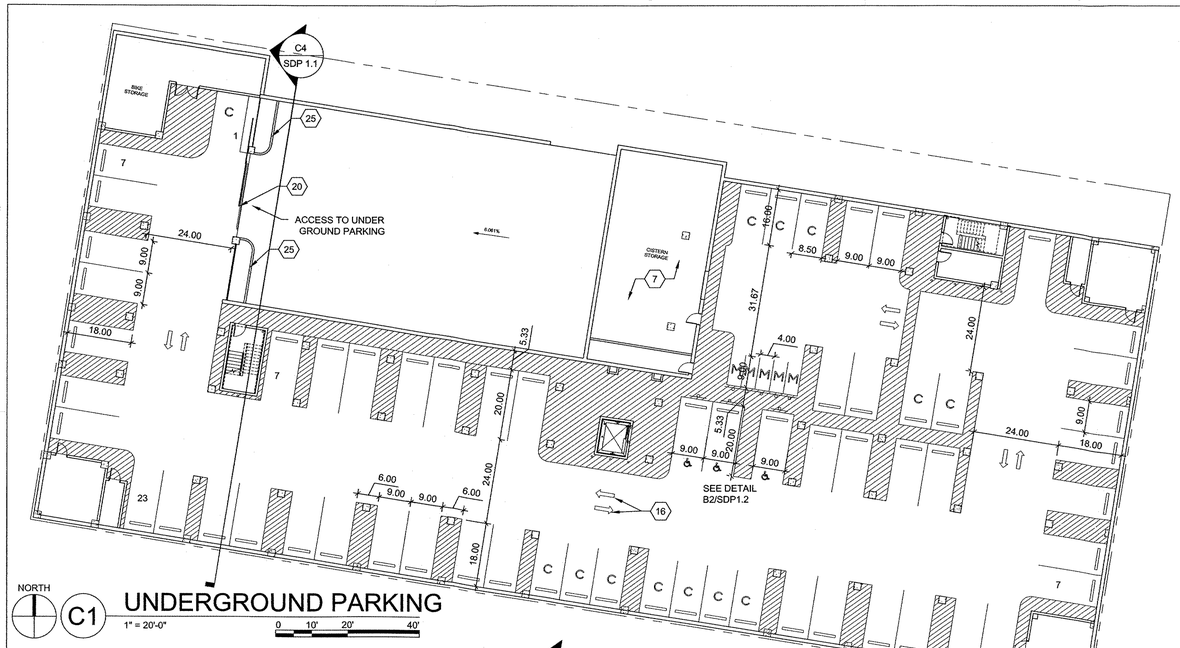
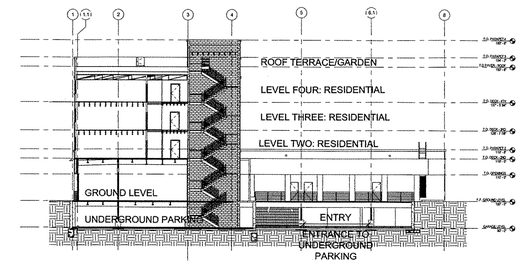


NORTH

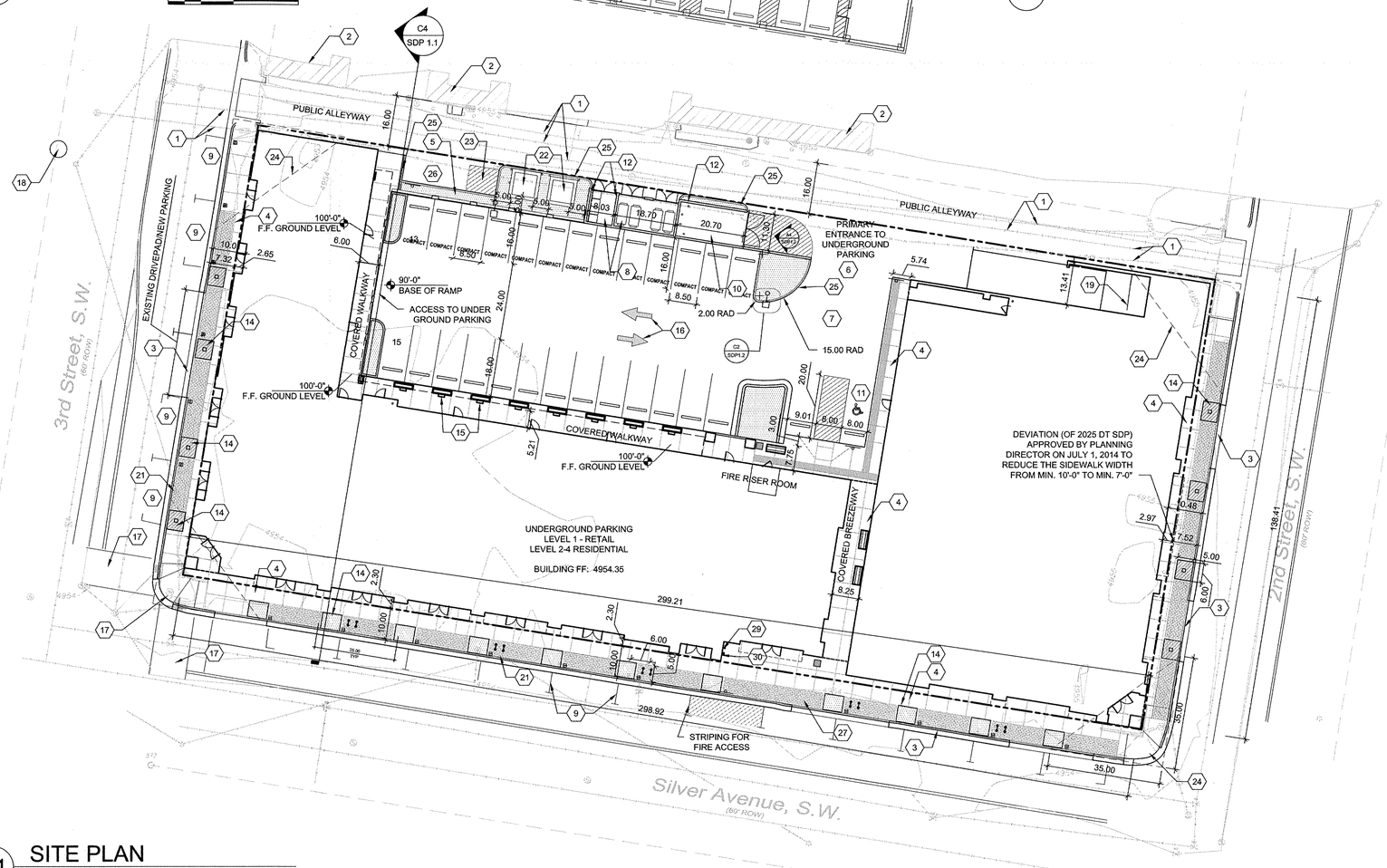
C1 UNDERGROUND PARKING

1" = 20'-0"

0 10' 20' 40'



D1 SECTION - NORTH/SOUTH (NTS)



NORTH

A1 SITE PLAN

1" = 20'-0"

0 10' 20' 40'

SYMBOLS LEGEND

- PROPERTY LINE
- MODULAR PLANTER
- 6' BENCH
- TRASH RECEPTACLE
- BIKE RACK (SEE DETAIL A3/SDP1.2)
- PARKING LOT LIGHT (SEE DETAIL C2-A/SDP1.2)
- PERMEABLE PAVING
- C — COMPACT PARKING SPACE
- M — MOTORCYCLE PARKING SPACE
- & — ACCESSIBLE PARKING SPACE SEE DETAIL B2/SDP1.2

GENERAL SHEET NOTES

A. SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED HPS FIXTURES, WALKWAY AREA LIGHT AND POST-MOUNTED LIGHT FIXTURES IN ENTRY AND PARKING AREAS. AS MAY BE APPROPRIATE, POST LIGHTING SHALL BE 16' MAXIMUM HEIGHT. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES AND PUBLIC RIGHTOF WAY

B. MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SCREENED FROM VIEW TO THE GREATEST EXTENT PRACTICAL

SHEET KEYED NOTES

1. EXISTING UTILITIES AND EASEMENTS
2. EXISTING BUILDINGS
3. NEW CURB AND GUTTER AT EXISTING DRIVEPADS PER CITY STANDARD DETAIL 2415A
4. NEW CONCRETE SIDEWALK PER CITY STANDARD DETAIL 2430
5. LANDSCAPE AREA
6. PRIMARY ENTRANCE
7. PROPOSED LOCATION FOR UNDERGROUND CISTERN
8. DUMPSTER COLLECTION AREA
9. EXISTING ON-STREET PARALLEL PARKING
10. TRASH COMPACTOR
11. VAN ACCESSIBLE PARKING, SEE DETAIL B2/SDP1.2
12. 6' HT CMU DUMPSTER ENCLOSURE WALL
13. SIDEWALK PLANTER, FLUSH WITH WALKING SURFACE
14. NEW STREET TREE PLANTER AREA 6' X 5'
15. PLANTER IN COLUMN
16. PAINTED PAVEMENT SIGNAGE
17. EXISTING STREET CROSSING TO REMAIN
18. EXISTING BUS STOP (ROUTE 40)
19. LOADING DOCK
20. VEHICULAR ACCESS GATE
21. EXISTING LIGHT POLE
22. SWITCHGEAR/TRANSFORMER
23. GREASE TRAP
24. CLEAR SIGHT TRIANGLE
25. NEW HEADER CURB
26. LOADING ONLY PARKING
27. PERMEABLE PAVING
28. EXISTING TRAFFIC LIGHT
29. WALL INDICATOR VALVE - FIRE
30. FIRE DEPARTMENT CONNECTION (FDC)

SITE DEVELOPMENT PLAN APPROVAL
SU-3 DOWNTOWN URBAN CENTER
FILE NO: DT-14-0135
APPROVAL OF IMPERIAL BLDG - MIXED USE PROJECT
PLANNING DIRECTOR — DATE 9.4.14

NOTE: CONCEPTUAL UTILITY AND GRADING PLANS INCLUDED AS REFERENCE. APP'L OF THESE PLANS WILL OCCUR AT DFC AND/OR BUILDING PERMIT.

PROJECT DATA

GENERAL

LOCATION: 205 SILVER AVE. SW ALBUQUERQUE, NM 87102

OCCUPANCY TYPES: GARAGE: S-2; OFFICE: B; RETAIL: M; APARTMENTS: R-2; ROOF TERRACE: U

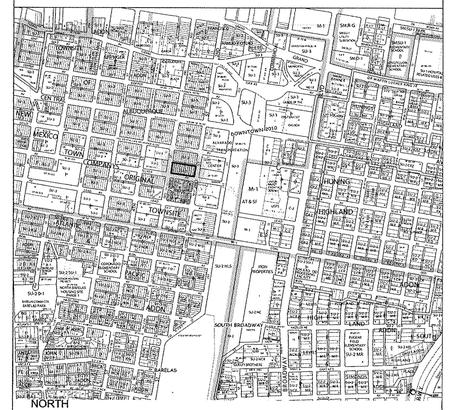
CONSTRUCTION TYPE: GARAGE & LEVEL ONE: TYPE II-B FULLY SPRINKLERED NFPA 13; LEVELS TWO, THREE, FOUR: TYPE V-A FULLY SPRINKLERED NFPA 13

SITE:

LEGAL DESCRIPTION: LOTS NUMBERED 13, 14, 15, 16 AND EAST 23 FEET OF LOT 17, BLOCK 23, NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID TOWNSITE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 1882, AND THE WEST TWO FEET OF LOT NUMBERED SEVENTEEN AND ALL OF LOTS 18-24 INCLUSIVE IN BLOCK NUMBERED 23 OF THE NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID TOWNSITE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 1992.

SITE AREA:	0.97 ACRES (42,253SF)
DENSITY:	76.3 DU/A
ZONING:	
EXISTING ZONING:	SU-3
PROPOSED ZONING:	SU-3 - DOWNTOWN 2025 SECTOR DEVELOPMENT PLAN - TYPE "G" PODIUM
FLOOR AREA RATIO (FAR):	3.13 FAR
SETBACK REQUIREMENTS:	NONE
BUILDING HEIGHT	
ALLOWED:	8 STORIES MAXIMUM
PROVIDED:	4 STORIES
OPEN SPACE	
REQUIRED:	NONE
PROVIDED:	12,278 SF
PARKING REQUIRED:	NONE
PARKING PROVIDED:	97 OFF STREET SPACES 5 MOTORCYCLE SPACE 26 COMPACT PARKING SPACE 1 VAN ACCESSIBLE PARKING SPACE 61 STANDARD PARKING SPACE 3 ACCESSIBLE PARKING SPACE 1 LOADING PARKING SPACE 12 EXISTING PUBLIC ON-STREET SPACES 4 ADDED PUBLIC ON-STREET SPACES
BICYCLE PARKING REQUIRED:	NONE
BICYCLE PARKING PROVIDED:	12 RACKS @ 2/RACK (SEE DETAIL A3/SDP1.2)

VICINITY MAP



NORTH

NTS

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

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ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

IMPERIAL BUILDING

205 Silver Avenue SW
Albuquerque, NM 87102

REVISIONS

DRAWN BY	DPS
REVIEWED BY	
DATE	8/28/2014
PROJECT NO.	14-0064

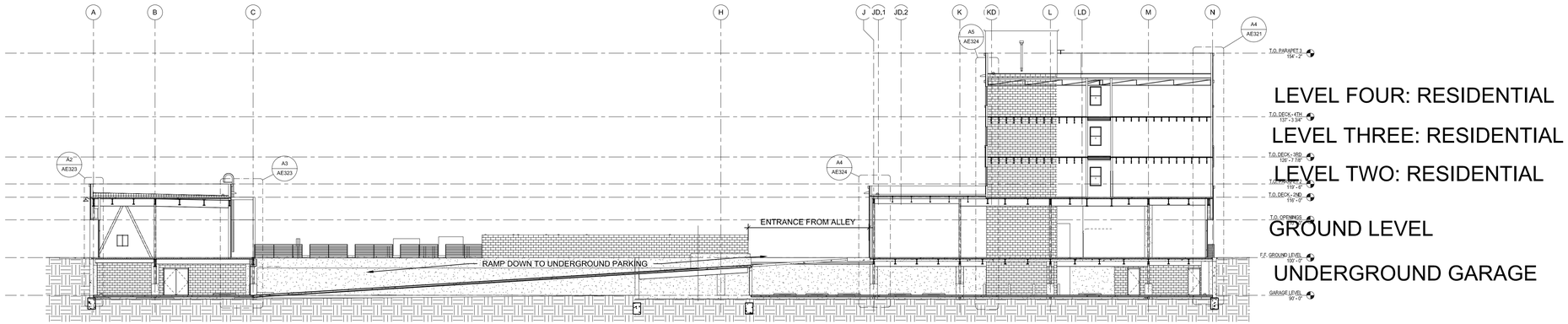
DRAWING NAME

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRT SUBMISSION)

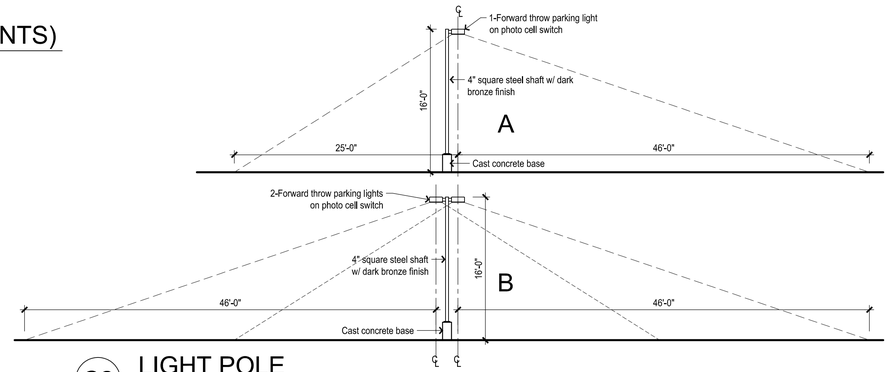
SHEET NO.

SDP-1.1

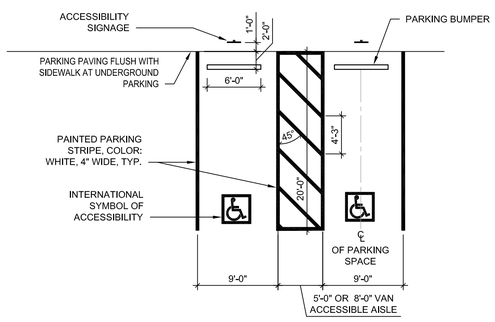
OF



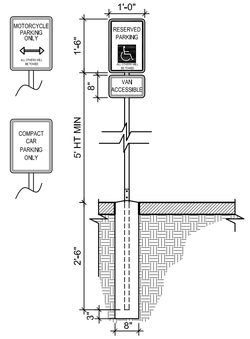
D1 SECTION - EAST/WEST (NTS)



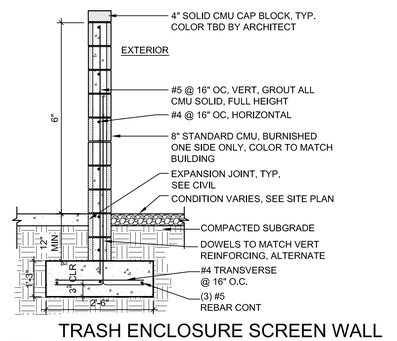
C2 LIGHT POLE
1/8" = 1'-0"
0 4' 8' 16'



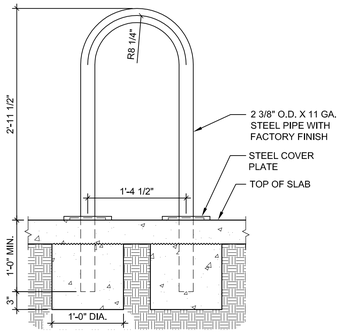
B2 ACCESSIBLE PARKING
1/8" = 1'-0"
0 4' 8' 16'



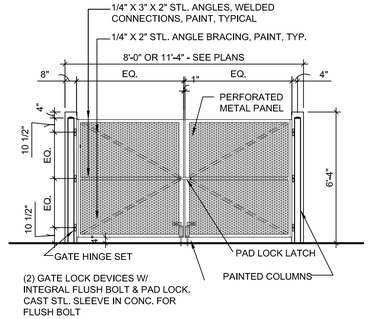
B3 PARKING SIGNS
1/2" = 1'-0"
0 1' 2' 4'



A2 TRASH ENCLOSURE SCREEN WALL
6' HT. SCREEN WALL
1/2" = 1'-0"
0 1' 2' 4'



A3 BICYCLE RACK DETAIL
1" = 1'-0"
0 1/2" 1' 2'



A4 GATE AT REFUSE ENCLOSURE
1/4" = 1'-0"
0 2' 4' 8'

ARCHITECTURE / DESIGN / INSPIRATION

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ARCHITECT

ENGINEER

PROJECT

IMPERIAL BUILDING
205 Silver Avenue SW
Albuquerque, NM 87102

ENTITLEMENTS

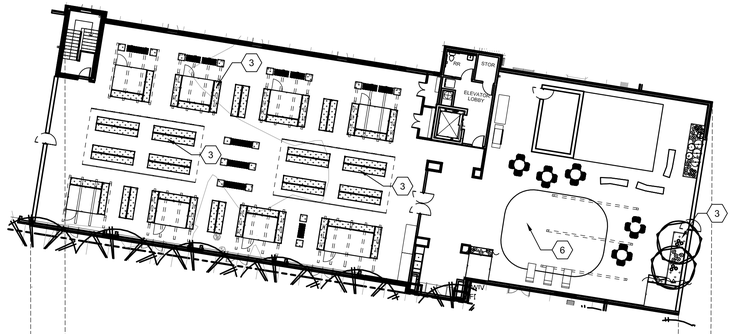
REVISIONS

DRAWN BY	DPS
REVIEWED BY	
DATE	8/28/2014
PROJECT NO.	14-0064
DRAWING NAME	

SITE DETAILS
(DRT SUBMISSION)

SHEET NO.
SDP-1.2
OF

TREES			SHRUBS			PERENNIALS			GRASSES			VINES			MULCHES	
SYM	COMMON NAME	BOTANICAL NAME	SYM	COMMON NAME	BOTANICAL NAME	SYM	COMMON NAME	BOTANICAL NAME	SYM	COMMON NAME	BOTANICAL NAME	SYM	COMMON NAME	BOTANICAL NAME		
	Urbanite Ash	Fraxinus pennsylvanica 'Urbanite'		Cranberry Cotoneaster	Cotoneaster apiculatus		Blanket Flower	Gaillardia grandiflora		Deer grass	Muhlenbergia rigens		Honeysuckle	Lonicera japonica 'Halliana'		3/4" Crushed gravel with filter fabric, 3" Depth
	Raywood Ash	Fraxinus oxycarpa		Oregon Grapeholly	Mahonia aquifolium		Native Gayfeather	Liatris punctata		Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'		Chinese Wisteria	Wisteria sinensis		Bark mulch with filter fabric
	Elberta Peach - Semi Dwarf	Prunus 'Elberta' SD		Threeleaf Sumac	Rhus trilobata		Russian Sage	Perovskia atriplicifolia		Karl Foester Reed Grass	Calamagrostis acutiflora 'Karl Foerster'					
				Turpentine Bush	Ericameria laricifolia		Red Valerian	Centranthus ruber 'Red'								
							Catmint sp	Nepeta sp								
							Big Blue Lily Turf	Liriope muscari 'Big Blue'								

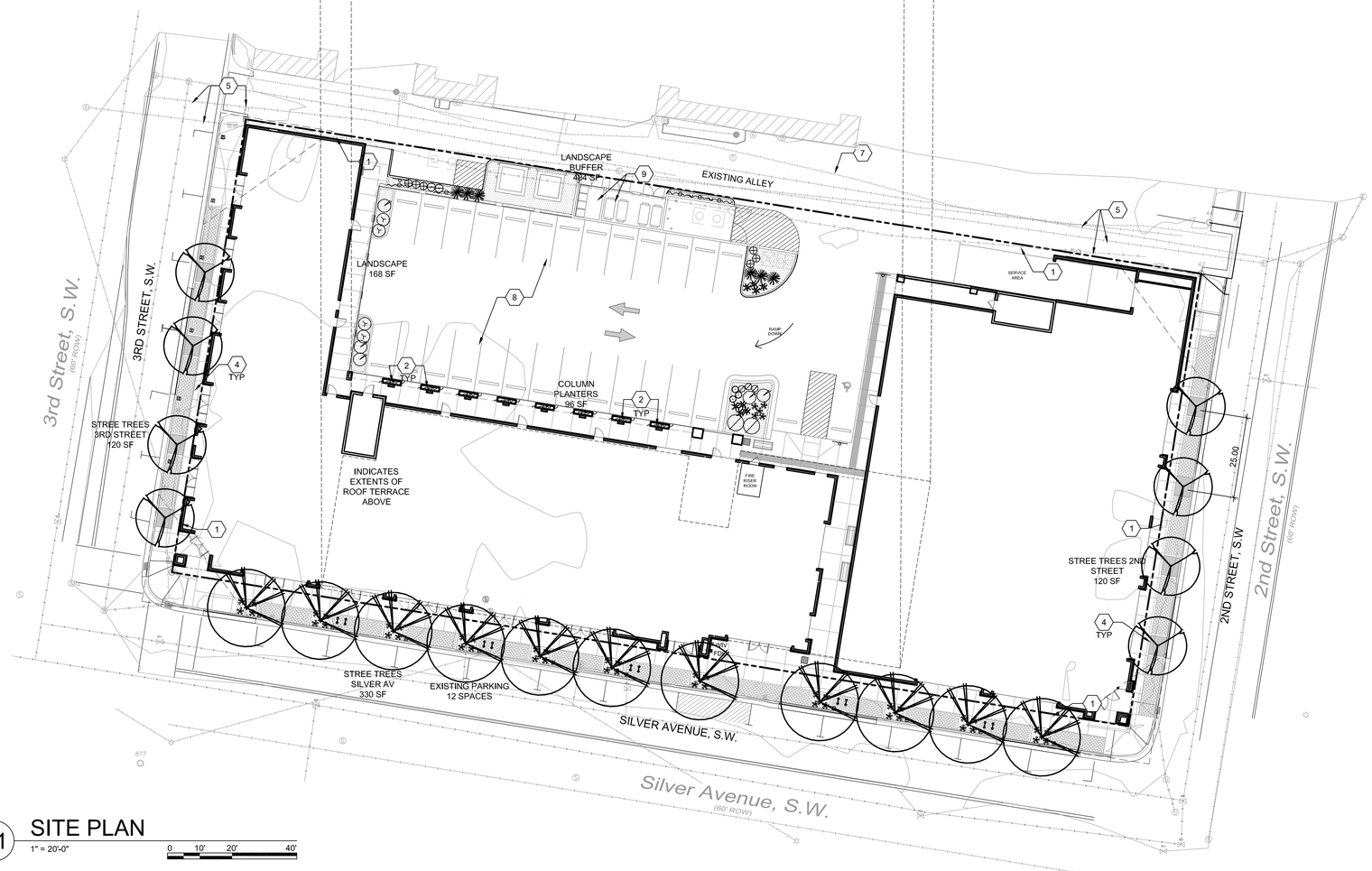


NORTH

D1 ROOF PLAN

1" = 20'-0"

0 10' 20' 40'



NORTH

A1 SITE PLAN

1" = 20'-0"

0 10' 20' 40'

GENERAL SHEET NOTES

A. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
B. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

PLANTING NOTES

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
3. AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
5. LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE , BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.
6. NO TURF IS BEING PROPOSED IN THIS PROJECT.
7. LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SEED. SEE PLANTING LEGEND.
8. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
9. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
10. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
11. LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
12. ALL PLANT MATERIAL MUST BE NURSERY GROWN, AND ALL PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
13. ALL LINES SHOWN BETWEEN MULCH TYPES ARE FOR REFERENCE ONLY AND DO NOT INDICATE STEEL EDGING.
14. NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION. BUT SHALL BE BLENDED WITH IMPORTED TOPSOIL BLEND AND/OR COMPOST.
15. WHERE MULCH IS ADJACENT TO CONCRETE, FINISH GRADE OF MULCH TO BE APPROXIMATELY ½" BELOW TOP OF CONCRETE.
16. PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN AN UNDERGROUND CISTERN.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
2. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREES, SHRUBS, AND GROUNDCOVER PLANTING AREAS.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO A NON PORTABLE WATER HARVESTING SYSTEM.
4. THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
5. EACH TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - TWO (2) GPH EMITTERS. EACH ACCENT PLANT SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTER.
6. THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

SITE AREA:	0.97 ACRES (42,253SF)
BUILDING AREA:	25,778 SF
NET LOT AREA:	15,398 SF
REQUIRED LANDSCAPE AREA:	15% OF NET LOT AREA: 2,310 SF
PROVIDED LANDSCAPE AREA:	2,371 SF

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 60%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

SHEET KEYED NOTES

1. PROPERTY LINE
2. PLANTER IN COLUMN
3. RAISED PLANTER
4. TREE GRATE
5. EXISTING UTILITY LINES
6. MULTI PURPOSE SYNTHETIC TURF
7. PROPOSED LOCATION FOR UNDERGROUND CISTERN
8. PARKING AT RAMP. UNDERGROUND PARKING ACCESS
9. DUMPSTER

ARCHITECTURE / DESIGN / INSPIRATION

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ARCHITECT

ENGINEER

PROJECT

IMPERIAL BUILDING

205 Silver Avenue SW
Albuquerque, NM 87102

ENTITLEMENTS

REVISIONS

DRAWN BY	DPS
REVIEWED BY	
DATE	8/28/2014
PROJECT NO.	14-0064

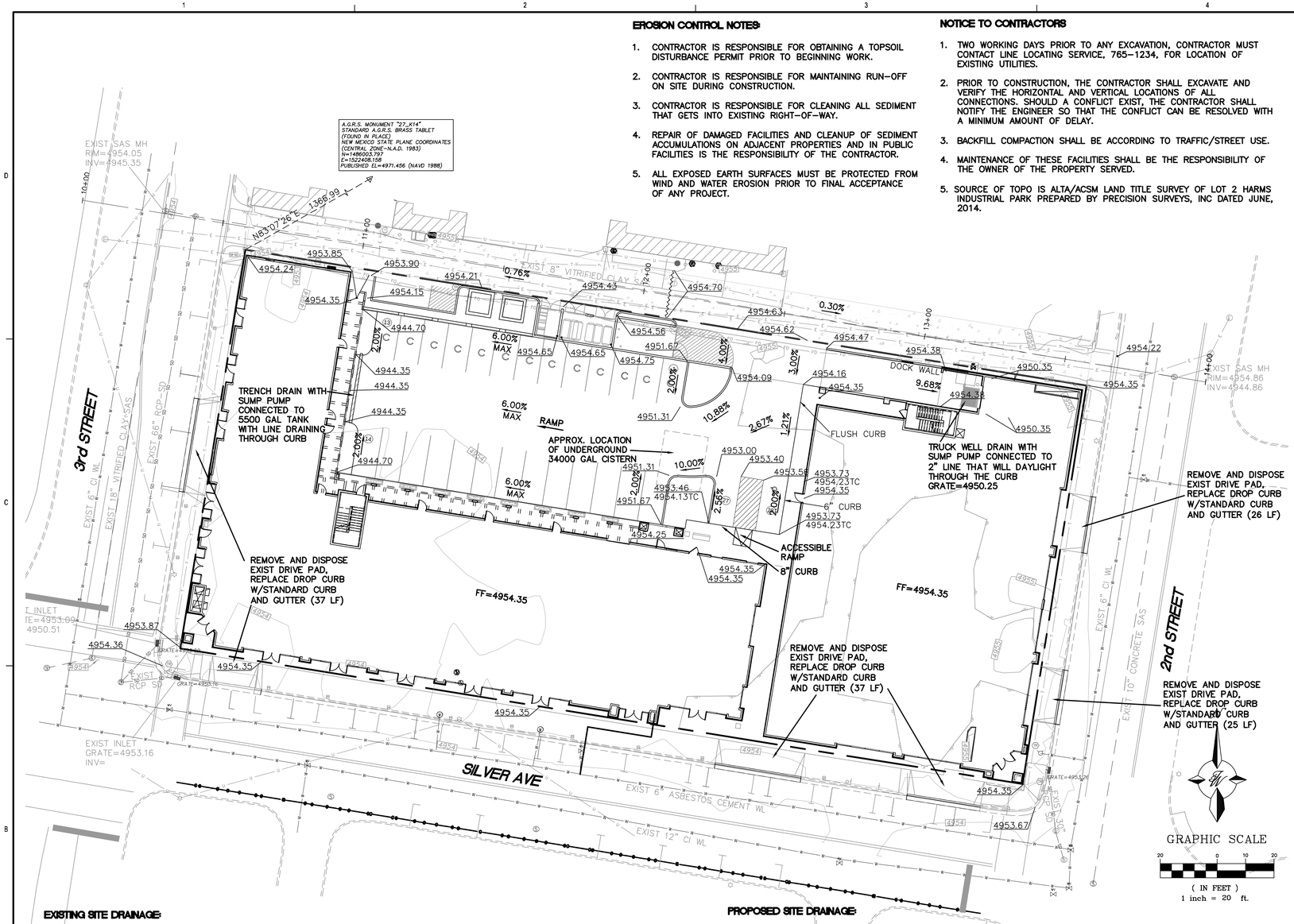
DRAWING NAME

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRT SUBMISSION)

SHEET NO.

SDP-2

OF



GRAPHIC SCALE
20 0 10 20
(IN FEET)
1 inch = 20 ft.

EROSION CONTROL NOTES:

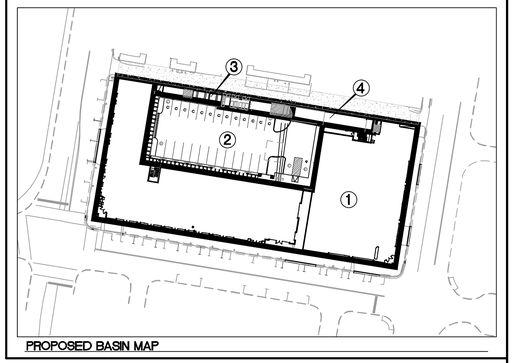
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTICE TO CONTRACTORS

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
4. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
5. SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JUNE, 2014.

VICINITY MAP K-14Z

FIRM MAP 35001C0334G



PROPOSED BASIN MAP

EXISTING SITE DRAINAGE:

THE 0.98 ACRE SITE IS LOCATED IN DOWNTOWN ALBUQUERQUE ON THE NORTH SIDE OF SILVER AVENUE BETWEEN 2ND STREET AND 3RD STREET. THE SITE IS BOUNDED ON THE NORTH BY AN EXISTING ALLEY WITH BUILDINGS AND A PARKING LOT TO THE NORTH OF THE ALLEY.

THE SITE IS CURRENTLY VACANT AND DRAINS FROM THE NORTHEAST TO THE SOUTHWEST. THE SITE CURRENTLY GENERATES A 100-YR, 6-HR PEAK FLOW OF 2.23 CFS RESULTING IN 0.064 AC-FT OF RUNOFF VOLUME AS SHOWN IN THE TABLE BELOW. THE STORM WATER SHEET FLOWS OVER THE SIDEWALK AND INTO THE STREET GUTTER WHERE IT IS COLLECTED IN AN EXISTING DROP INLET. THERE ARE NO OFF-SITE FLOWS THAT ENTER THIS SITE NOR IS THIS SITE LOCATED IN A FLOOD PLAIN AS SHOWN ON FIRM MAP #35001C0334G.

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	100-Year Weighted E (ac-ft)	100-Year Volume (ac-ft)	100-Year Flow cfs	10-Year Weighted E (ac-ft)	10-Year Volume (ac-ft)	10-Year Flow cfs
Ex. Basin 1	42,575	0.98	0%	0	100%	0.98	0%	0.00	0%	0.00	0.780	0.064	2.23	0.280	0.023	0.93
Basin 1	28,354	0.65	0%	0	5%	0.03	0%	0.00	95%	0.62	2.053	0.111	2.98	1.287	0.070	1.97
Basin 2	11,301	0.26	0%	0	0%	0.00	0%	0.00	100%	0.26	2.120	0.046	1.22	1.340	0.029	0.81
Basin 3	1,728	0.04	0%	0	0%	0.00	0%	0.00	100%	0.04	2.120	0.007	0.19	1.340	0.004	0.12
Basin 4	1,192	0.03	0%	0	0%	0.00	10%	0.00	100%	0.03	2.233	0.005	0.14	1.392	0.003	0.09
												0.169	**4.52**			

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Excess Precipitation, E (inch)	Zone 2	100-Year	10 - Year
	E_a	0.53	0.13
	E_b	0.78	0.28
	E_c	1.13	0.52
	E_d	2.12	1.34

Peak Discharge (cfs/acre)	Zone 2	100-Year	10 - Year
	Q_a	1.56	0.38
	Q_b	2.28	0.95
	Q_c	3.14	1.71
	Q_d	4.70	3.14

PROPOSED SITE DRAINAGE:

THIS SITE WILL BE DEVELOPED WITH A MIXED USE MULTI-LEVEL BUILDING THAT WILL TAKE UP THE ENTIRE LOT. THERE ARE FOUR PROPOSED BASINS AS SHOWN ON THE PROPOSED BASIN MAP.

AS PART OF THIS PROJECT, THE DEVELOPER HAS TEAMED UP WITH AMAFCA AND THE EPA TO PROVIDE FOR AN INNOVATIVE PILOT PROJECT DESIGNED TO UTILIZE FUGITIVE FLOWS FROM THE 66-INCH STORM SEWER LOCATED IN 3RD STREET. A SMALL CURB WILL BE CONSTRUCTED IN THE EXISTING STORM SEWER TO POOL NON-STORM WATER THAT IS FOUND IN THE PIPE DURING LONG PERIODS WITHOUT RAIN. THAT WATER WILL BE PUMPED TO A SETTLING TANK LOCATED UNDER THE SIDEWALK ON THE NORTHWEST CORNER OF THE BUILDING. THIS TANK WILL BE ACCESSIBLE VIA A MANHOLE SO THAT AMAFCA CAN MONITOR FLOW AND REMOVE ANY DEBRIS THAT IS CLEANED FROM THE FUGITIVE FLOWS. THE WATER THAT IS PUMPED TO THE SETTLING TANK WILL BE PUMPED TO THE NORTH EAST CORNER OF THE BUILDING AND ROUTED THROUGH THE TREE WELLS ALONG 2ND STREET AND SILVER AVENUE. IT WILL ALSO BE PUMPED UP TO THE TREE WELLS ALONG 3RD STREET. THIS WATER WILL BE ALLOWED TO PERCOLATE IN THE TREE WELLS AND ANY OVERFLOW WILL BE DIVERTED BACK TO THE STORM SEWER VIA THE DROP INLET LOCATED AT THE CORNER OF 3RD STREET AND SILVER AVENUE.

BASIN 1 CONSISTS OF THE BUILDING WHICH WILL CONTAIN A ROOF TOP GARDEN. ALL OF THE STORM RUNOFF WILL BE COLLECTED WITH ROOF DRAINS AND ROUTED TO A CISTERN LOCATED IN THE UNDERGROUND GARAGE AREA. THE CISTERN IS SIZED TO HOLD 34,000 GALLONS WHICH IS THE DIFFERENCE IN RUNOFF BETWEEN THE DEVELOPED AND UNDEVELOPED CONDITIONS. THE WATER COLLECTED IN THE CISTERN WILL BE USED TO WATER VARIOUS LANDSCAPING FEATURES AS WELL AS THE ROOF TOP GARDEN. SINCE BASIN 1 GENERATES A PEAK FLOW OF 2.98 CFS WITH 0.111 AC-FT (36,167 GALLONS) OF VOLUME, THE REMAINING 2,167 GALLONS WILL BE ALLOWED TO OVERFLOW FROM THE CISTERN TO THE EXISTING DROP INLET LOCATED AT THE CORNER OF 2ND STREET AND SILVER AVENUE.

BASIN 2 CONSISTS OF THE PARKING AREA BEHIND THE BUILDING THAT INCLUDES THE RAMP DOWN TO THE UNDERGROUND PARKING GARAGE. THOSE FLOWS, 1.22 CFS WITH 0.046 AC-FT (14,988 GALLONS) OF VOLUME WILL BE COLLECTED BY A TRENCH DRAIN AT THE BOTTOM OF THE RAMP AND THEN PUMPED UP TO THE SAME SETTLING TANK LOCATED ON 3RD STREET THAT IS ALSO COLLECTING FUGITIVE FLOWS FROM THE STORM SEWER. THAT WATER IS ALSO ROUTED THROUGH THE TREE WELLS AND ALLOWED TO OVERFLOW BACK INTO THE STORM SEWER. THE 14,988 GALLONS EXCEEDS THE FIRST FLUSH REQUIREMENT OF 0.036 AC-FT (11,677 GALLONS) THUS MEETING THE CITY DRAINAGE ORDINANCE.

BASIN 3 CONSISTS OF AN AREA LONG THE ALLEY THAT WILL CONTAIN RECYCLING BINS AND PARKING. THOSE FLOWS, 0.19 CFS WILL FLOW INTO THE ALLEY AND EVENTUALLY INTO THE DROP INLET LOCATED AT 3RD STREET AND SILVER AVENUE.

BASIN 4 CONSISTS OF ENTRANCE AND TRUCK WELL. THOSE FLOWS, 0.14 CFS GENERATING 0.005 AC-FT (1,629 GALLONS) OF VOLUME WILL BE COLLECTED IN THE SUMP OF THE TRUCK WELL AND PUMPED TO THE TREE WELLS LOCATED ALONG 2ND STREET.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL

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REVISIONS

DRAWN BY	
REVIEWED BY	
DATE	8-28-14
PROJECT NO.	14-0064

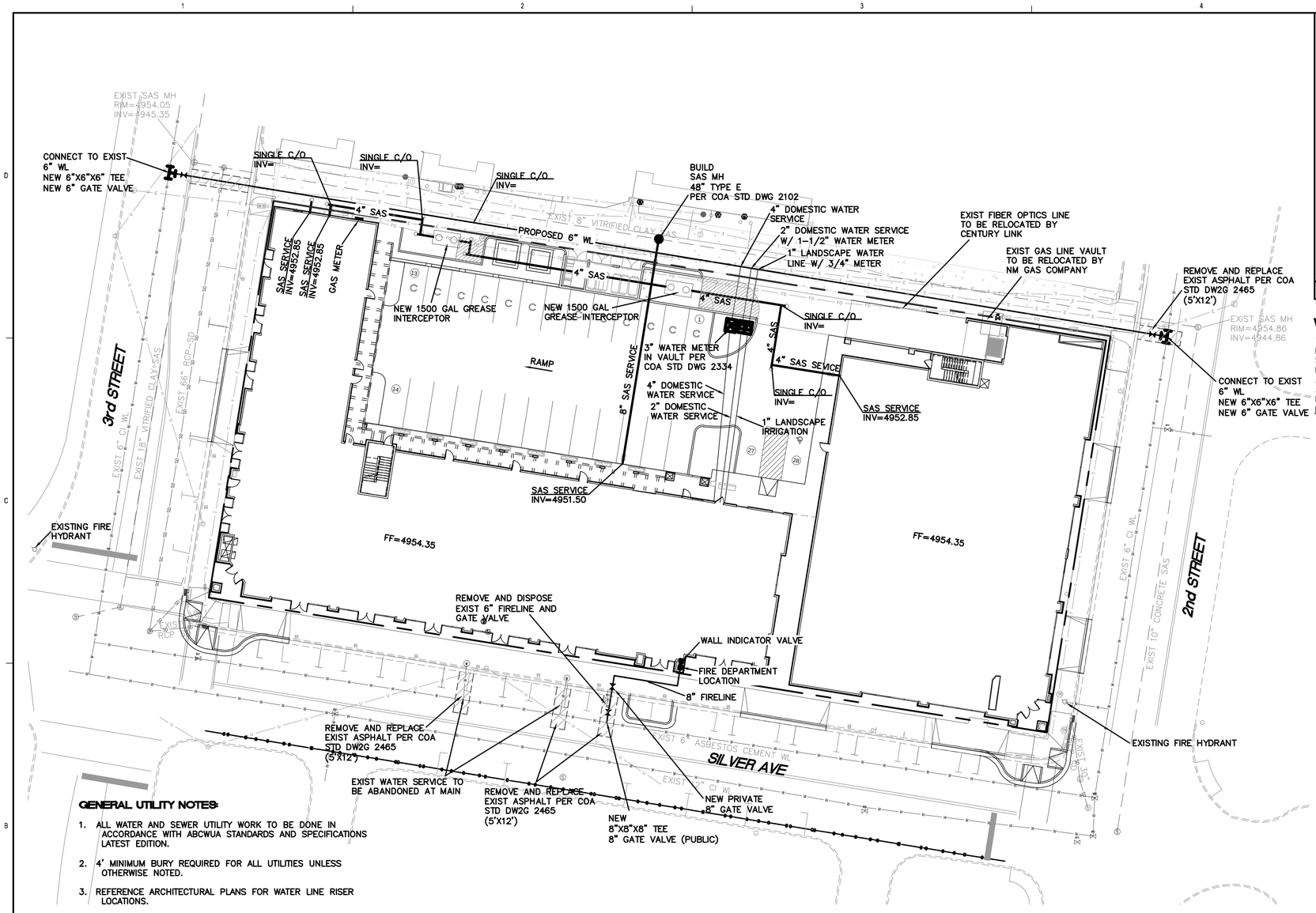
DRAWING NAME

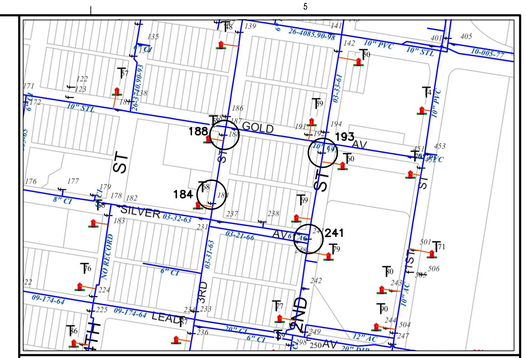
CONCEPTUAL GRADING AND DRAINAGE PLAN

SHEET NO.

SDP-3

OF





WATER SHUTOFF NOTES

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- 4900 — EXISTING INDEX CONTOUR
- EXISTING CONTOUR

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWUA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

GRAPHIC SCALE

20 0 10 20

(IN FEET)
1 inch = 20 ft.

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ENGINEER'S SEAL

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REVISIONS

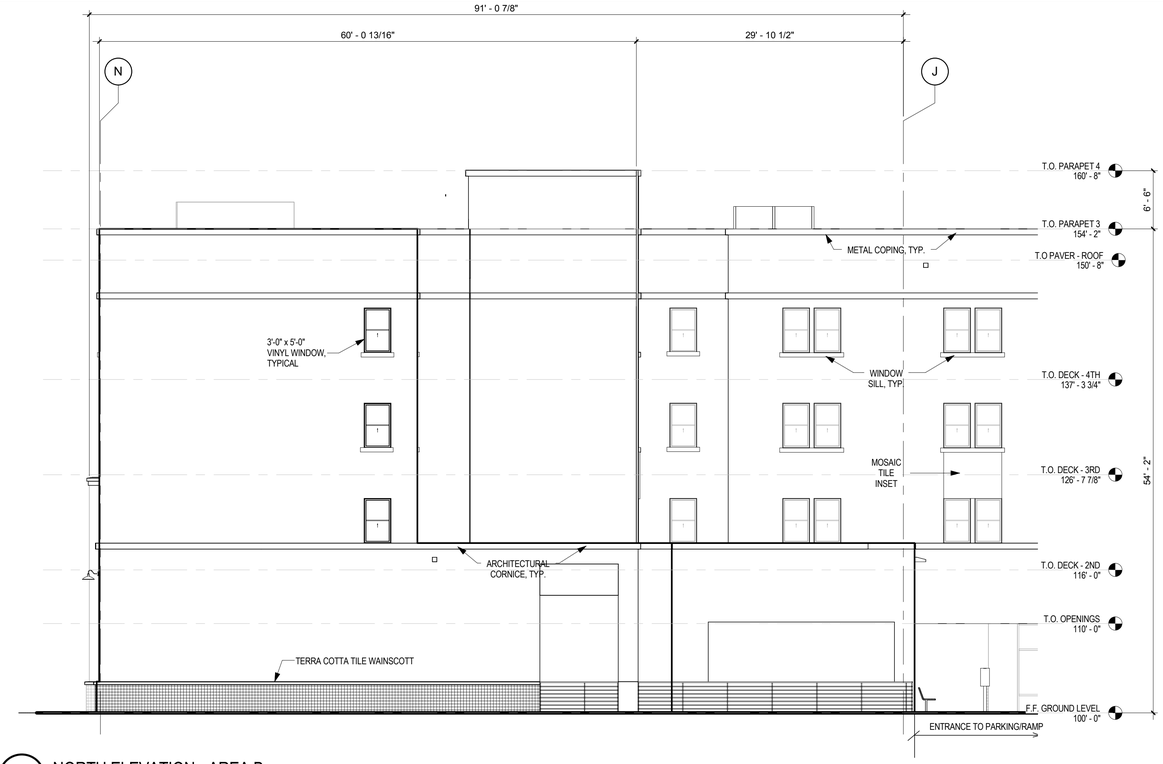
DRAWN BY	
REVIEWED BY	
DATE	7-31-14
PROJECT NO.	14-0064

DRAWING NAME

CONCEPTUAL
MASTER UTILITY
PLAN

SHEET NO.

SDP-4



C1 NORTH ELEVATION - AREA B
1/8" = 1'-0"

A1 NORTH ELEVATION - AREA A
1/8" = 1'-0"

GENERAL SHEET NOTES

A. TOP OF GROUND FLOOR SLAB INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE TAKEN FROM THIS POINT.
B. UNLESS NOTED OTHERWISE, FIELD COLOR TO BE FIELD COLOR 1.
C. FINISH GRADE, SLOPE AWAY FROM BUILDING 5% FIR 10'-0" MINIMUM OR PER GEOTECHNICAL RECOMMENDATIONS.
D. ALL EXTERIOR FINISHES PORTLAND CEMENT PLASTER (STUCCO) SYSTEM UNLESS OTHERWISE NOTED.
E. TYP - INDICATES "TYPICAL" NOTATION FOR ELEVATION
F. AWNINGS EXTEND 3'-4" FROM FACE OF BUILDING

LEGEND

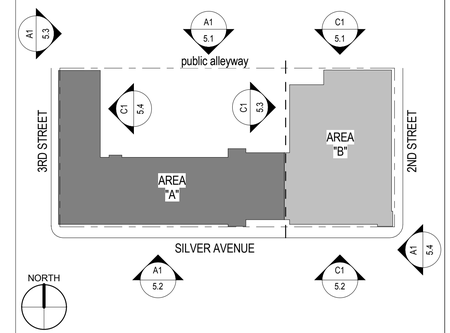
FIELD COLOR 1: LIGHT TAN / BROWN EARTH TONE

FIELD COLOR 2: LIGHT BROWN TONE

SMALL TILE: TERRA COTTA-LIKE AS BASE WAINSCOT

LARGE TILE: TERRA COTTA-LIKE AS ENTRANCE FEATURE

KEY PLAN



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PROJECT

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50%
CONSTRUCTION
DOCUMENTS
REVIEW

REVISIONS

△	DATE	DESCRIPTION

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REVIEWED BY	DPS
DATE	08.29.2014
PROJECT NO.	14-0064

DRAWING NAME

BUILDING
ELEVATIONS

SHEET NO.

SDP-5.1

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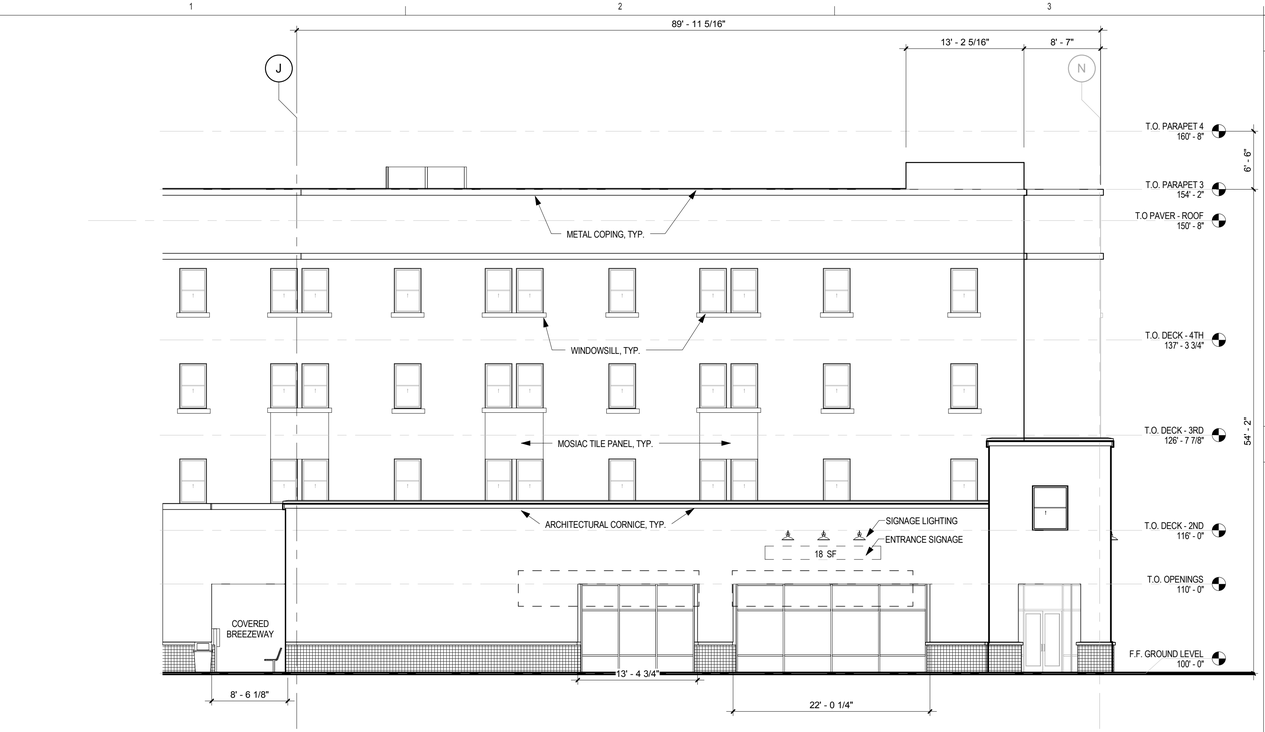


C1 SOUTH ELEVATION - AREA B
1/8" = 1'-0"

SURFACE AREA OF EAST ELEVATION: 16,200 SF.
SURFACE AREA OF SIGNAGE: 168 SF.
% OF SIGNAGE TO SURFACE AREA: 1.0%

A1 SOUTH ELEVATION - AREA A
1/8" = 1'-0"

0 4' 8' 16'

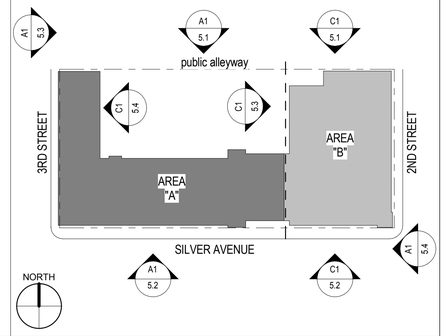
GENERAL SHEET NOTES

A. TOP OF GROUND FLOOR SLAB INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE TAKEN FROM THIS POINT.
B. UNLESS NOTED OTHERWISE, FIELD COLOR TO BE FIELD COLOR 1.
C. FINISH GRADE, SLOPE AWAY FROM BUILDING 5% FIR 10'-0" MINIMUM OR PER GEOTECHNICAL RECOMMENDATIONS.
D. ALL EXTERIOR FINISHES PORTLAND CEMENT PLASTER (STUCCO) SYSTEM UNLESS OTHERWISE NOTED.
E. TYP - INDICATES "TYPICAL" NOTATION FOR ELEVATION
F. AWNINGS EXTEND 3'-4" FROM FACE OF BUILDING

LEGEND

- FIELD COLOR 1: LIGHT TAN / BROWN EARTH TONE
- FIELD COLOR 2: LIGHT BROWN TONE
- SMALL TILE: TERRA COTTA-LIKE AS BASE WAINSCOT
- LARGE TILE: TERRA COTTA-LIKE AS ENTRANCE FEATURE

KEY PLAN



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DOCUMENTS
REVIEW

REVISIONS

△	DATE	DESCRIPTION

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REVIEWED BY	DPS
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DRAWING NAME

BUILDING
ELEVATIONS

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SDP-5.2

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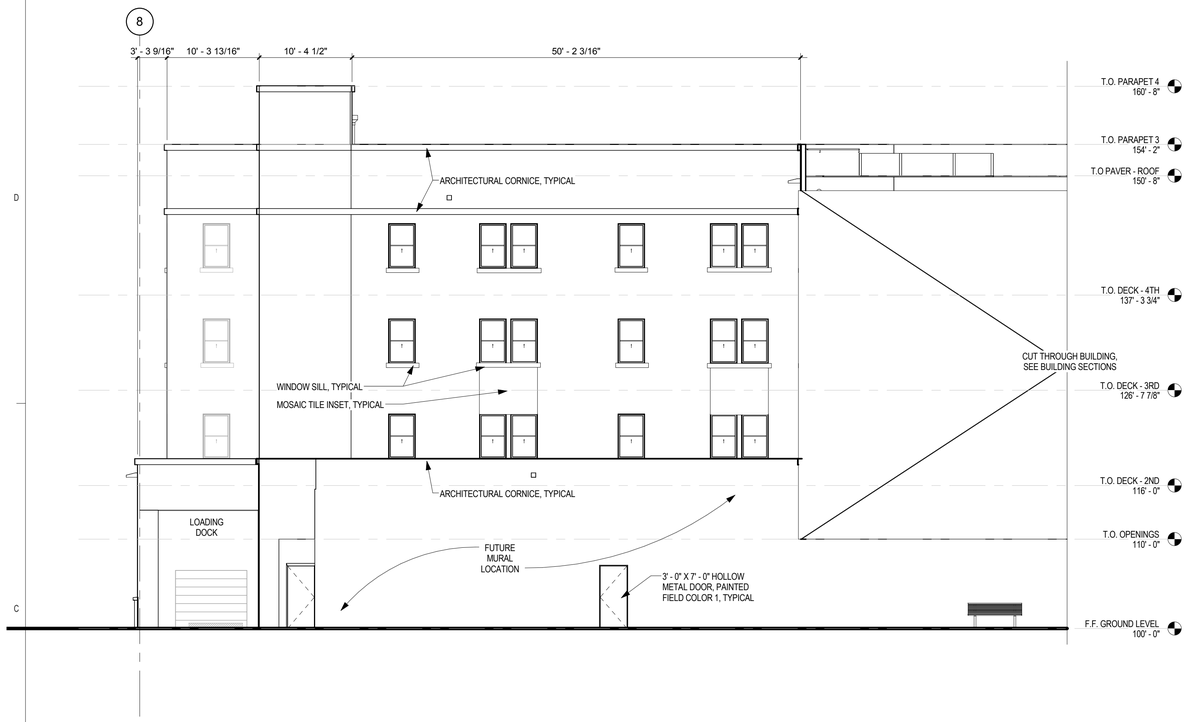


C1 EAST ELEVATION - COURTYARD
1/8" = 1'-0"

SURFACE AREA OF EAST ELEVATION: 4404 SF.
SURFACE AREA OF SIGNAGE: 186 SF.
% OF SIGNAGE TO SURFACE AREA: 4.2%

A1 WEST ELEVATION
1/8" = 1'-0"

GENERAL SHEET NOTES

A. TOP OF GROUND FLOOR SLAB INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE TAKEN FROM THIS POINT.
B. UNLESS NOTED OTHERWISE, FIELD COLOR TO BE FIELD COLOR 1.
C. FINISH GRADE, SLOPE AWAY FROM BUILDING 5% FIR 10'-0" MINIMUM OR PER GEOTECHNICAL RECOMMENDATIONS.
D. ALL EXTERIOR FINISHES PORTLAND CEMENT PLASTER (STUCCO) SYSTEM UNLESS OTHERWISE NOTED.
E. TYP - INDICATES "TYPICAL" NOTATION FOR ELEVATION
F. AWNINGS EXTEND 3'-4" FROM FACE OF BUILDING

LEGEND

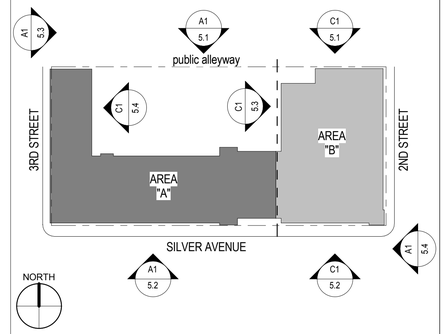
FIELD COLOR 1: LIGHT TAN / BROWN EARTH TONE

FIELD COLOR 2: LIGHT BROWN TONE

SMALL TILE: TERRA COTTA-LIKE AS BASE WAINSCOT

LARGE TILE: TERRA COTTA-LIKE AS ENTRANCE FEATURE

KEY PLAN



0 4' 8' 16'

ARCHITECTURE / DESIGN / INSPIRATION

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IMPERIAL BUILDING
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Albuquerque, NM 87102

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DRAWING NAME
BUILDING ELEVATIONS

SHEET NO.
SDP-5.3

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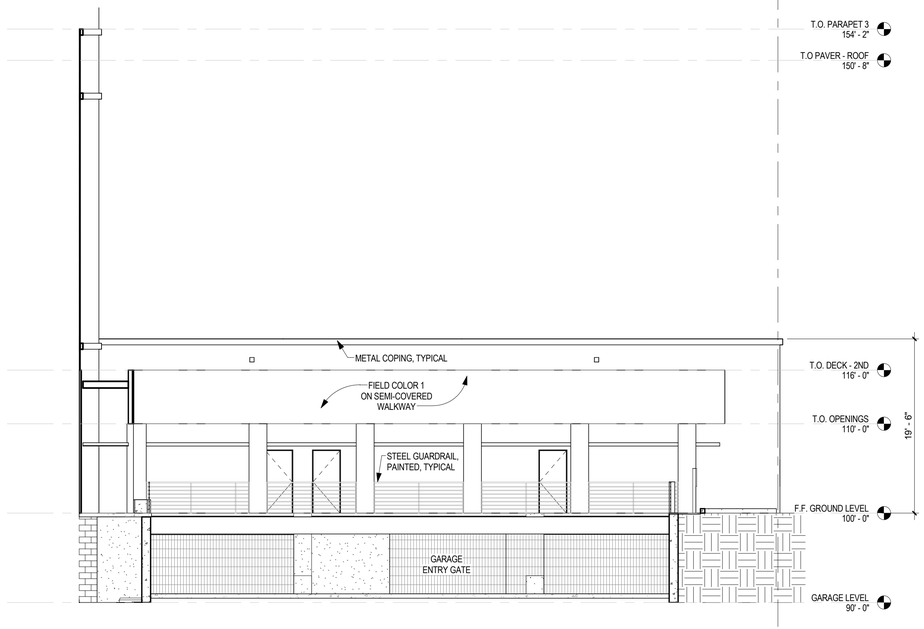
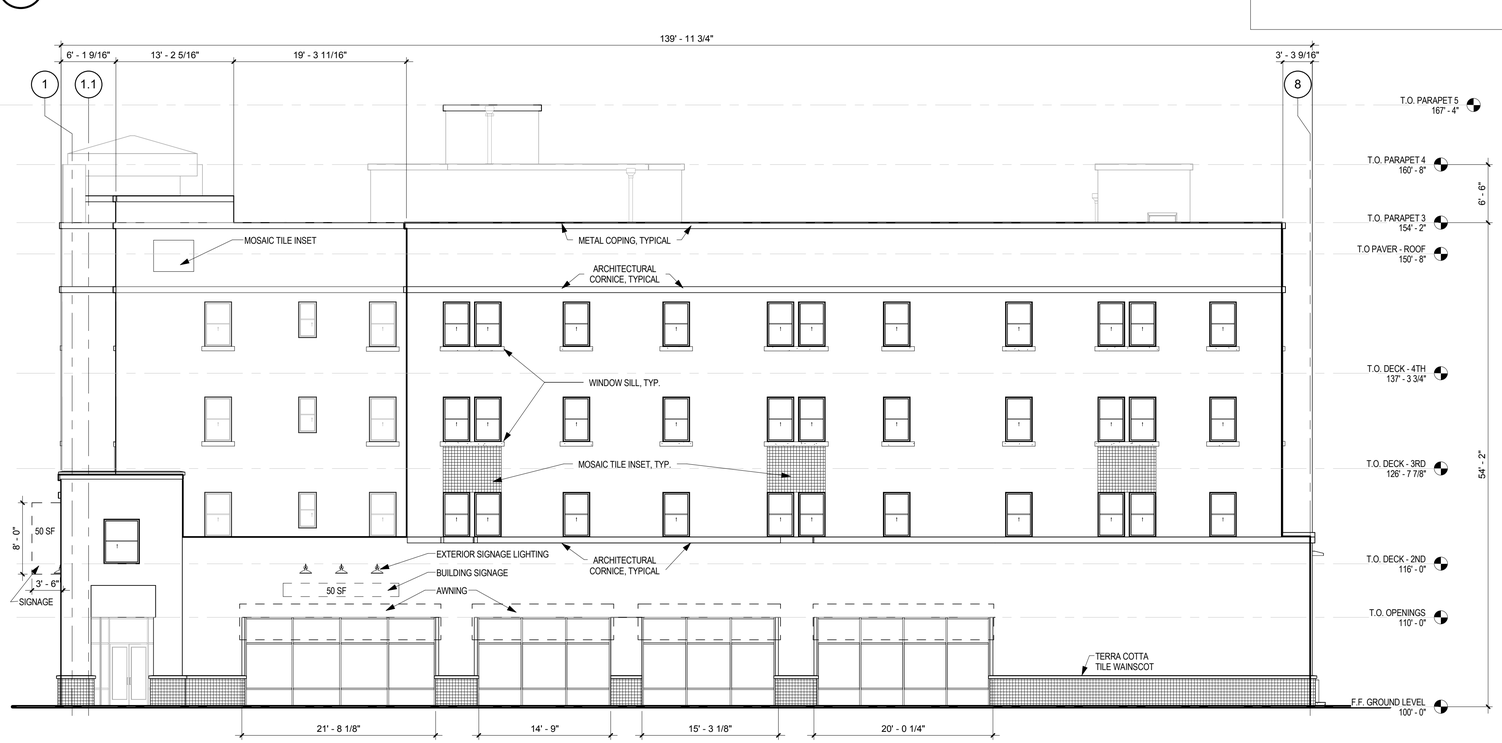


C1 EAST ELEVATION - COURTYARD
1/8" = 1'-0"



SURFACE AREA OF EAST ELEVATION: 6806 SF.
SURFACE AREA OF SIGNAGE: 100 SF.
% OF SIGNAGE TO SURFACE AREA: 1.4%

A1 EAST ELEVATION
1/8" = 1'-0"

0 4" 8" 16"

GENERAL SHEET NOTES

A. TOP OF GROUND FLOOR SLAB INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE TAKEN FROM THIS POINT.
B. UNLESS NOTED OTHERWISE, FIELD COLOR TO BE FIELD COLOR 1.
C. FINISH GRADE, SLOPE AWAY FROM BUILDING 5% FIR 10'-0" MINIMUM OR PER GEOTECHNICAL RECOMMENDATIONS.
D. ALL EXTERIOR FINISHES PORTLAND CEMENT PLASTER (STUCCO) SYSTEM UNLESS OTHERWISE NOTED.
E. TYP - INDICATES "TYPICAL" NOTATION FOR ELEVATION
F. AWNINGS EXTEND 3'-4" FROM FACE OF BUILDING

LEGEND

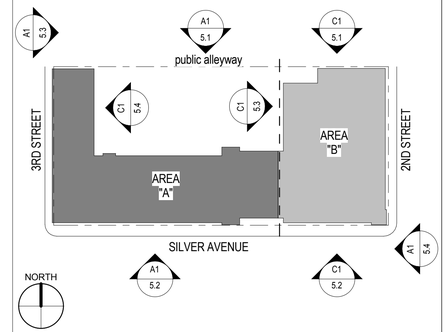
FIELD COLOR 1: LIGHT TAN / BROWN EARTH TONE

FIELD COLOR 2: LIGHT BROWN TONE

SMALL TILE: TERRA COTTA-LIKE AS BASE WAINSCOT

LARGE TILE: TERRA COTTA-LIKE AS ENTRANCE FEATURE

KEY PLAN



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50%
CONSTRUCTION
DOCUMENTS
REVIEW

REVISIONS
△ DATE DESCRIPTION

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PROJECT NO.	14-0064

DRAWING NAME
BUILDING
ELEVATIONS

SHEET NO.
SDP-5.4

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