CITY OF ALBUQUERQUE



November 15, 2017

Mike Balaskovits, PE Bohannan-Huston 7500 Jefferson St NE Courtyard I Albuquerque, NM 87109

Re: One Central - Phase 1 - Parking Ground floor

01 Central Ave. NW

Request Permanent C.O. - Accepted

Engineer's Stamp dated: 4-28-2017 (K14D109)

Certification dated: 11-14-2017

Dear Mr. Balaskovits,

Based on the Certification received 11/14/2017, Hydrology has no objection to the issuance of a Certificate of Occupancy for BP #2017 38841. This letter serves as a "green tag" from Hydrology for a Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

NM 87103

James D. Hughes P.E.

www.cabq.gov

Principal Engineer, Planning Dept. Development and Review Services

TE/JDH

C: email Serna, Yvette; Fox, Debi; Tena, Victoria; Sandoval, Darlene M.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

			City Drainage #: K14/d10 Work Order#:
	EPC#:		work Order#:
egal Description:			
Try Address: 01 Central Ave 87 102			
Engineering Firm: Bohannan Huston,	Inc		Contact: Mike Balaskovits
Address: 7500 Jefferson St. NE 87109			
Phone#: 505-823-1000	Fax#: 505-798-7988		E-mail: mbalaskovits@bhinc.com
Owner:			Contact:
\ ddmagg.			
Phone#:			E-mail:
Architect: SMPC Architects			Contact: Kihei Mayer
Address: 115 Amherst SE 87106			Contact. Milor Mayor
Phone#: 505-255-8668	Fax#: 505-268-6665		E-mail: k.mayer@smpcarchitects.com
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			Contact:
Address:			
Phone#:	Fax#:		E-mail:
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GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- O. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- P. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

- Q. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA)
- R. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- S. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

- T. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- U. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- V. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- W. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

NOTICE TO CONTRACTORS (SO 19)

MINIMUM AMOUNT OF DELAY.

INSPECTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OPROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.

ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE

CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO

5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF PROPERTY SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME

DATE

EX. GRADES ALONG CENTRAL AVE. AND 1ST STREET ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

/ / PRINCIPLES OF DESIGN.

115 Amherst Drive SE, Albuquerque, New Mexico 87106 T 505 255 8668 F 505 268 6665 www.smpcarchitects.com

STUDIO SOUTHWEST ARCHITECTS, INC. 2101 Mountain Rd. NW, Albuquerque, NM 87104 505.843.9639 Fax 505.843.9683 Web Site: www.studioswarch.com



GRADING KEYNOTES

VICINITY MAP

PROJECT LOCATION

- 1. NEW RETAINING WALL SEE STRUCTURAL PLANS FOR DETAILS.
- NEW PUMP STATION AND FORCEMAIN TO BE CONSTRUCTED BY THE CITY OF ALBUQUERQUE UNDER A SEPARATE CONTRACT. CLOSE COORDINATION WITH THE CITY OF ALBUQUERQUE CONTRACTOR WILL BE NECESSARY TO ENSURE COVER IS MAINTAINED.
- 3. CONTRACTOR SHALL CONNECT NEW ONSITE STORM DRAIN TO EXISTING STUB. ALL WORK COMPLETED WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED UNDER AN SO-19 PERMIT.
- 4. INSTALL HDPE STORM DRAIN LINE (N12 WT, OR APPROVED EQUAL)
 SEE PLAN FOR SIZE AND SLOPE.
- 5. INSTALL 24" NYLOPLAST AREA DRAIN WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL.
- 6. STUB NEW STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- 7. CONTRACTOR SHALL CONNECT NEW BUILDING STORM DRAIN TO EXISTING MANHOLE. CONTRACTOR SHALL CORE DRILL EXISTING MANHOLE AT SPRING LINE OF EXISTING STORM DRAIN AND REWORK EXISTING MANHOLE INVERT AS NECESSARY. ALL WORK COMPLETED WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED UNDER A SO-19 PERMIT
- 8. CONSTRUCT OFFSITE DRAINAGE SWALE WITHIN NMDOT ROW.
 CLOSE COORDINATION WITH NMDOT IS NECESSARY AND A LICENCE
 AGREEMENT SHOULD BE IN PLACE PRIOR TO STARTING
- 9. TIE BACK TO EXISTING GRADE AT A MAXIMUM OF 3:1 SLOPES.

. DRAINAGE CERTIFICATION

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-28-17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 15702, OF THE FIRM TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/14/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF OF THE AREA SURROUNDING THE PARKING STRUCTURE. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE PARKING STRUCTURE ONLY. A SUBSEQUENT DRAINAGE CERTIFICATION WILL BE PROVIDED UPON THE COMPLETION OF THE REST OF THE BUILDING AT A LATER DATE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND
DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT
ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE

MICHAEL J. BALASKOVITS, NMPE 18187

DATE 11-14-2017

LEGEND

FL70.22 DESIGN GRADE

FL70.22

FL69.24

AS-BUILT GRADE



GRADING LEGEND

	PRADERTY LINE		PROPOSED CURB & GUTTER		Auginator	
	PROPERTY LINE		PROPOSED COND & GOTTEN	01	2017-02-03	100%
ago inganisangkalangka girikanjakostonomika vicentellisti	PROJECT LIMITS OF GRADING	S=2.0%	DIRECTION OF FLOW	NO	DATE	DESCRIPTION
	THOUSE EMITS OF CHARACTER			DATE:		2017-03-17
	EXISTING INDEX CONTOUR	THE STREET STREET, STR	WATER BLOCK/GRADE BREAK			16012
5024	EXISTING INTERMEDIATE		Diversity .			MHS
	CONTOUR -	SD	PROPOSED STORM DRAIN	CH'D B	Y:	MJB
⊕ ^{5025.25}	EXISTING GROUND SPOT FLEVATION	_	PROPOSED STORM DRAIN	Copyrig	ght: Architects © 201	6
	ELEVATION	lacktriangle	MANHOLE		migrationers processories and displace on two states of client interview management and	repared for this specific
5025	PROPOSED INDEX CONTOUR			project or	nly. SMPC Archit	tects' liability is limited
5024	PROPOSED INTERMEDIATE		PROPOSED STORM DRAIN INLETS	to this specific project, and does not extend to reuse of these documents for other projects		
	CONTOUR		PROPOSED RETAINING WALL	GRADING PLAN		
	PROPOSED FLOW LINE	dental transfer to the second transfer to the second transfer to the second transfer to the second transfer to	FROI OULD RETAINING WALL			
			EASEMENT			

PROPOSED FINISHED GRADE
SPOT ELEVATION
TC=TOP OF CURB,
FL=FLOW LINE,
TS=TOP OF SIDEWALK
TG=TOP OF GRATE,

FCH=FINISH GROUND HIGH,
FGL=FINISH GROUND LOW

Ohannan A Hustol

C-100

GRADING

PLAN

P:\20170191\CDP\Plans\General\20170191GP01.dwg
Fri, 5-May-2017 - 7:05:am, Plotted by: MBALASKOVITS

ONE CENT BUILDING P

TC56.00 FL56.00

FGL56.15 -

/ TC55.83

FGH56.96 FGL55.89 -TW57.91

Retaining wall moved in field.

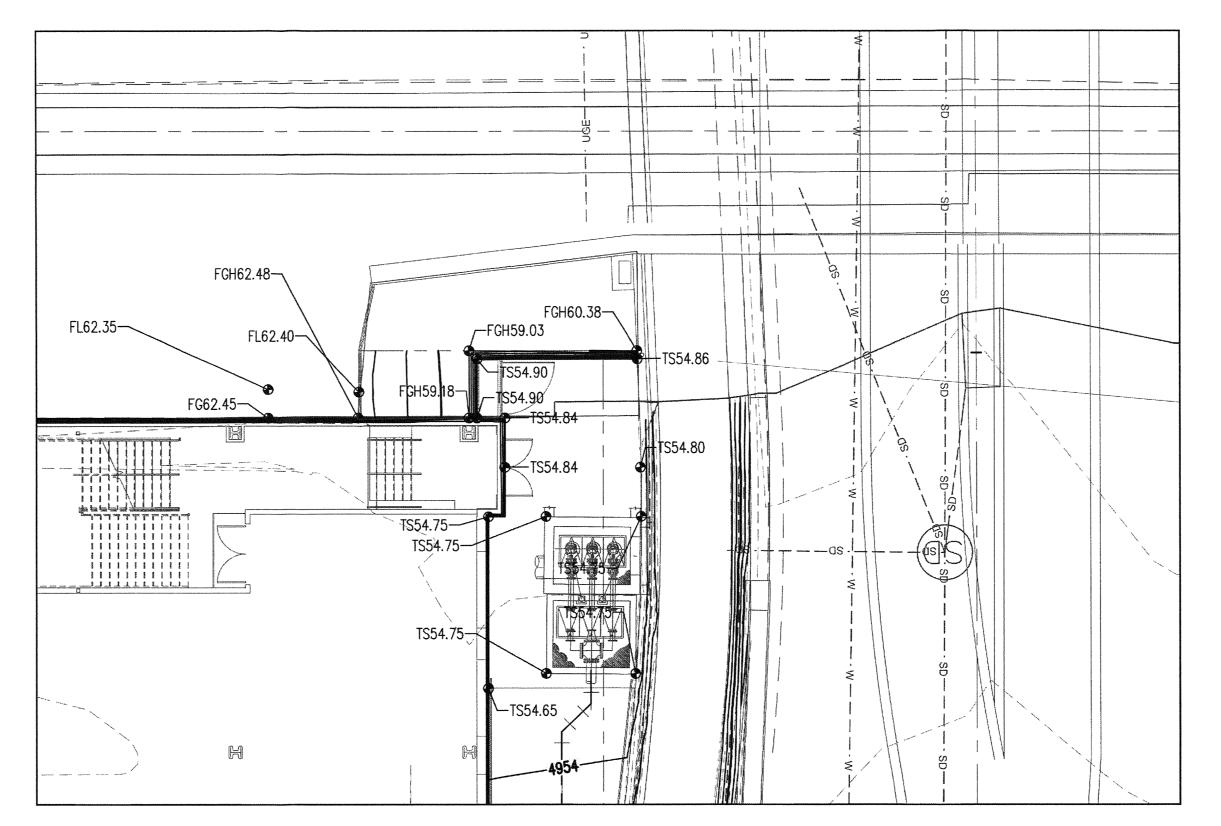
FGL55.72-

7*C56.07*/ IC56.30 FL55.80

[®] <4955.28 —

FL55.30 -

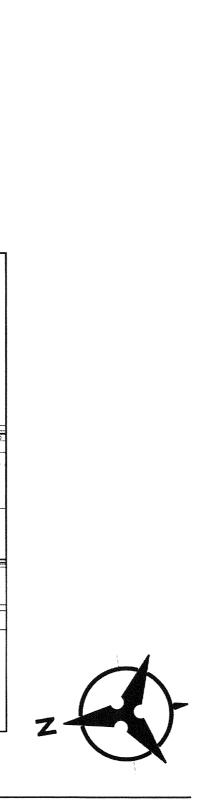
4955.25



PLAZA GRADING DETAILS



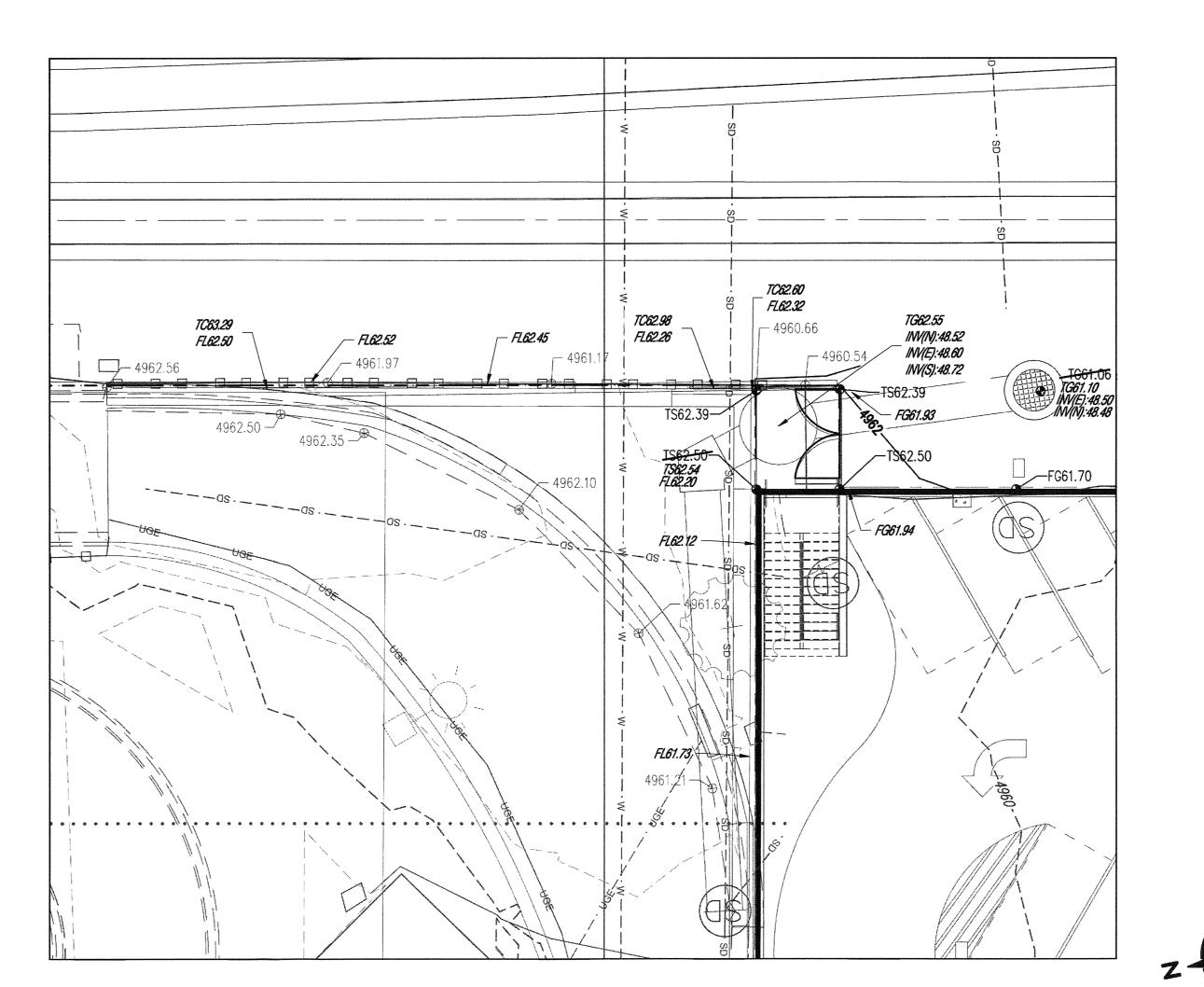
SIDEWALK/STAIRS GRADING DETAILS



EX-TC55,53

__FGH57.24

FGL55.63



NORTHEAST CORNER GRADING DETAILS SCALE: 1"=10'

115 Amherst Drive SE, Albuquerque, New Mexico T 505 255 8668 F 505 268 6665 www.smpcarchitects.com



GRADING KEYNOTES

NEW PUMP STATION AND FORCEMAIN TO BE CONSTRUCTED BY THE CITY OF ALBUQUERQUE UNDER A SEPARATE CONTRACT. CLOSE COORDINATION WITH THE CITY OF ALBUQUERQUE CONTRACTOR WILL BE NECESSARY TO ENSURE COVER IS MAINTAINED.

. CONTRACTOR SHALL CONNECT NEW ONSITE STORM DRAIN TO EXISTING STUB. ALL WORK COMPLETED WITHIN THE RIGHT OF WAY SHALL BE DONE UNDER AN SO-19 PERMIT.

. INSTALL HDPE STORM DRAIN LINE (N12 WT, OR APPROVED EQUAL) SEE PLAN FOR SIZE AND SLOPE.

1. NEW RETAINING WALL SEE STRUCTURAL PLANS FOR DETAILS.

INSTALL 24" NYLOPLAST AREA DRAIN WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL.

6. STUB NEW STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

CONTRACTOR SHALL CONNECT NEW BUILDING STORM DRAIN TO EXISTING MANHOLE. CONTRACTOR SHALL CORE DRILL EXISTING MANHOLE AT SPRING LINE OF EXISTING STORM DRAIN AND REWORK EXISTING MANHOLE INVERT AS NECESSARY.

CONSTRUCT OFFSITE DRAINAGE SWALE WITH NMDOT ROW. CLOSE COORDINATION WITH NMDOT IS NECESSARY AND A LICENCE AGREEMENT SHOULD BE IN PLACE PRIOR TO STARTING CONSTRUCTION.

9. TIE BACK TO EXISTING GRADE AT A MAXIMUM OF 3:1 SLOPES.

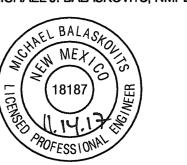
10. DAYLIGHT 6" SD PIPE ONTO SIDEWALK THROUGH RETAINING WALL.

DRAINAGE CERTIFICATION

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-28-17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 15702, OF THE FIRM TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/14/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF OF THE AREA SURROUNDING THE PARKING STRUCTURE. THIS CERTIFICATION ! SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE PARKING STRUCTURE ONLY. A SUBSEQUENT DRAINAGE CERTIFICATION WILL BE PROVIDED UPON THE COMPLETION OF THE REST OF THE BUILDING AT A LATER DATE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE 11-14-2017



LEGEND → FL70.22 DESIGN GRADE FL70.22 AS-BUILT GRADE Ω

GRADIN	NG LEGEN	D				
	PROPERTY LINE		PROPOSED CURB & GUTTER	04	0047.00.00	4000/
	PROJECT LIMITS OF GRADING	S=2.0%	DIRECTION OF FLOW	01 NO	2017-02-03 DATE	100% DESCRIPTION
- <i></i>			WATER BLOCK/GRADE	DATE:	CCT #-	2017-03-17
	EXISTING INTERMEDIATE		BREAK	PROJECT #: DRAWN BY:		MHS
	CONTOUR -		 PROPOSED STORM DRAIN LINE 	CH'D E	BY:	МЈВ
⊕ ^{5025.25}	EXISTING GROUND SPOT ELEVATION	•	PROPOSED STORM DRAIN	Copyri SMPC	ght: Architects © 201	6
5025	PROPOSED INDEX CONTOUR	•	MANHOLE	These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects GRADING PLAN		ects' liability is limited
5024	PROPOSED INTERMEDIATE CONTOUR		PROPOSED STORM DRAIN INLETS			
	PROPOSED FLOW LINE		PROPOSED RETAINING WALL			
00.75	PROPOSED FINISHED GRADE	4100-1220 0220 0220 0220 0220 0220 0225 0220 0220 0220 0220	EASEMENT			
⊕ ^{26.75}	SPOT ELEVATION TC=TOP OF CURB,				GRAI	DING

Bohannan A Huston

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C-101

PLAN

P:\20170191\CDP\Plans\General\20170191GP02.dwg Fri, 28-Apr-2017 - 7:18:am, Plotted by: MBALASKOVITS

ENTRYWAY GRADING DETAILS

FL55.85 -

1G56.44 NA(BA):47.14 INV(W):47.08 INV(E):47.11 FL55.77 4955-32 FL55.75

B SCALE: 1"=10'

TC=TOP OF CURB,
FL=FLOW LINE,
TS=TOP OF SIDEWALK
TG=TOP OF GRATE,
FGH=FINISH GROUND HIGH,

FGL=FINISH GROUND LOW

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