

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

May 12, 2017

Mike Balaskovits
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: **One Central Grading Plan**
Engineer's Stamp Date: 4/28/17
Hydrology File: K14D109

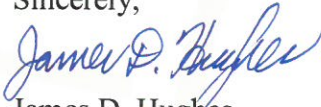
Dear Mr. Balaskovits:

Based on the information provided in the submittal received on 5-05-2017 the above-referenced Grading Plan is approved for Building Permit (BP 2017-09498).

PO Box 1293 Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Albuquerque Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103 If you have any questions, please contact me at 924-3986 or jhughes@cabq.gov.

www.cabq.gov
Sincerely,

James D. Hughes
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ONE CENTRAL **Building Permit #:** **City Drainage #:** K14/d109
DRB#: **EPC#:** **Work Order#:**
Legal Description:
City Address: 01 Central Ave 87102

Engineering Firm: Bohannon Huston, Inc **Contact:** Mike Balaskovits
Address: 7500 Jefferson St. NE 87109
Phone#: 505-823-1000 **Fax#:** 505-798-7988 **E-mail:** mbalaskovits@bhinc.com

Owner: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Architect: SMPC Architects **Contact:** Kihei Mayer
Address: 115 Amherst SE 87106
Phone#: 505-255-8668 **Fax#:** 505-268-6665 **E-mail:** k.mayer@smpcarchitects.com

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ OTHER (SPECIFY) Drainage Management Plan

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY)

DATE SUBMITTED: 05-05-2017 **By:** Mike Balaskovits

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



FEMA FIRM MAP: 35001C0334G

DRAINAGE NARRATIVE

SITE INTRODUCTION:
ONE CENTRAL IS LOCATED ON THE NORTHEAST CORNER OF CENTRAL AVENUE AND 1ST STREET. THE TRACT THAT THIS BUILDING SITS ON IS APPROXIMATELY 1.72 ACRES AND IS CURRENTLY FULLY DEVELOPED. THE ORIGINAL SITE RUNOFF DISCHARGED TO THE WEST VIA SURFACE FLOW INTO A STORM DRAIN SYSTEM LOCATED WITHIN 1ST STREET. THIS SITE HAS BEEN APPROVED FOR FOUNDATION PERMIT (COA HYDRO # K14/D109) AND IS SEEKING BUILDING PERMIT APPROVAL.

PER FEMA MAP PANEL #35001C0334G (THIS SHEET), THE SITE IS NOT LOCATED WITHIN A KNOWN FLOOD ZONE.

METHODOLOGY:
THE SITE IS LOCATED IN THE CITY OF ALBUQUERQUE. THEREFORE, THE DEVELOPMENT PROCESS MANUAL SECTION 22.2 WAS USED TO ANALYZE THE SITE'S PROPOSED DRAINAGE. PRECIPITATION ZONE 2 WAS USED DUE TO THE SITE LYING EAST OF THE RIO GRANDE AND WEST OF SAN MATEO. THE ONSITE STORM DRAINS WERE SIZED BASED OFF OF MANNING'S EQUATION. THE ONSITE INLET WAS SIZED WITH THE INLETS IN SUMP CONDITION AND USING MANUFACTURER PROVIDED NOMOGRAPHS.

PROPOSED CONDITIONS:
THE CONSTRUCTION OF ONE CENTRAL WILL CONSIST OF A NEW MULTISTORY BUILDING WITH RETAIL, RESTAURANTS, MULTIFAMILY LIVING, AND ASSOCIATED PARKING STRUCTURE. THE WORK IS CONFINED TO THE AREA BETWEEN THE EXISTING RAILROAD TRACKS AND THE RECENTLY REALIGNED FIRST STREET. THE EXISTING PARKING LOT WILL BE DEMOLISHED TO MAKE ROOM FOR THE DEVELOPMENT. RUNOFF GENERATED BY THE NEW DEVELOPMENT WILL EITHER DISCHARGE DIRECTLY TO THE EXISTING SURROUNDING STORM DRAIN SYSTEM, OR SURFACE FLOW INTO THE RIGHT OF WAY BEFORE ENTERING THE STORM DRAIN SYSTEM VIA CURB INLETS.

BASED ON THE PROPOSED GRADING AND DRAINAGE PLAN AND THE DIRECTION OF THE ROOF RUNOFF, THE SITE WILL BE DIVIDED INTO 5 ONSITE DRAINAGE BASINS. ONE CENTRAL HAS BEEN ALLOWED TO TIE DIRECTLY TO EXISTING INFRASTRUCTURE WITH FREE DISCHARGE PER COORDINATION WITH CITY STAFF (HYDROLOGY DEPARTMENT AND DEPARTMENT OF MUNICIPAL DEVELOPMENT/DMD). ONSITE LANDSCAPED AREAS WILL BE DEPRESSED TO TREAT MINOR SIDEWALK DRAINAGE WHERE POSSIBLE PRIOR TO EXITING THE SITE.

BASIN 1 INCLUDES THE WESTERN PORTION OF THE BUILDING AS WELL AS THE PARKING STRUCTURE. THIS BASIN WAS DESIGNED TO FLOW TO THE NORTH AND DISCHARGE INTO THE NEWLY CONSTRUCTED MANHOLE TO THE NORTH (CONSTRUCTED UNDER COA PROJECT #691881. THE RUNOFF FROM BASIN 1 ACCOUNTS FOR APPROXIMATELY 6.0 CFS.

BASIN 2 IS THE SOUTHERN PORTION OF THE BUILDING WITH THE ROOF DRAINING INTO A NEW PRIVATE UNDERGROUND STORM DRAIN SYSTEM. BASIN 3 IS THE COURTYARD AT THE INTERSECTION OF CENTRAL AVE AND FIRST STREET WHICH DRAINS VIA SURFACE FLOW TO A NEW PEDESTRIAN RATED INLET IN SUMP CONDITION. THE NEW INLET HAS BEEN SIZED TO ACCEPT THIS SMALL FLOW HOWEVER IF INLET BECOMES CLOGGED, GRADES IN THE SURROUNDING AREA HAVE SET TO ENSURE THAT DRAINAGE WILL ENTER THE RIGHT OF WAY PRIOR TO ENTERING THE BUILDING. THIS INLET IS CONNECTED TO THE ROOF DRAIN FOR BASIN 2 AND TIES DIRECTLY TO THE PUBLIC STORM DRAIN SYSTEM WITHIN FIRST STREET VIA A CONNECTION TO THE EXISTING MANHOLE. BASIN 2 ACCOUNTS FOR APPROXIMATELY 1.20 CFS WHILE BASIN 3 ACCOUNTS FOR APPROXIMATELY 0.40 CFS.

BASIN 4 IS THE AREA ALONG CENTRAL AVENUE THAT SHEET FLOWS TO THE SOUTH INTO CENTRAL AVE. BEFORE ENTERING THE INLETS BELOW THE RAILROAD TRACKS. COORDINATION WITH DMD HAS OCCURRED TO ENSURE THAT THE SIZE OF THE NEW LIFT STATION LOCATED AT THE SOUTHEAST CORNER OF THE SITE ACCOUNTS FOR THIS DRAINAGE. A PORTION OF THIS BASIN WILL DRAIN ACROSS A LANDSCAPED STRIP TO TREAT THIS DRAINAGE PRIOR TO ENTERING CENTRAL AVE. THIS BASIN IS APPROXIMATELY 0.70 CFS.

BASIN 5 IS THE AREA ALONG FIRST STREET THAT SHEET FLOWS TO THE WEST BEFORE ENTERING THE EXISTING STORM DRAIN SYSTEM THAT WAS RECENTLY REALIGNED WITH PUBLIC WORK ORDER # 691893. A PORTION OF THIS BASIN WILL DRAIN ACROSS A LANDSCAPED STRIP TO TREAT THIS DRAINAGE PRIOR TO ENTERING FIRST STREET. THIS BASIN ACCOUNTS FOR APPROXIMATELY 0.60 CFS.

PEAK DISCHARGE OF DEVELOPED CONDITIONS WILL BE APPROXIMATELY 8.75 CFS. THE EXISTING LAND TREATMENT WITHIN THIS AREA WAS DEVELOPED AND SIMILAR TO THE PROPOSED IMPROVEMENTS, SO THE CHANGE IN PEAK DISCHARGE IS NEGLIGIBLE.

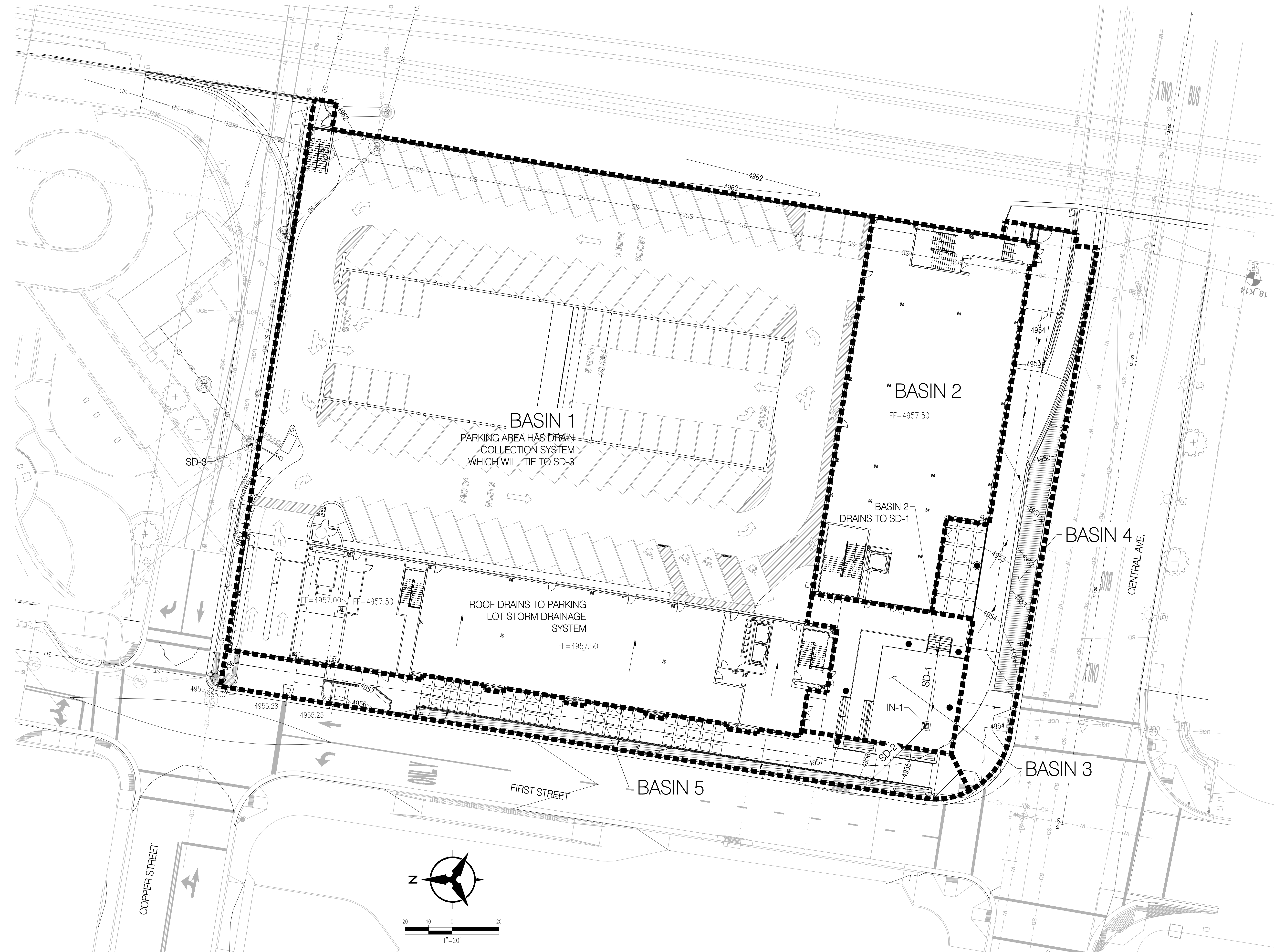
GIVEN THE ABOVE INFORMATION, WE ARE REQUESTING CITY HYDROLOGY APPROVAL FOR BUILDING PERMIT APPROVAL.

ONE CENTRAL
BUILDING PERMIT
01 CENTRAL AVE., ALBUQUERQUE NM, 87102

01	2017-02-03	100%
NO	DATE	DESCRIPTION
DATE:	2017-03-17	
PROJECT #:	16012	
DRAWN BY:	MHS	
CHD BY:	MJB	
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DRAINAGE MANAGEMENT PLAN

C-001
SHEET OF



One Central Proposed Developed Conditions Basin Data Table This table is based on the DPM Section 22.2, Zone: 2									
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)
			A	B	C	D	(cfs/fac.)	(CFS)	(inches)
1	55257	1.27	0.0%	0.0%	0.0%	100.0%	4.70	5.96	2.12
2	10612	0.24	0.0%	0.0%	0.0%	100.0%	4.70	1.15	2.12
3	3591	0.08	0.0%	0.0%	0.0%	100.0%	4.70	0.39	2.12
4	6643	0.15	0.0%	0.0%	20.0%	80.0%	4.39	0.67	1.92
5	5660	0.13	0.0%	0.0%	22.0%	78.0%	4.36	0.57	1.90
TOTAL	81763	1.88	-	-	-	-	-	8.73	-

* Analysis includes areas within the Right of Way

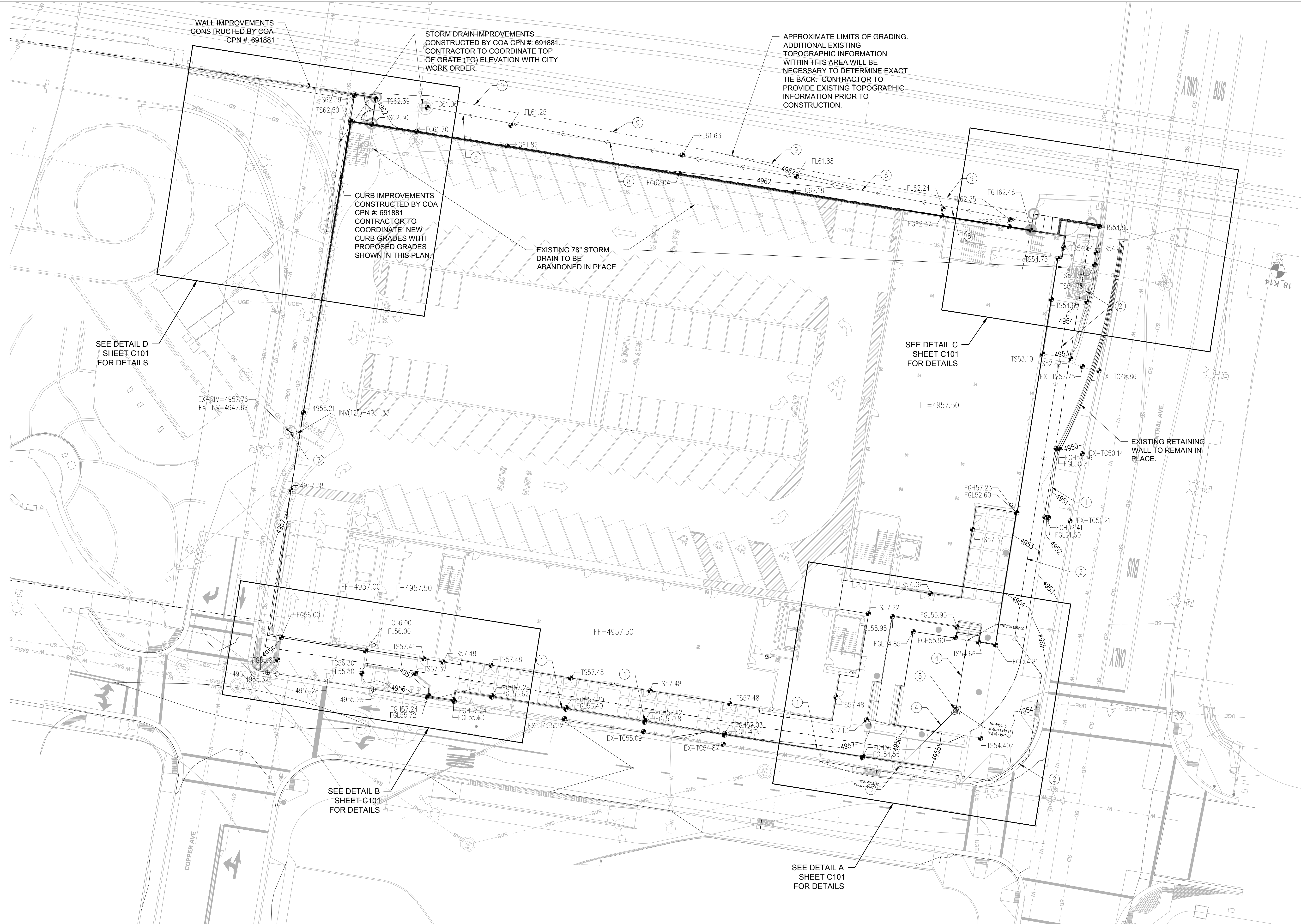
INLET TABLE				
Inlet #	Inlet Type	Basin	Actual Flow (cfs)	Avail Head (ft)
IN1	1 - 24" Nyloplast Pedestrian Rated Inlet	B2	0.39	0.25
1. NYLOPLAST INLETS BASED ON MANUFACTURER NOMOGRAPHS 2. INLETS PLACED IN SUMP CONDITION AND CAPACITIES BASED ON LESSER OF ORIFICE AND WIER EQUA 3. INLETS INCLUDE 50% CLOGGING FACTOR				

STORM DRAIN PIPE TABLE					
PIPE #	INLET/SD/BASIN	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs
SD1	B2	12	6.60%	9.15	1.15
SD2	IN-1, SD-1	12	6.60%	9.15	1.53
SD3	B1	12	5.00%	7.97	5.96

Capacity Based on Manning's Eq w/ N=0.013

GRADING LEGEND

--- PROPERTY LINE	PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	S=2.0% DIRECTION OF FLOW
--- EXISTING INDEX CONTOUR	WATER BLOCK/GRADE BREAK
--- EXISTING INTERMEDIATE CONTOUR	PROPOSED STORM DRAIN LINE
EXISTING GROUND SPOT ELEVATION	PROPOSED STORM DRAIN MANHOLE
PROPOSED INDEX CONTOUR	PROPOSED STORM DRAIN INLETS
PROPOSED INTERMEDIATE CONTOUR	PROPOSED RETAINING WALL
PROPOSED FLOW LINE	EASEMENT
PROPOSED FINISHED GRADE SPOT ELEVATION	LANDSCAPED AREAS
TO=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TO=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW	



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

NOTICE TO CONTRACTORS (SO 19)

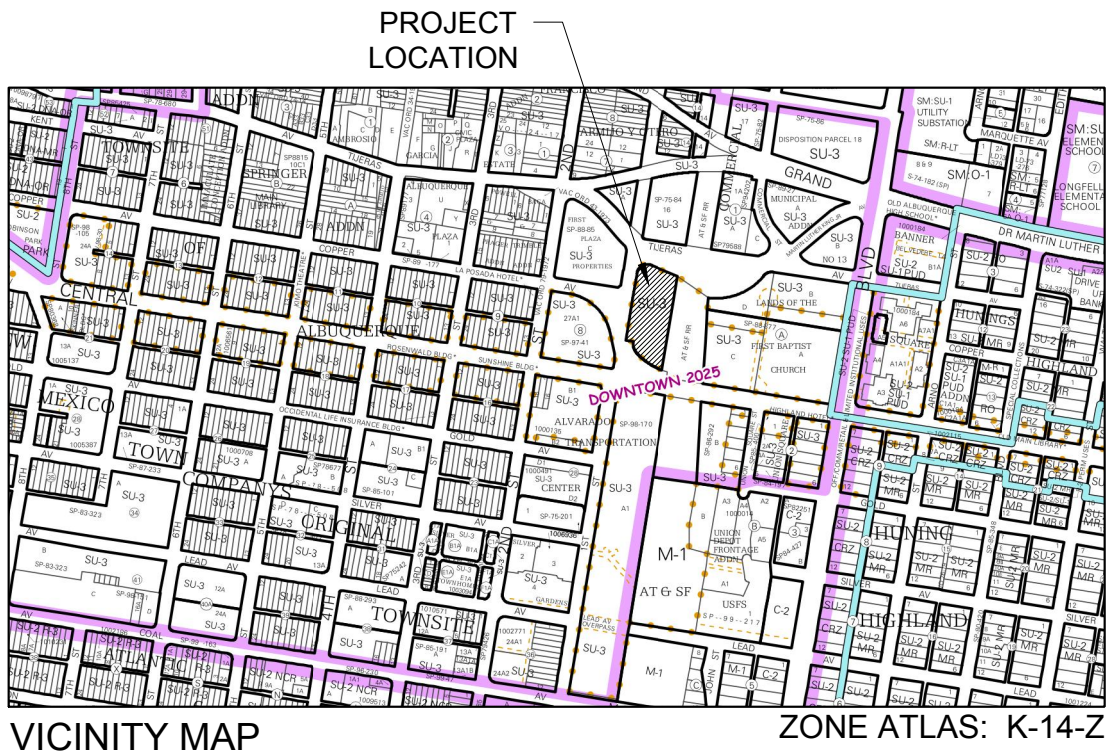
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

EX. GRADES ALONG CENTRAL AVE. AND 1ST STREET ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

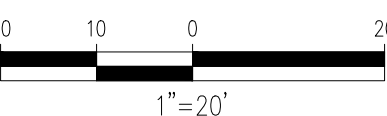
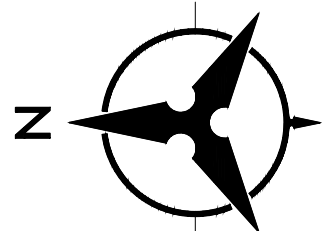
CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%



GRADING KEYNOTES

- NEW RETAINING WALL SEE STRUCTURAL PLANS FOR DETAILS.
- NEW PUMP STATION AND FORCEMAIN TO BE CONSTRUCTED BY THE CITY OF ALBUQUERQUE UNDER A SEPARATE CONTRACT. CLOSE COORDINATION WITH THE CITY OF ALBUQUERQUE CONTRACTOR WILL BE NECESSARY TO ENSURE COVER IS MAINTAINED.
- CONTRACTOR SHALL CONNECT NEW ONSITE STORM DRAIN TO EXISTING STUB. ALL WORK COMPLETED WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED UNDER AN SO-19 PERMIT.
- INSTALL HDPE STORM DRAIN LINE (N12 WT. OR APPROVED EQUAL) SEE PLAN FOR SIZE AND SLOPE.
- INSTALL 24" NYLOPLAST AREA DRAIN WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL.
- STUB NEW STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- CONTRACTOR SHALL CONNECT NEW BUILDING STORM DRAIN TO EXISTING MANHOLE. CONTRACTOR SHALL CORE DRILL EXISTING MANHOLE AT SPRING LINE OF EXISTING STORM DRAIN AND REWORK EXISTING MANHOLE INVERT AS NECESSARY. ALL WORK COMPLETED WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED UNDER A SO-19 PERMIT.
- CONSTRUCT OFFSITE DRAINAGE SWALE WITHIN NMDOT ROW. CLOSE COORDINATION WITH NMDOT IS NECESSARY AND A LICENCE AGREEMENT SHOULD BE IN PLACE PRIOR TO STARTING CONSTRUCTION.
- TIE BACK TO EXISTING GRADE AT A MAXIMUM OF 3:1 SLOPES.



GRADING LEGEND

---	PROPERTY LINE	---	PROPOSED CURB & GUTTER
---	PROJECT LIMITS OF GRADING	---	DIRECTION OF FLOW
---	EXISTING INDEX CONTOUR	---	WATER BLOCK/GRADE BREAK
---	EXISTING INTERMEDIATE CONTOUR	---	PROPOSED STORM DRAIN LINE
---	EXISTING GROUND SPOT ELEVATION	---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED INDEX CONTOUR	---	PROPOSED STORM DRAIN INLETS
---	PROPOSED INTERMEDIATE CONTOUR	---	PROPOSED RETAINING WALL
---	PROPOSED FLOW LINE	---	EASEMENT
---	PROPOSED FINISHED GRADE SPOT ELEVATION	---	
---	TS=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW		

NO	DATE	DESCRIPTION
01	2017-02-03	100%
DATE:	2017-03-17	
PROJECT #:	16012	
DRAWN BY:	MHS	
CHD BY:	MJB	
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GRADING PLAN		

GRADING PLAN

