

CITY OF ALBUQUERQUE



August 26, 2019

David Aube, PE
The Design Group
120 Vassar Dr. SW
Albuquerque, NM 87106

**Re: Zocalo,
400 Coal Ave, SW (Formally submitted under 501 4th St SW)
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 1-8-18 (K14D112)
Certification dated 8-23-19**

Dear Mr. Aube,

Based upon the information provided in your submittal received 8-23-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

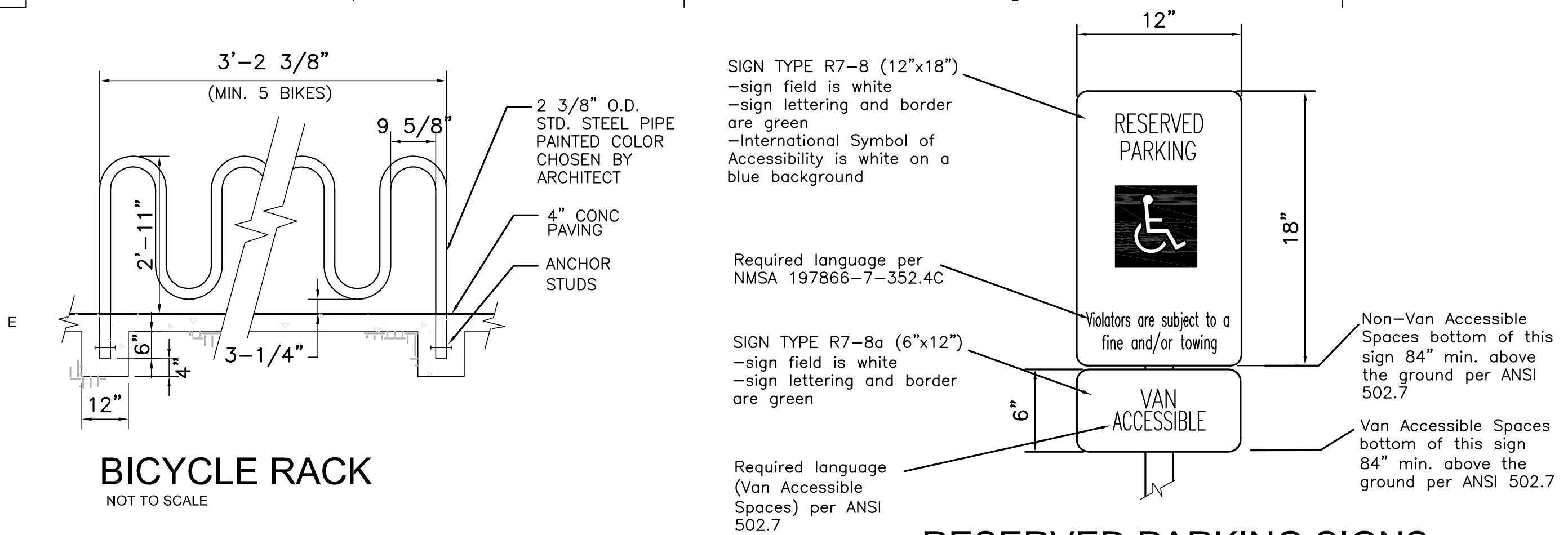
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernest Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

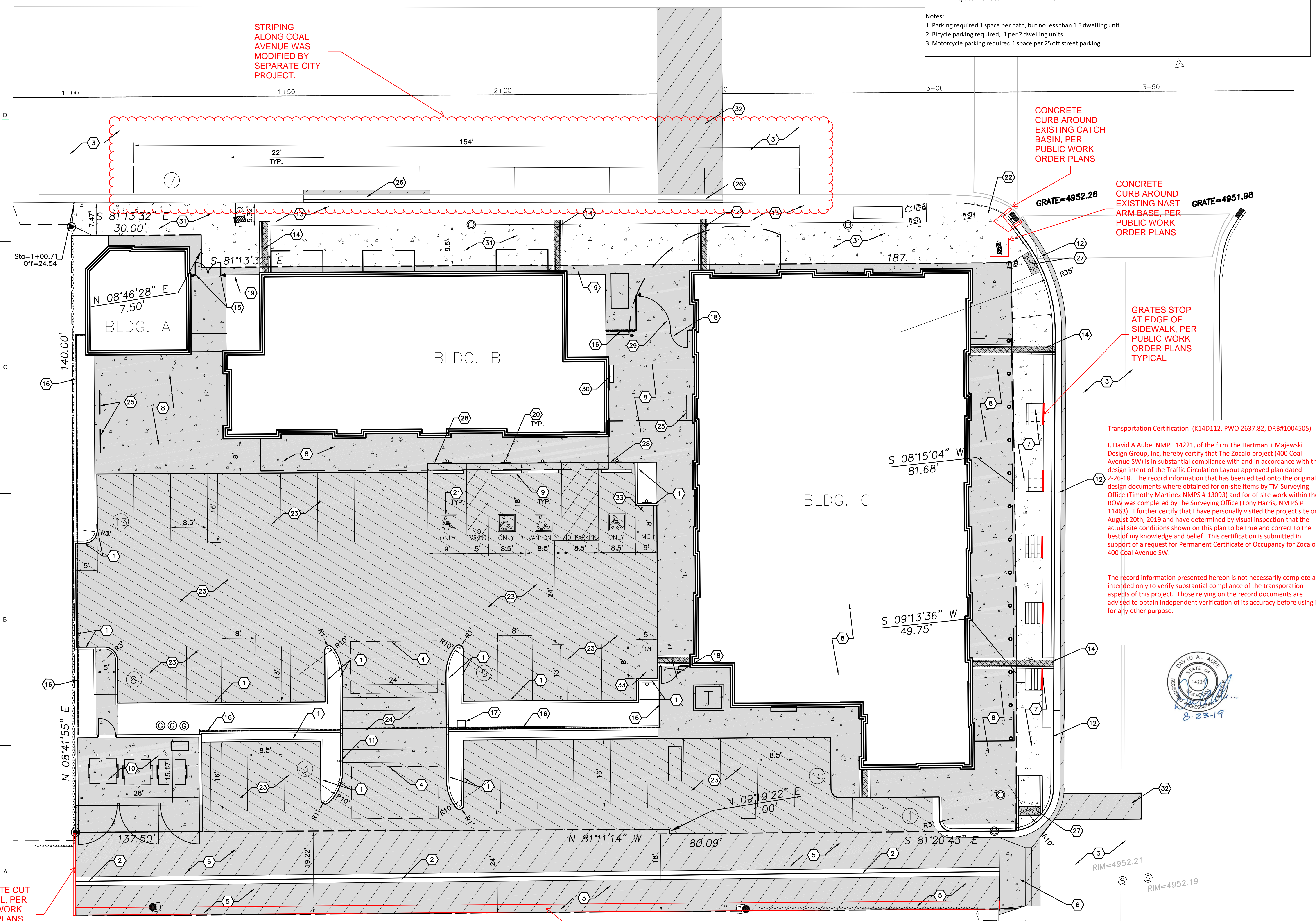


- NOTES :
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 3, SUBSECTION D-5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 6, SUBSECTION D.12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

PROJECT TABULATED PARKING COUNTS

Building	Use	Gross SF	Number of Units	Studio/ 1 BDR/ 1 Bath	2 BDR/ 2 Bath	3 BDR/ 2 Bath	Number of Bath	Req'd Parking	After Transit Reduction	Bicycle Req'd	Bicycle Provided
A	Retail	490	0	0	0	0	0	25	22	0	0
B	Restaurant/retail	3075	0	0	0	0	0	15.4	13.8	0.6919	1.00
B	Residential		9	8	1		10	12.0	10.8	4.5	5
C	Storage	3035	0	0	0	0	0	6.1	5.5	0.2732	1.00
C	Restaurant/retail	6678	0	0	0	0	0	33.4	30.1	1.5026	2.00
C	Residential		12	11			13	16.5	14.9	6	6
Total											
Parking Req'd											
On-Site Parking											
Off Site Parking											
Variance											
Total Parking Provided											
HC Required											
HC Provided											
Motorcycle Req'd.											
Motorcycle Provided											
Bicycles Required											
Bicycles Provided											

Notes:
1. Parking required 1 space per bath, but no less than 1.5 dwelling unit.
2. Bicycle parking required, 1 per 2 dwelling units.
3. Motorcycle parking required 1 space per 25 off street parking.



SITE INFORMATION

LEGAL DESCRIPTION
LOT 9-A-1, BLOCK N,
ATLANTIC AND PACIFIC ADDITION

SURVEY CONTROL MONUMENT DATA
Albuquerque Control Survey Monument "18_K14"
AG.R.S. MONUMENT "18_K14" STANDARD A.G.R.S. ALUMINUM DISC
(FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,486,053.605 E=1,521,576.548
PUBLISHED EL=4983.415 NAVD 1988)
GROUND TO GRID FACTOR=0.99968266
DELTA ALPHA ANGLE=-0°13'41.97"

GENERAL SHEET NOTES

1. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
2. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE. SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
3. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR THE RIGHT-OR-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
4. STANDARD PARKING SPACE IS 9'-6" W x 18'-0" L.
5. COMPACT PARKING SPACE IS 8'-6" W x 15'-0" L.

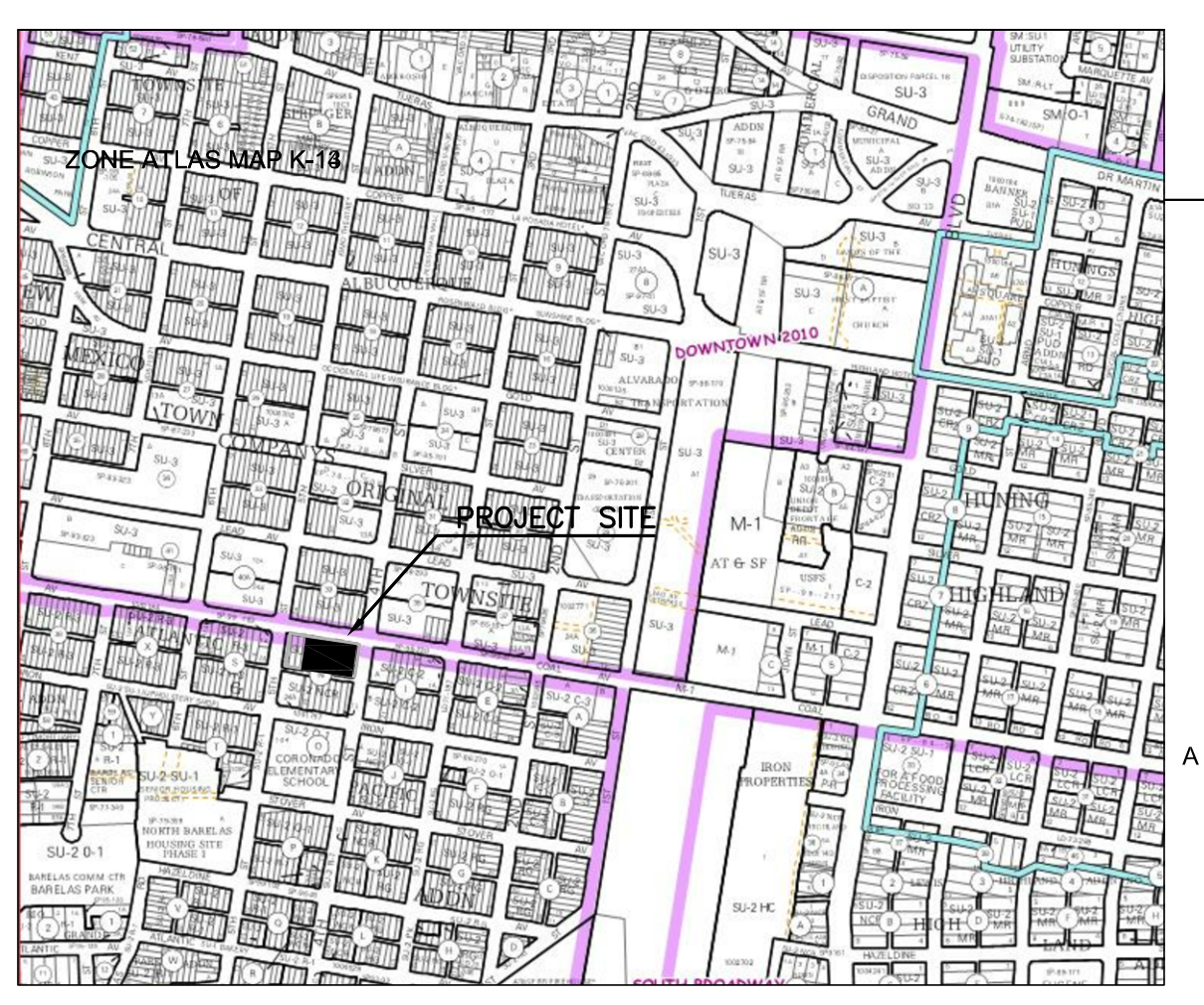
TCL SHEET KEYED NOTES

1. CONCRETE HEADER CURB, 6" TALL.
2. CONCRETE VALLEY GUTTER TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
3. EXISTING ASPHALT ROADWAY.
4. LOOP DETECTOR FOR VEHICLE GATES.
5. ASPHALT IN ALLEY TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
6. NEW CONCRETE DRIVEPAD TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
7. PUBLIC SIDEWALK WITH TREE WELLS TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
8. PRIVATE SIDEWALK.
9. CONCRETE PARKING BLOCK.
10. REFUSE ENCLOSURE WITH GATES.
11. KEY PAD TO CONTROL VEHICLE GATES.
12. CURB TO BE REALIGNED UNDER COA PROJECT NUMBER 2632.87 THAT WILL NEED TO BE APPROVED BY DRC.
13. LANDSCAPING STRIP BETWEEN SIDEWALK AND CURB.
14. CONCRETE SIDEWALK CULVERT WITH STEEL PLATE COVER.
15. DOUBLE 3' WIDE BY 6" TALL PERSONNEL GATES IN PERIMETER FENCING.
16. 6' TALL PERIMETER FENCING.
17. 6' TALL BY 24' WIDE SLIDING GATE FOR VEHICLE ACCESS.
18. 3' WIDE BY 6' TALL PERSONNEL GATE.
19. PERIMETER FENCING TO ABOVE THE STAIR LANDINGS.
20. RESERVED PARKING SIGN FOR STANDARD OR VAN ACCESSIBLE.
21. ADA PARKING STALL WITH RESERVED PARKING SYMBOL AND RESERVED PARKING SIGN.
22. EXISTING ADA RAMP TO REMAIN.
23. ASPHALT PAVEMENT.
24. CONCRETE SPEED TABLE TO ACT AS WATER BLOCK.
25. BIKE RACK FOR A MINIMUM OF 5 BIKES.
26. NEW STANDARD CURB AND GUTTER WITH 1" ASPHALT REPLACEMENT PER PUBLIC WORK ORDER PLANS.
27. CURB ACCESS RAMP.
28. SIDEWALK IS FLUSH WITH PARKING LOT SURFACE.
29. 8' WIDE SWING GATE IN PERIMETER FENCING.
30. MAIL BOXES.
31. CONCRETE SIDEWALK TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.
32. ASPHALT REMOVAL AND REPLACEMENT FOR UTILITY INSTALLATION.
33. MOTORCYCLE PARKING SPACE SIGNAGE.

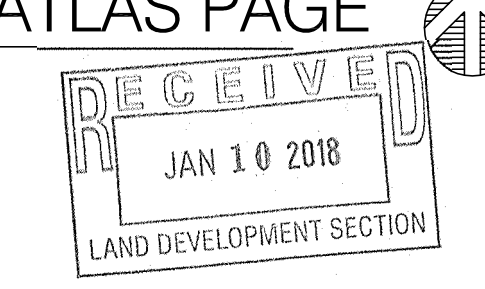
NOTE:
ALL DEMOLITION, PAVING AND UTILITIES IMPROVEMENTS LOCATED WITHIN THE PUBLIC RIGHT OF WAY TO BE CONSTRUCTED FROM THE COA PUBLIC WORK ORDER PLANS PROJECT NUMBER 263287 DATED XXXXXX, AND TITLED ZOCALO.

TRAFFIC CIRCULATION LAYOUT
APPROVED
David A. Aube
Signed
02-26-19
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



K-14-Z ZONE ATLAS PAGE
SCALE: NOT TO SCALE



dg
THE HARTMAN • MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 871
T 505 242 6880 F 505 242 688

CONSULTANT

STAMP



100% CONSTRUCTION DOCUMENTS

PROJECT NAME
ZOCALO LOFTS

400 COAL AVENUE SW,
ALBUQUERQUE, NM 87102

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by	DAA
Checked by	DAA
Date	December 19, 2017
Project number	2531

SHEET TITLE

TRAFFIC CIRCULATION LAYOUT

SHEET NUMBER

TCL



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Zocalo **Building Permit #:** _____ **Hydrology File #:** F14-D112

DRB#: 1004505 **EPC#:** _____ **Work Order#:** 2632.87

Legal Description: Lot 9-A-1 Block N, Atlantic and Pacific Addition

City Address: 400 Coal Avenue, SW (formerly submitted under 501 4th Street SW)

Applicant: Quatro y Carbon **Contact:** Richard Yates

Address: 416 Coal Avenue SW

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: The Design Group **Contact:** David Aube

Address: 120 Vassar Drive SE, Albuquerque, NM 87106

Phone#: 505-998-6430 **Fax#:** 505-242-6881 **E-mail:** daube@designgrouponnm.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-23-2019 **By:** David Aube

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____