

# CITY OF ALBUQUERQUE



November 17, 2017

Patricia Hancock, RA  
SMPC Architects  
115 Amherst Dr. SE  
Albuquerque, NM 87106

**Re: One Central – Parking Garage (BP-2017-38841)**  
**1 Central Ave. NE**  
**90-Day Temporary Certificate of Occupancy- Transportation Development**  
**Transportation Development Final Inspection**  
Site Plan Approval dated 10-19-16 (K14-D109)  
Certification dated 11-13-17

Dear Ms. Hancock,

Based upon the information provided in your submittal received 11-13-17 and additional pictures received on 11-17-17, Transportation Development has no objection to the issuance of a 90-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. All Pedestrian and vehicular access and circulation to be built per plan and per City of Albuquerque standards.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

~~mas~~ via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

**Project Title:** One Central **Building Permit #:** 2017.09498 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** 16AA - 10102/project # 101942 **EPC#:** N/A **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract 1 & Tract 2 , One Central Subdivision  
**City Address:** 01 Central Avenue NE

**Applicant:** SMPC Architects **Contact:** Glenn Fellows  
**Address:** 115 Amherst Drive SE Albuquerque, New Mexico 87106  
**Phone#:** 505-255-8668 **Fax#:** 505-268-6665 **E-mail:** g.fellows@smpcarchitects.com

**Other Contact:** SMPC Architects **Contact:** Patricia Hancock  
**Address:** 115 Amherst Drive SE Albuquerque, New Mexico 87106  
**Phone#:** 505-255-8668 **Fax#:** 505-268-6665 **E-mail:** p.hancock@smpcarchitects.com

Check all that Apply:

**DEPARTMENT:**

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 11/13/17

By: 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



PRINCIPLES OF DESIGN.

November 13, 2017

Ms. Racquel Michel, PE  
Transportation Development Manager  
City of Albuquerque

RE: Traffic Circulation – One Central

#### TRAFFIC CERTIFICATION

I, **Patricia Hancock**, NMRA #2095, OF THE FIRM **SMPC Architects**, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/19/16. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE November 11, 2017, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY FOR THE PARKING STRUCTURE. THERE ARE NO EXCEPTIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
\_\_\_\_\_  
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP



11-13-2017  
Date

If you have any questions or require additional information, please contact me at 255-8668.

Sincerely,

  
Patricia Hancock, AIA  
Principal

115 Amherst Drive SE  
Albuquerque, NM 87106  
T 505 255 8668 F 505 268 6665  
[www.SMPCarchitects.com](http://www.SMPCarchitects.com)



PRINCIPLES OF DESIGN

November 13, 2017

Mr. Shahab Biazar, P.E.  
City Engineer  
City of Albuquerque  
600 2<sup>nd</sup> Street NW, Suite 201  
Albuquerque, NM 87102

RE: Safe Access - One Central Parking Structure Occupancy

K14 p109

Dear Shahab,

Per your request, this letter is written to address measures that will be in place to provide safe access (and egress) for users of the parking structure at the One Central Development.

Phase 1 of the Occupancy of the parking is anticipated to begin on November 17, 2017 with the first level being available for parking. Phase 2 will have the first and second levels available beginning during the first week of January 2018. The third level of the parking structure will be made available to coincide with completion of the apartments and the shell spaces. This sequence of occupancy and the corresponding areas to be occupied are delineated in the permit drawings for the Parking Structure Occupancy, permit # 2017-09498.

Specifically, all Life Safety Systems in the Parking Structure will be functional. Pedestrian exits paths will be unobstructed, and lighted. Barriers will be placed, signed and maintained to keep the public from entering construction areas.

If you have any questions or require additional information, please contact me at 255-8668.

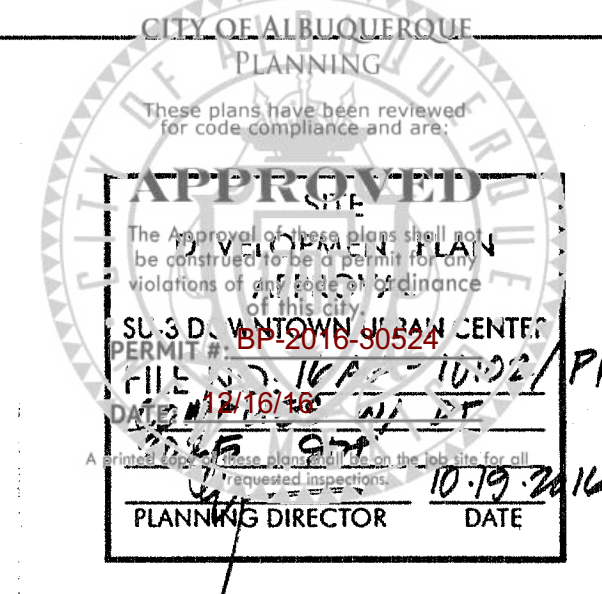
Sincerely,

A handwritten signature in black ink, appearing to read "GFellows".

Glenn Fellows, AIA  
Principal Emeritus

115 Amherst Drive SE  
Albuquerque, NM 87106  
T 505 255 8668 F 505 268 6665  
[www.SMPCarchitects.com](http://www.SMPCarchitects.com)





## GENERAL NOTES

1. IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
2. REFER TO CIVIL GRADING AND UTILITY INFORMATION.
3. REFER TO LANDSCAPE FOR PLANTING AND IRRIGATION.
4. COORDINATE ALL SITEWORK W/ CITY OF ALBUQUERQUE (COA) INFRASTRUCTURE IMPROVEMENT PROJECTS.
5. SLOPE CONCRETE PAVEMENT AWAY FROM BUILDING.
6. INSTALL EXPANSION JOINTS EVERY 5'-0" IN CONCRETE PAVEMENT UNLESS OTHERWISE NOTED.

\* SIGNAGE (BUILDING MTD) MUST COMPLY W/ THE DT 2025 SDP AND THE C-2 ZONE.

## REFERENCE KEYNOTES

- |             |                                                       |
|-------------|-------------------------------------------------------|
| 02-2000.S01 | PORTION OF EXISTING SIDEWALK TO REMAIN                |
| 02-2000.S02 | PORTION OF EXISTING RETAINING WALL TO REMAIN          |
| 03-3000.D1  | CONCRETE RETAINING WALL, 8"                           |
| 03-3000.J1  | CONCRETE PAVEMENT                                     |
| 03-3000.L   | CONCRETE DRIVE, SEE CIVIL                             |
| 05-5213.A   | PIPE HANDRAIL                                         |
| 05-5213.F   | TUBE STEEL GUARDRAIL W/ PERFORATED METAL INFILL PANEL |

## SHEET KEYNOTES

- |      |                                                                      |
|------|----------------------------------------------------------------------|
| 01.C | COORDINATE GRADING W/ CIVIL AND COA AROUND REFURBISHED PUMP STATION  |
| 01.E | COORDINATE INSTALLATION OF COA DECORATIVE LIGHT POLE, SEE ELECTRICAL |
| 01.J | PLANTING BED W/ GRAVEL MULCH, SEE LANDSCAPE                          |
| 01.K | CONCRETE ISLAND AND STOP SIGN                                        |

**SMPC Architects**  
PRINCIPLES OF DESIGN.

115 Arroyo Drive SE  
Albuquerque, New Mexico  
87106  
T 505.261.8868  
F 505.261.8665  
www.smpcarchitects.com

STUDIO

**SW**  
**ARCHITECTS**

STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 Mountain NE, NW Albuquerque, NM 87104  
505.843.9838 Fax 505.843.9838  
Web Site: www.studioswarch.com  
Email: mail@studioswarch.com



NOT FOR  
CONSTRUCTION

ONE CENTRAL  
DRT SUBMITTAL  
01 CENTRAL AVE., ALBUQUERQUE NM

NO	DATE	DESCRIPTION
DATE:	2016-10-11	
PROJECT #:	16012	
DRAWN BY:	KM	
CHD BY:	GF	

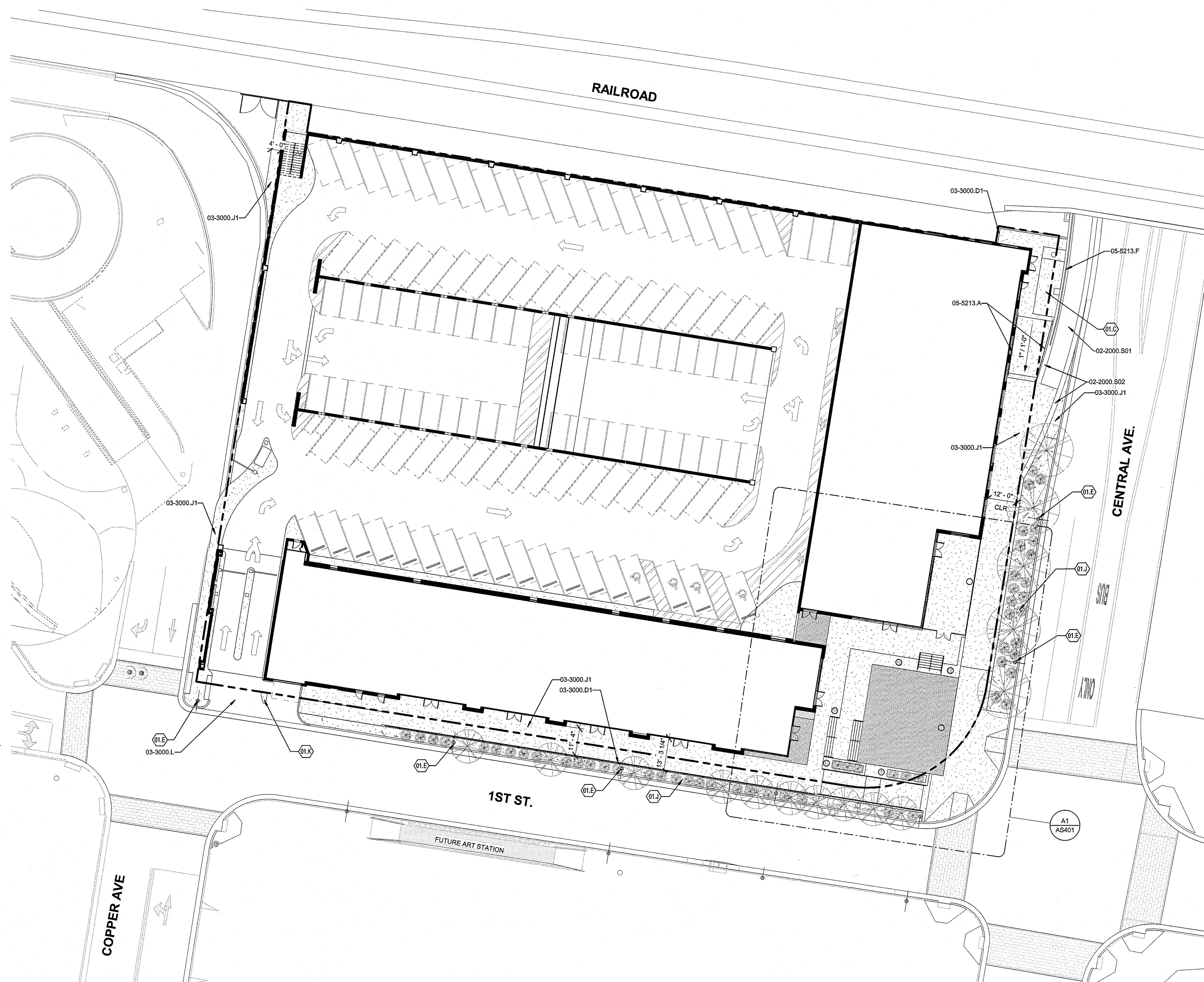
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These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects.

SHEET TITLE

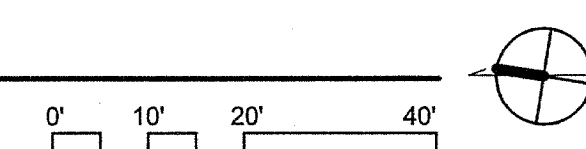
SITE PLAN -  
OVERALL

AS101

SHEET 01 OF 02



A1 OVERALL SITE PLAN  
1" = 20'-0"





MOTORCYCLE  
PARKING  
ONLY

MOTORCYCLE  
PARKING  
ONLY





**CITY OF ALBUQUERQUE**  
PO Box 1293  
Albuquerque, New Mexico 87103

# Commercial Building Permit

Permit Number:\* BP-2017-38841

November 8, 2017

Job Number: 053657914-001

Page 1 of 3

## Issued To:

Kihei Mayer - CU31099379  
114 Amherst Dr SE  
Albuquerque, NM 87106  
USA

## Site Location:

1 CENTRAL AV NW, Albuquerque, NM

Specific Location: 1 CENTRAL AV NW

## Site Information:

Type Of Structure:

Type Of Work:

New Building

Work Description:

PARKING GARAGE  
PHASE 1

Land Area:

Zoning Jurisdiction:

Zoning:

Zoning Approved: Yes

Flood: No

## Owner/Tenant Information:

Name: ONE CENTRAL OPERATING ASSOCIATES

Phone: (505) 828-1008

Address: 4441 ANAHEIM AVE NE

City: ALBUQUERQUE, NM 87113

## Occupancy Information:

Floor:

Square Feet: 38790

Finished: Unknown

Heated: Unknown

Sprinklered: N/A

Type Of Construction:

Type Of Occupancy: S-1 Storage (Moderate Hazard)

## Contractor Information:

Name: KLINGER CONSTRUCTORS LLC

License: EE98-89629, GA01-89629, GA03-89629, GB98-89629, MM98-89629

Phone: (505) 822-9990

Address:

Type: Building

Total Construction Cost:

\$0.00

\*Permit Number is Required for all Inspection Requests. To request an inspection call (505) 924-3322 OR (505) 924-3311 OR (505) 924-3307.

This permit will expire if work either has not started within 6 months or is discontinued for a period of 6 months. No refunds will be given after expiration.

Building Safety  
Phone: (505) 924-3320