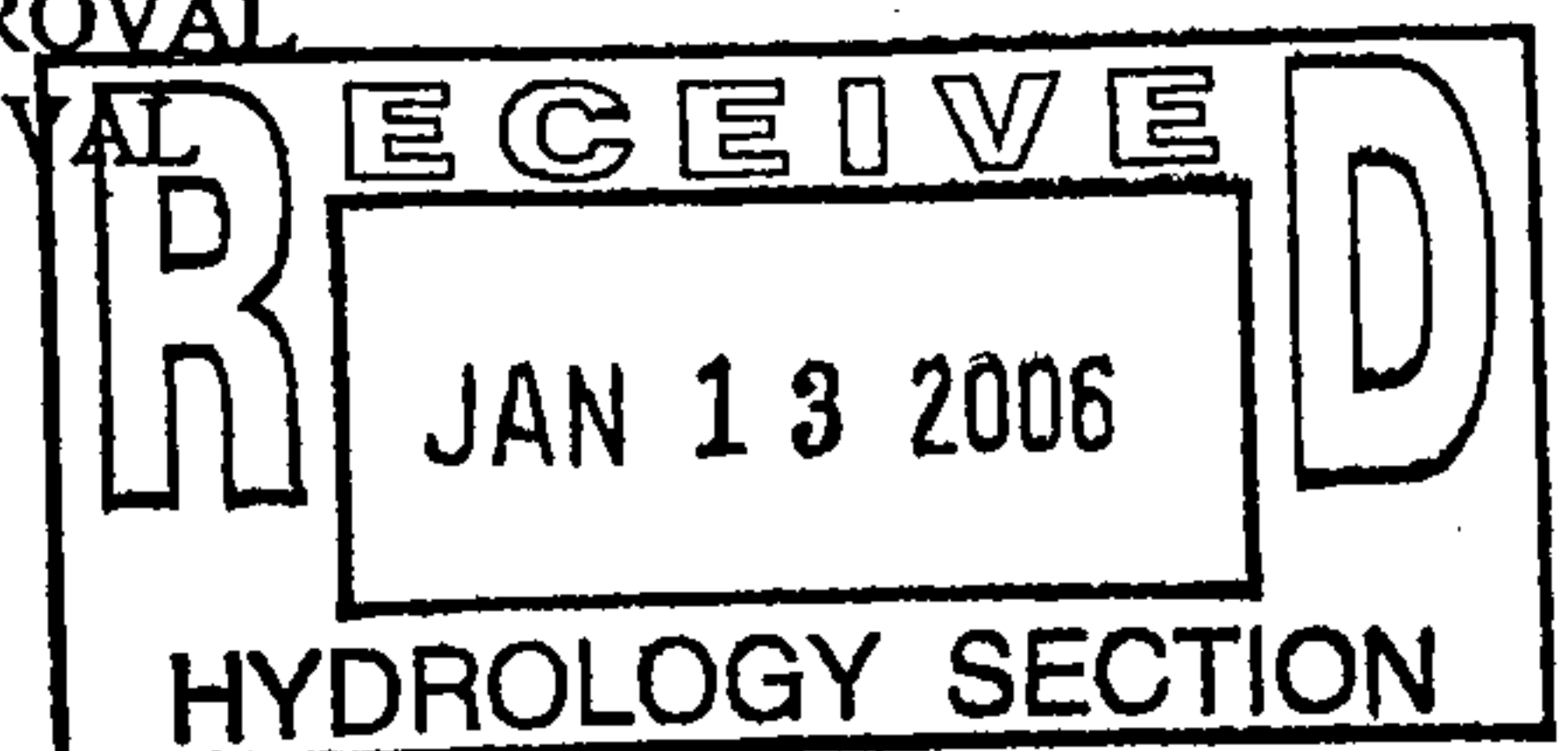
CONTRACTOR: GERMAN MARTIN
ADDRESS: PO BOX 91450
CITY, STATE: ALBUQUERQUE NM 87199

CONTACT: T. NEWELL
PHONE: 828 1144
ZIP CODE: 87199

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: DENNIS LORENZ DATE: 1.13.06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

Ed. [Signature]
 500005

**CONTRACTOR
 LICENSE
 ADDRESS**

DEVELOPMENT LTD
 10000
 8801 JEFFERSON NE
 ALBUQUERQUE, NM 87113

300 GOLD AV SE
 ALBUQUERQUE, NM 87104

PERMIT AND DETOUR PLAN COMMENTS

800-10 LETTER ON FILE

PERMIT NUMBER 2102533
PROJECT NUMBER
PERMIT ISSUE DATE 12/29/2005
BARRICADED BY NA
BLUE STAKE NA
PAVING BY CON
EXCAVATION 443008-5810000 42.00 EX
SIDEWALK 443012-5810000 0.00 SW
DRIVEPAD 443011-5810000 0.00 DP
CURB/GUTTER 443010-5810000 0.00 CB
BARRICADING 443009-5810000 0.00 BR
RESTORATION 443017-5810000 0.00 RS
TOTAL FEE 42.00

ZONE ATLAS

INSURANCE EXPIRES 12/31/2006
BOND EXPIRES 12/31/2006
PERMIT EXPIRES 12/31/2006

START DATE 12/29/2005 **COMPLETION DATE** 01/09/2006

VOID UNTIL 12/31/2006
RECEIVED BY CITRUS TREASURER
PERMIT# 2102533
Trans Amt \$42.00
Excavation \$42.00

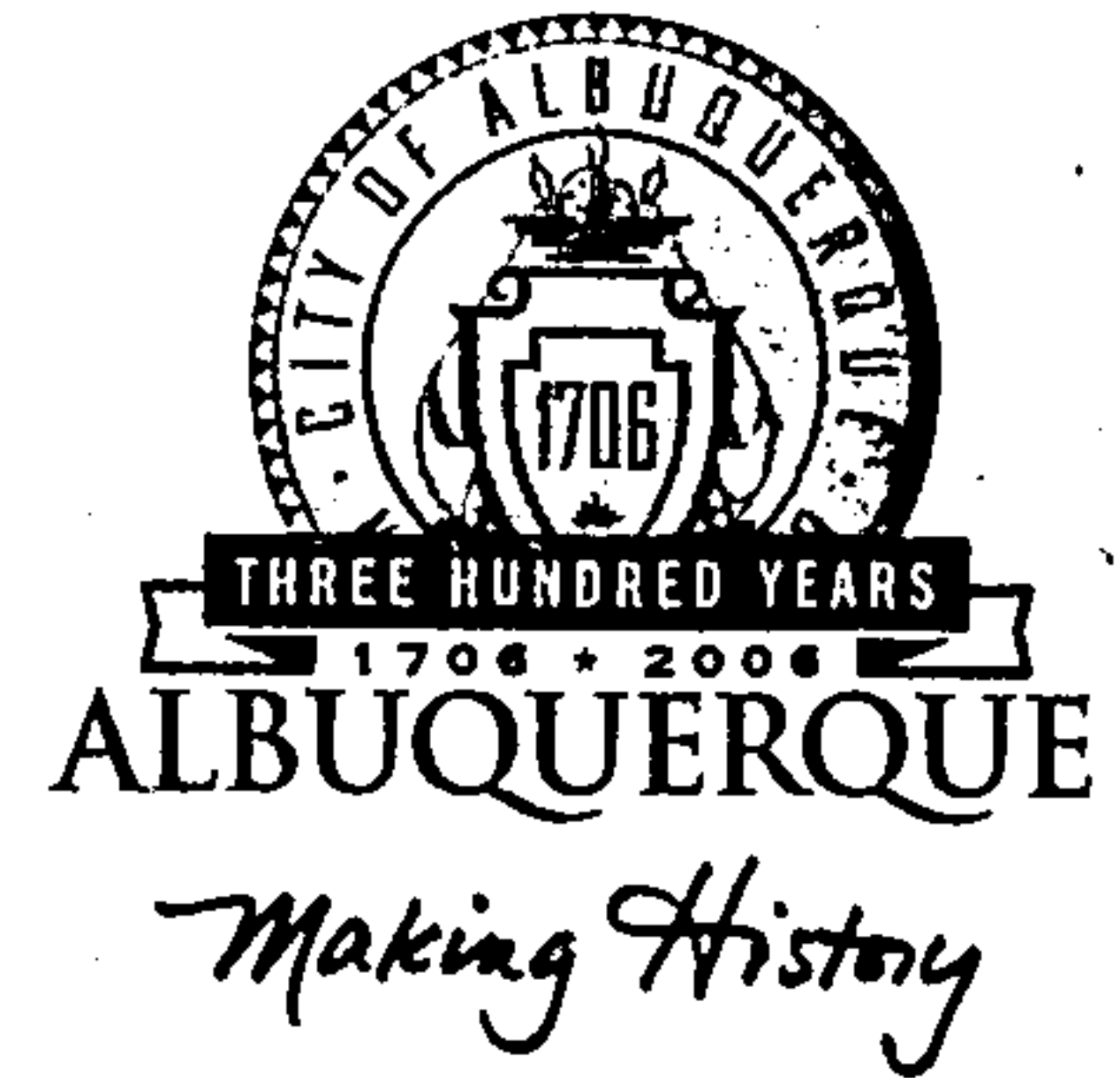
[Signature]
APPLICANT
ISSUED BY

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 8-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 260-1990 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

RECEIVED
 JAN 13 2006
 HYDROLOGY SECTION

CITY OF ALBUQUERQUE



December 15, 2005

Mr. Steve Morrow, PE
BRASHER & LORENZ
2201 San Pedro Dr. NE
Building 1, Suite 1200
Albuquerque, NM 87110

Re: IMMANUEL LUTHERAN CHURCH & SCHOOL ADDITION
300 Gold Avenue SE
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 08/31/2005 (K-14/D89)
Certification dated 12/14/2005

Dear Steve:

P.O. Box 1293

Based upon the information provided in your submittal received 12/15/2005, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Upon acceptance of noted exceptions and required SO-19 listed in your Drainage Certification, please resubmit an updated Certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
File

07117

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: IMMANUEL LUTHERAN CHURCH ZONE MAP/DRG. FILE # 1414.D89
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOTS 1-5 AND 7-10, E 82' LOTS 11+12, BLK 15, HUNNING HIGHLAND
CITY ADDRESS: 300 GOLF SE ADDN

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBU NM 87110

CONTACT: D. LORENZ
PHONE: 800 6000
ZIP CODE: 87110

OWNER: IMMANUEL LUTHERAN CHURCH
ADDRESS: 300 GOLF SE
CITY, STATE: ALBU NM

CONTACT: S. EMMERSON
PHONE: 890-8749
ZIP CODE: 87102

ARCHITECT: DESIGN GROUP
ADDRESS: 202 CENTRAL SE
CITY, STATE: ALBU NM

CONTACT: K. COOK
PHONE: 242 6000
ZIP CODE: 87102

SURVEYOR: HARMS SURVEYING
ADDRESS: 2412 MONROE NE
CITY, STATE: ALBU NM

CONTACT: T. HARMS
PHONE: 809-8056
ZIP CODE: 87110

CONTRACTOR: GERMAN MARTIN
ADDRESS: PO BOX 91450
CITY, STATE: ALBU NM 87199

CONTACT: T. NEWELL
PHONE: 828 1144
ZIP CODE: 87199

TYPE OF SUBMITTAL:

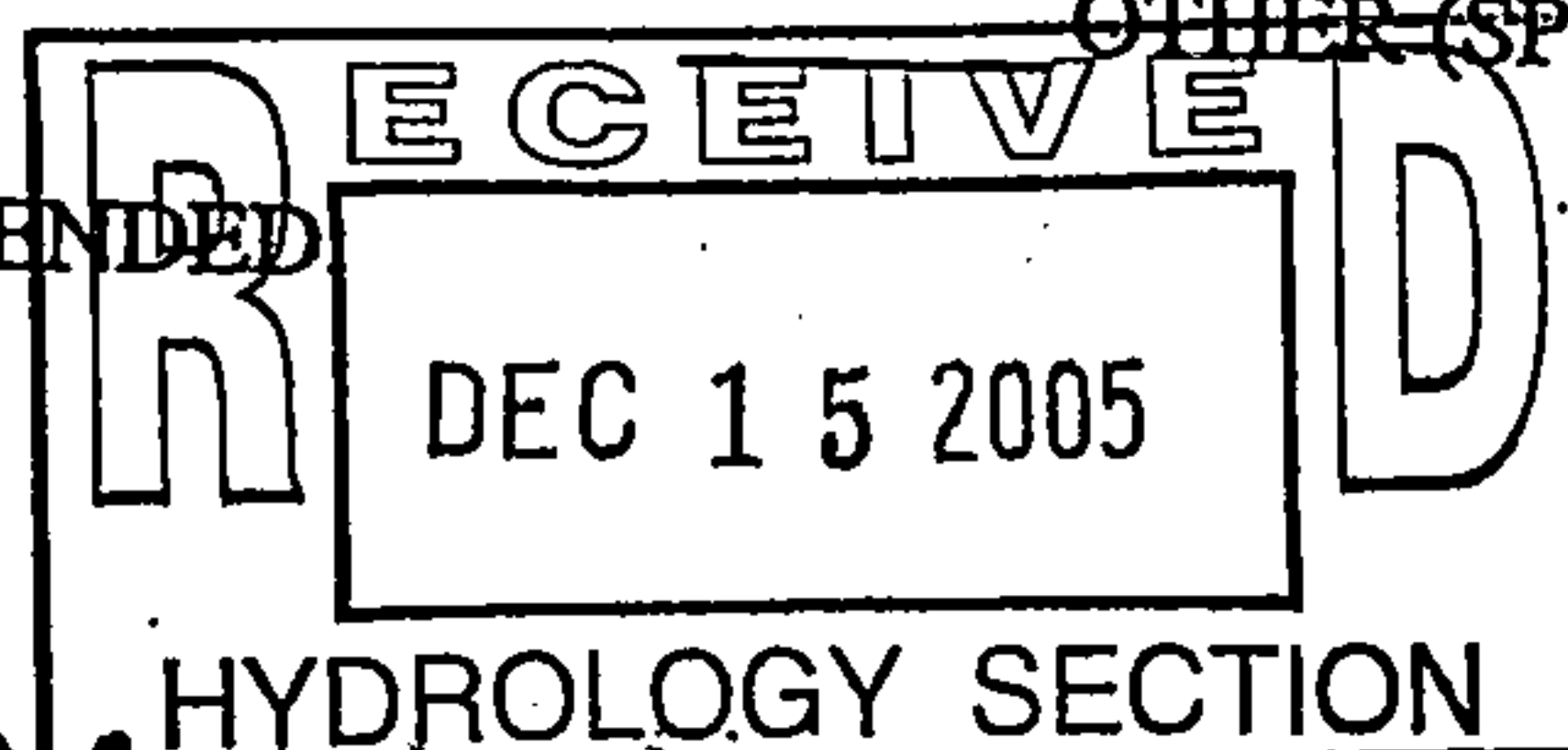
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED

- ☒ YES
☐ NO
☐ COPY PROVIDED

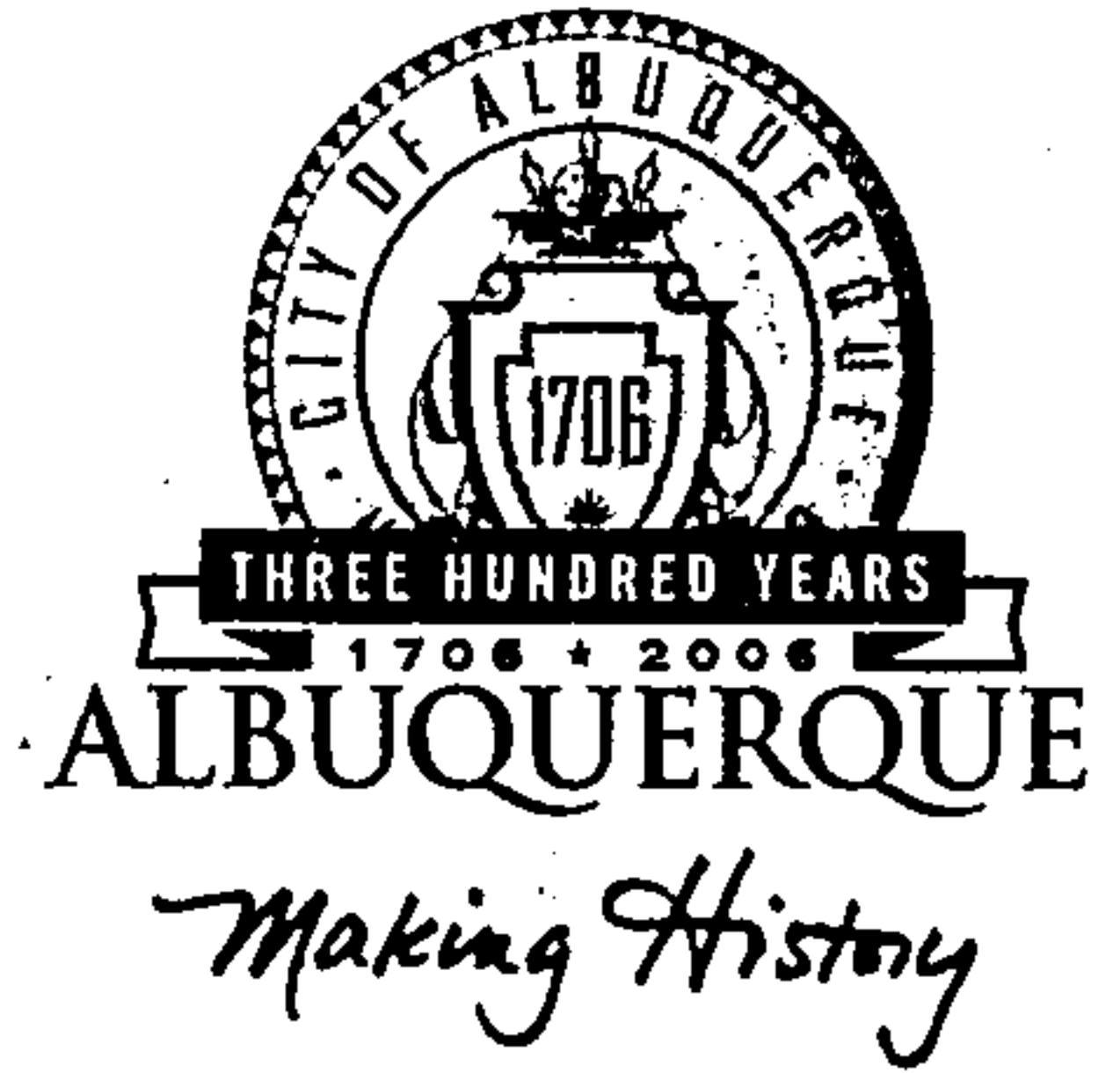


SUBMITTED BY: STEVE MORROW DATE: 12-15-05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 21, 2005

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Immanuel Lutheran Church, 300 Gold SE - Grading and Drainage Plan
Engineer's Stamp dated 8-31-05 (K14-D89)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 9-8-05, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: Liz Sanchez, Excavation & Barricading
Matt Cline, Storm Drain Maintenance
file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: IMMANUEL LUTHERAN CHURCH ZONE MAP/DRG. FILE # 1414-D 89
 DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOTS 1-5 AND 7-10, E 82' LOTS 11+12, BLK 15, HUNNING HIGHLAND
 CITY ADDRESS: 300 GOLD SE ATTN

ENGINEERING FIRM: BRASIER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBUQUERQUE NM 87110

CONTACT: D. LORENZ
 PHONE: 800 6000
 ZIP CODE: 87110

OWNER: IMMANUEL LUTHERAN CHURCH
 ADDRESS: 300 GOLD SE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: S. EMMERSON
 PHONE: 890-8749
 ZIP CODE: 87102

ARCHITECT: DESIGN GROUP
 ADDRESS: 202 CENTRAL SE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: K. COOK
 PHONE: 242 6000
 ZIP CODE: 87102

SURVEYOR: HARMS SURVEYING
 ADDRESS: 2412 MONROE NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: T. HARMS
 PHONE: 809-8056
 ZIP CODE: 87110

CONTRACTOR: GERMAN MARTIN
 ADDRESS: PO BOX 91450
 CITY, STATE: ALBUQUERQUE NM 87199

CONTACT: T. NEWELL
 PHONE: 828 1144
 ZIP CODE: 87199

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

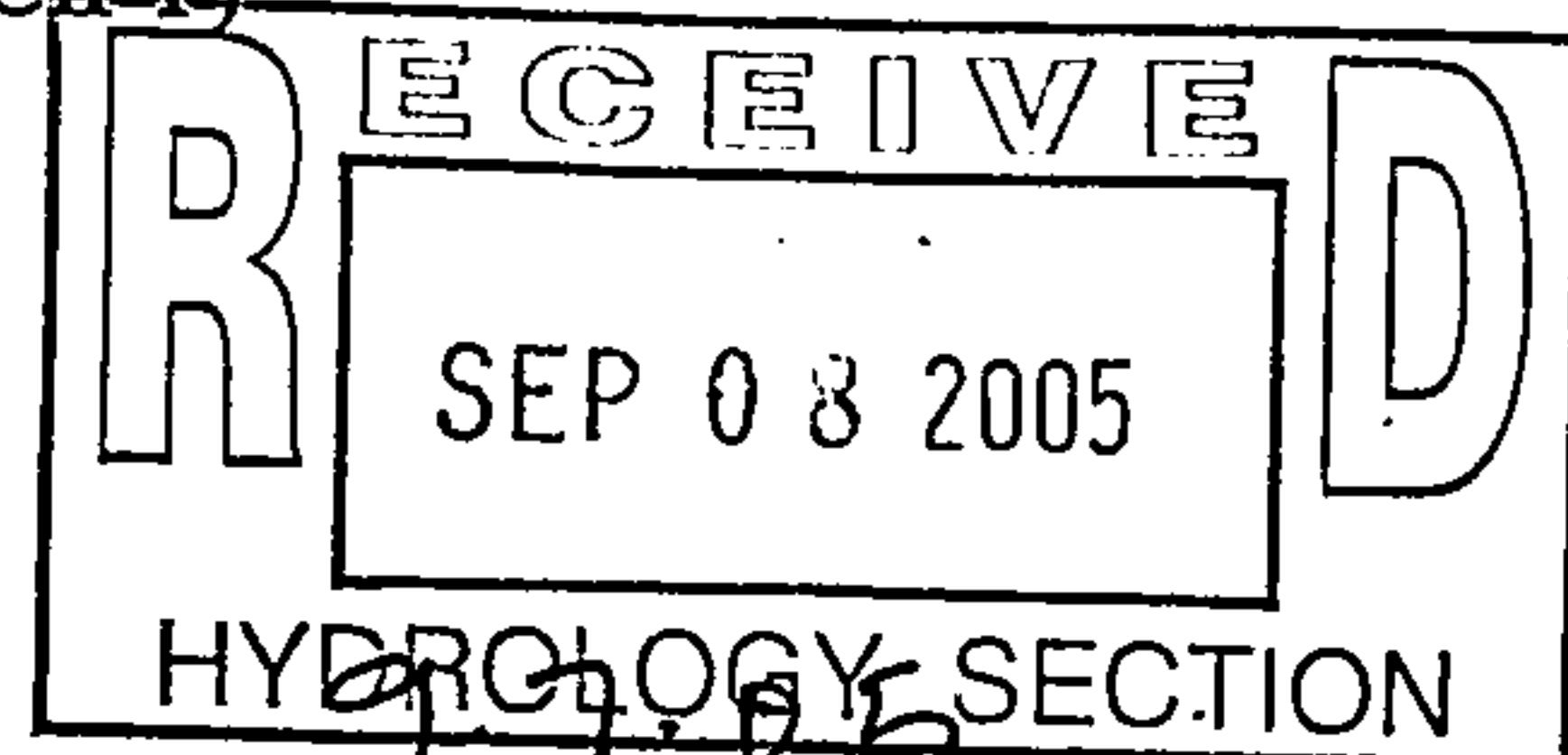
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ

DATE: 9.7.05



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

September 8, 2005

Bradley Bingham, PE
Development and Building Services
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87103

SUBJECT: Immanuel Lutheran Church (K14/D89)

Dear Bradley:

Submitted herewith are 2 copies of the revised Grading and Drainage Plan for the subject project. A french drain was discovered in the proposed south parking lot that accepts runoff from the existing building (Basin "E") by a 6-inch drainline. The Plan has been revised to add an 8-inch private storm drain, from the existing 6-inch roof drain, connecting to Silver Avenue through a standard sidewalk culvert. The french drain has been removed. The project hydrology has been revised to reflect the roof area draining to the proposed storm drain. No other significant grading or drainage conditions have changed.

This submittal is made to facilitate construction permitting of the proposed 12-inch sidewalk culvert and update the Plan in anticipation of the Engineers Certification of Grading and Drainage for CO approval.

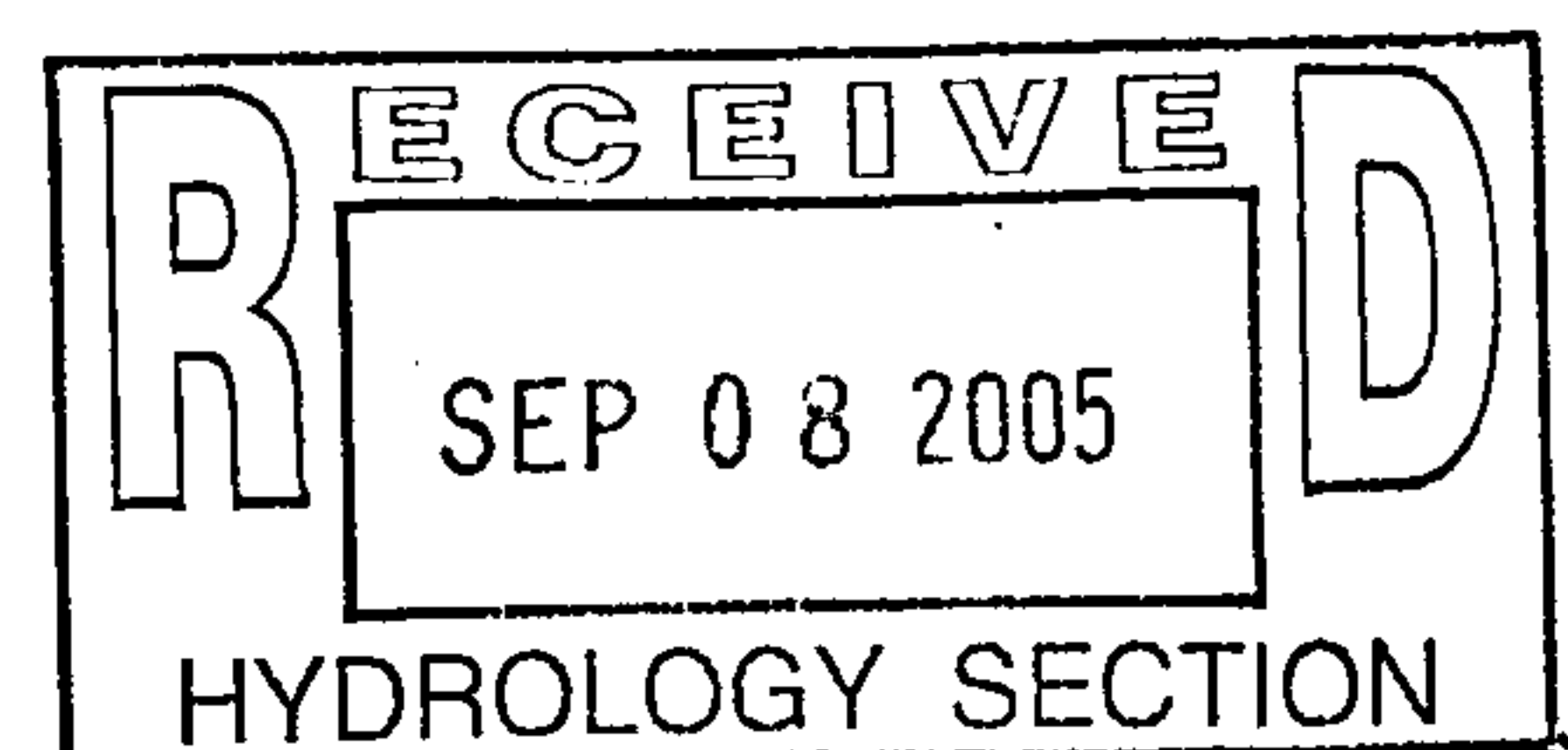
If you have any questions please call.

Sincerely,

BRASHER & LORENZ, INC.

Dennis A. Lorenz, PE
Principal

/dl/3555
encl





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 7, 2004

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Bldg 1, Ste 1200
Albuquerque, NM 87110

**RE: Immanuel Lutheran Church and School Addition, 300 Gold Ave SE,
Grading and Drainage Plan**

Engineer's Stamp dated 5-27-04 (K14-D89)

Dear Mr. Lorenz:

Based on the information provided in your submittal received 6-30-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any question, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: IMMANUEL LUTHERAN CHURCH
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: K-14/D-89
WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1-5 7-10, AND E 82 FEET OF LOTS 11 AND 12, BLK 15, HUNNING HIGHL AND
CITY ADDRESS: 300 GOLD AVE SE

ENGINEERING FIRM: BRASHER & LORENZ, INC
ADDRESS: 2201 SAN PEDRO NE BLDG 1, SUITE 1200
CITY, STATE: ALBQ, NEW MEXICO

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: IMMANUEL LUTHERAN CHURCH
ADDRESS: 300 GOLD AVE NE
CITY, STATE: ALBQ, NEW MEXICO

CONTACT: SKIP ERICKSON
PHONE: _____
ZIP CODE: 87102

ARCHITECT: DESIGN GROUP
ADDRESS: 202 CENTRAL AVE SE
CITY, STATE: ALBQ, NEW MEXICO

CONTACT: JILL ANNARINO
PHONE: 242-6880
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING
ADDRESS: 2412-D MONROE NE
CITY, STATE: ALBQ, NEW MEXICO

CONTACT: T. HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

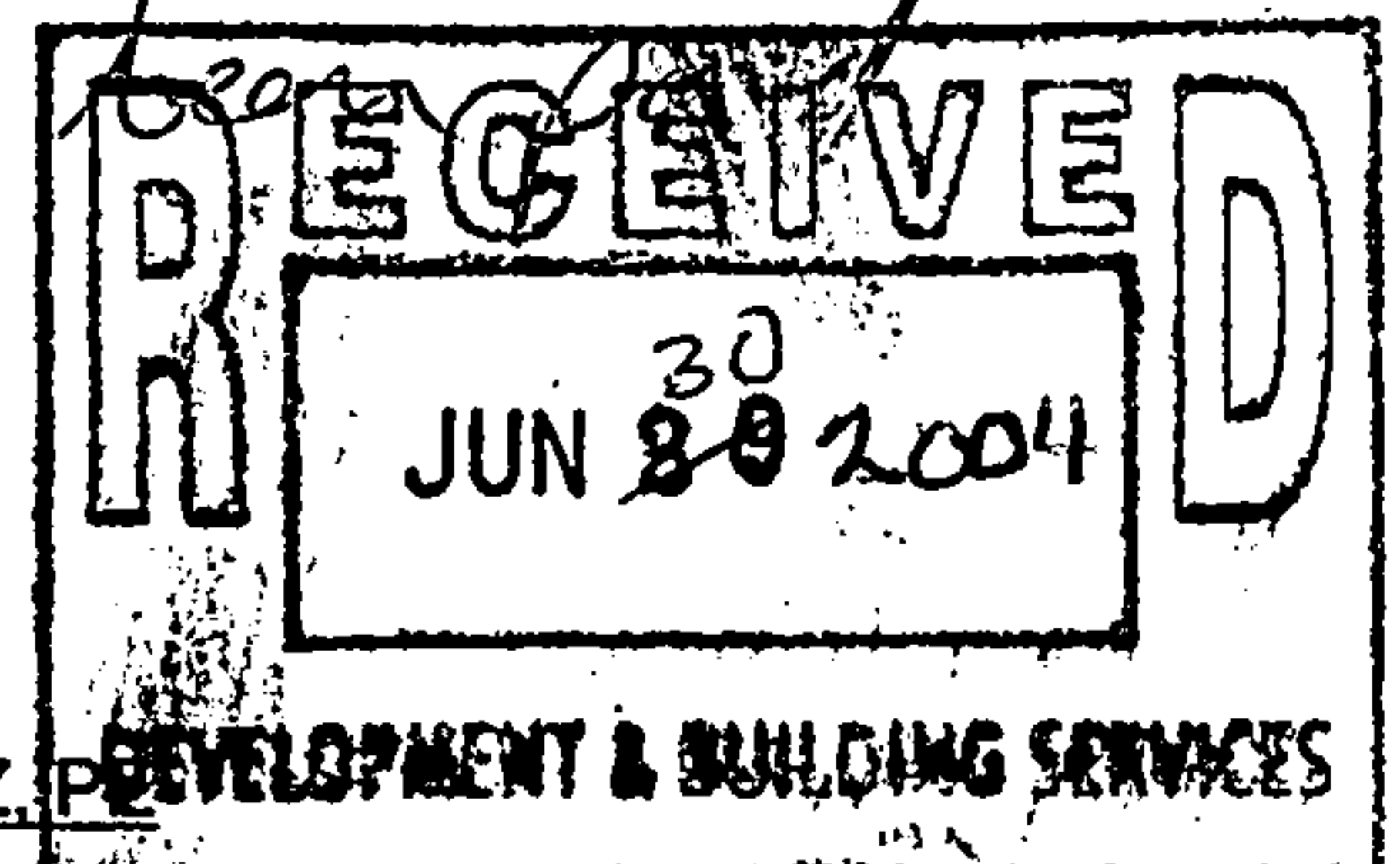
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☒ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

Fees have been received



DATE SUBMITTED: JUNE 30, 2004

BY: DENNIS A. LORENZ, DEVELOPMENT & BUILDING SERVICES

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

June 30, 2004

Kristal D. Metro
Development and Building Services
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87103

SUBJECT: Immanuel Lutheran Church (K14/D89)

Dear Kristal:

Submitted herewith are 2 copies of the revised Grading and Drainage Plan for the subject project. The Plan has been revised to accommodate minor changes to site details initiated by the project Architect. No significant grading or drainage conditions have changed.

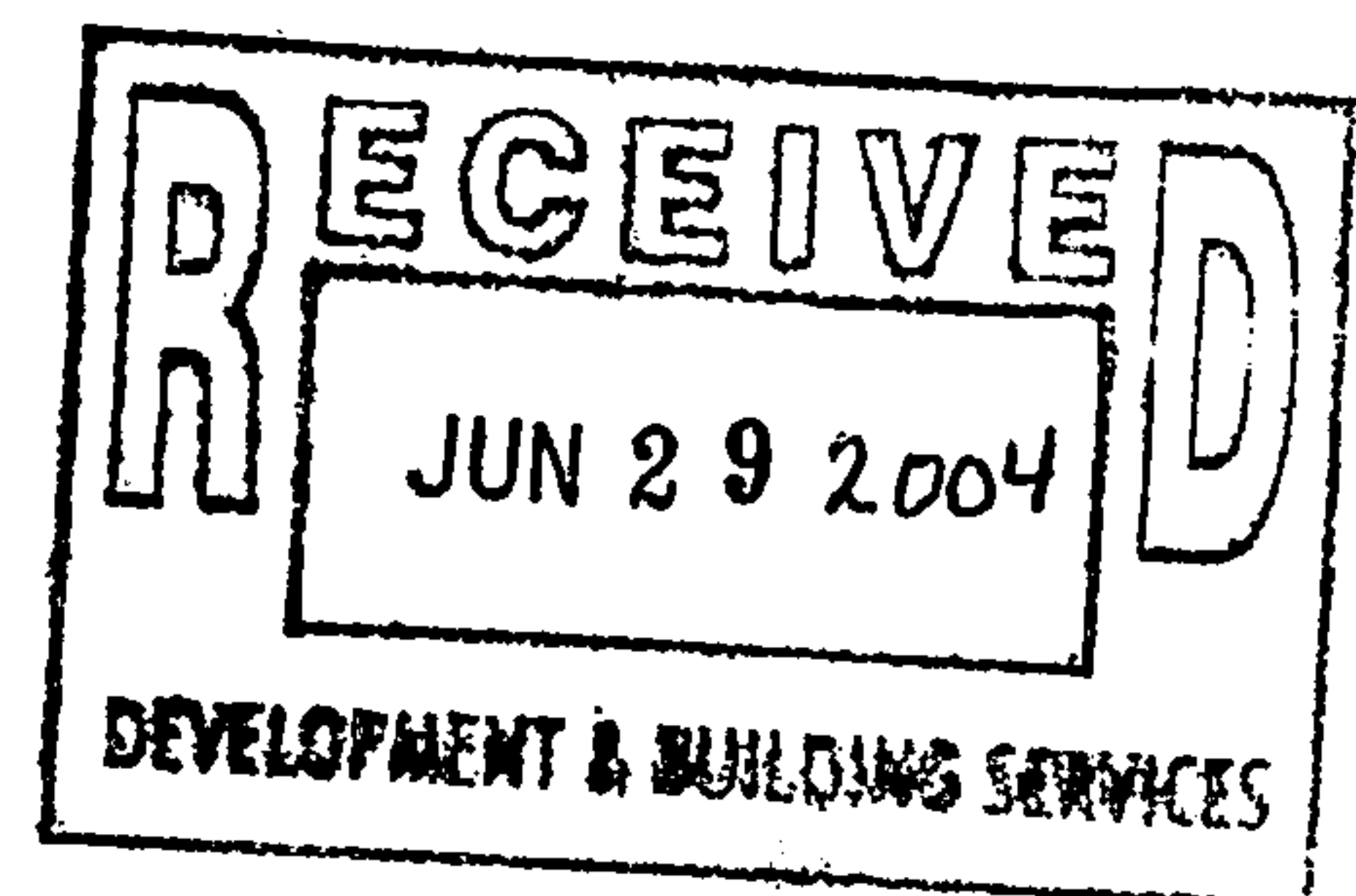
If you have any questions please call.

Sincerely,

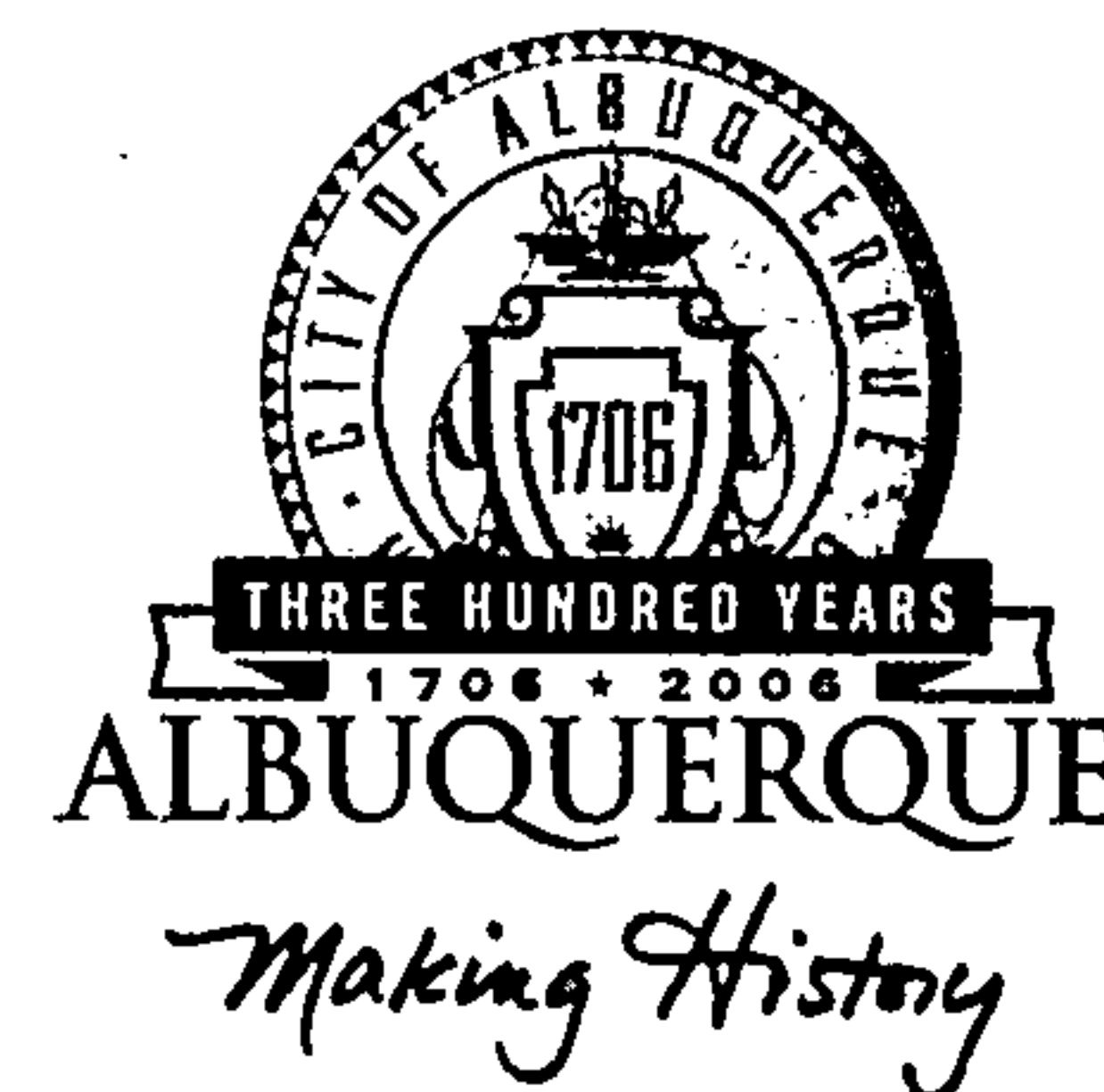
BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE
Principal

/dl/3555
encl



CITY OF ALBUQUERQUE



June 1, 2005

Gregory V. Hartman
The Design Group
202 Central Ave. SE – Suite 200
Albuquerque, NM 87102

**Re: Immanuel Lutheran Church & School Addition, 300 Gold Ave. SE
Traffic Circulation Layout - Architects Stamp dated 5-26-05 (K14-D89)**

Dear Mr. Hartman,

Based upon the information provided in your submittal received 5-27-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Is a replat of the site required for the proposed improvements?
2. Provide new sidewalk or show existing sidewalk along Arno and Gold at the northwest corner of site.
3. Is alley public or has it been vacated?
4. Provide information on how gates will operate at the alley on Gold and the new drive pad entrance on Silver to assure queuing does not backup onto street.
5. Provide 24'-0" curb cut at Silver.
6. Center new drive pad on 40' aisle.
7. Provide Solid Waste approval for dumpster location.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

Cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

K-14/D89

PROJECT TITLE: Immanuel Lutheran Church and School Addition ZONE MAP: K-14-2
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1, 2, 3, 4, 5, 11 & 12, Block 15, Hunings Highland Addition
 CITY ADDRESS: 300 Gold Ave, SE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Immanuel Lutheran Church CONTACT: _____
 ADDRESS: 300 Gold Ave, SE PHONE: _____
 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102

ARCHITECT: The Hartman & Majewski Design Group CONTACT: Ken Cook
 ADDRESS: 202 Central Ave, SE PHONE: 505-242-6880
 CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ ~~TRAFFIC~~ CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

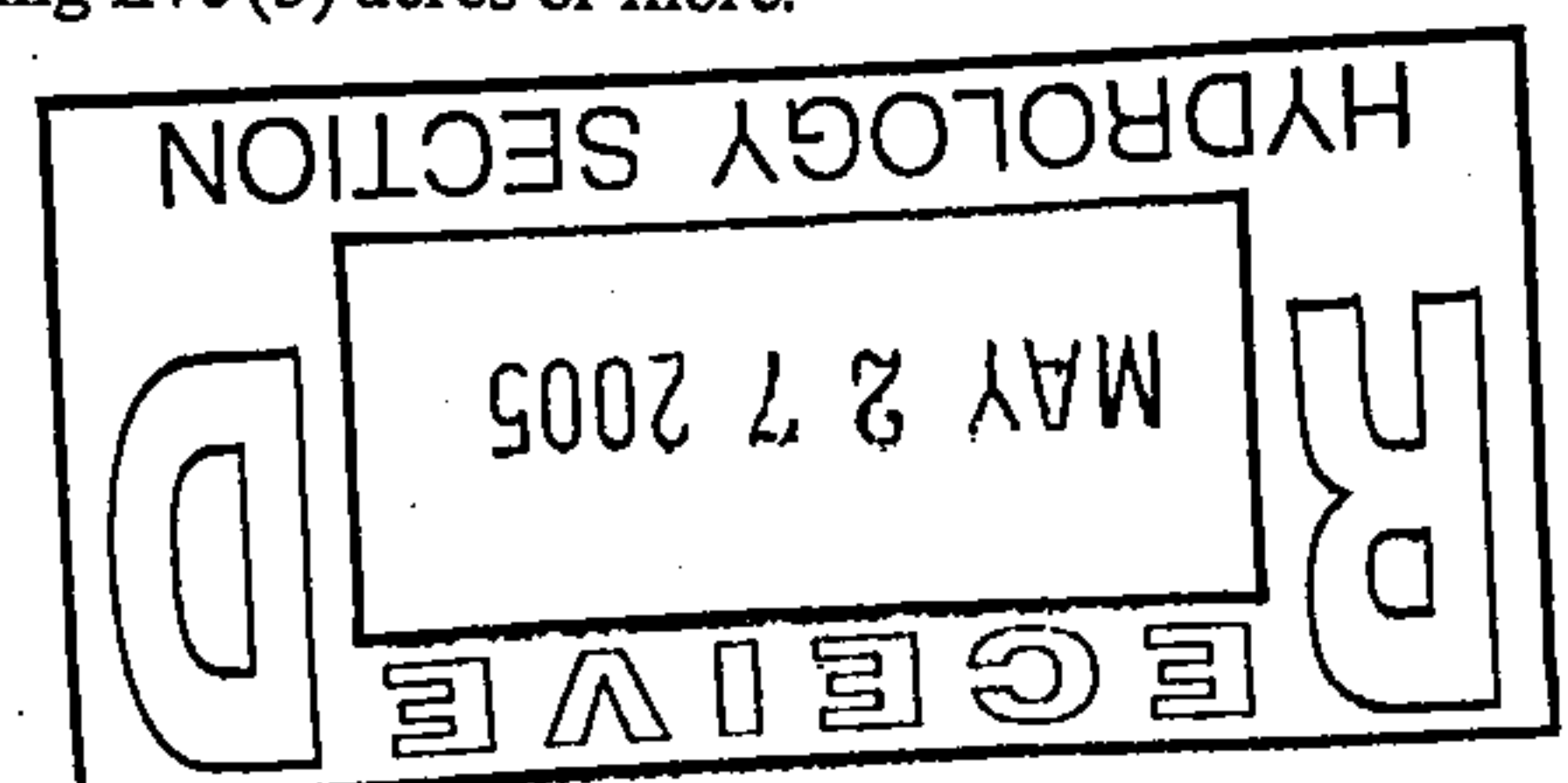
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5-27-05 BY: The Design Group

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



- IS A REPLAT REQUIRED?
- MISSING SIDEWALK GOLD & ARND?
- ALLEY ~~IS~~ VACATED?
- INSURE GATE IS SET BACK AND HOW DOES IT OPERATE?

QUEING ONTO GOLD

- WHY 23'-10" CURB CUT
- WHY CURB CUT NOT CENTERED PARKING STRIPING
- APPROVAL FROM SOLID WASTE FOR DUMPSTER LOCATION



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 14, 2004

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Immanuel Lutheran Church and School Addition, 300 Gold Ave SE,
Grading and Drainage Plan
Engineer's Stamp dated 5-12-04 (K14-D89)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 5-12-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
File